



RESIDENTIAL PLAN CHECK

Plan check is an important part of building construction and alteration. Having your plans checked is the first step in the process of making sure that all buildings, additions and alterations are constructed properly and safely. When plans are submitted they are checked to make sure that what you are planning to build meets the requirements set forth by the California Building Codes.

Plans shall be at least 18" x 24" in size; drawings must be to a standard scale; plans must be of sufficient clarity to indicate the location, nature and extent of the work proposed; and show in detail compliance with all relevant laws, regulations and codes. The number of copies of plans required depends upon the type of application submitted. For small residential additions and alterations, two sets of plans may be acceptable for submittal. Information regarding the number and combination of plans required for each application can be obtained from the Building & Safety Department at City Hall, 100 Civic Center Mall, or by calling (760) 391-4110.

A site plan drawn to scale showing your proposed addition is the first requirement. A typical example is shown below. Every permit application for a new building, structure or addition shall be accompanied by a plot plan drawn to appropriate scale on a form provided by the department. The plan must show all necessary information as to size and shape of the lot, all existing buildings, location and size of work proposed, distances of the construction from all property lines and distances from other buildings on the property. The plot plan will be reviewed by the zoning staff for compliance with City requirements for land use, yard sizes, lot coverage, etc.

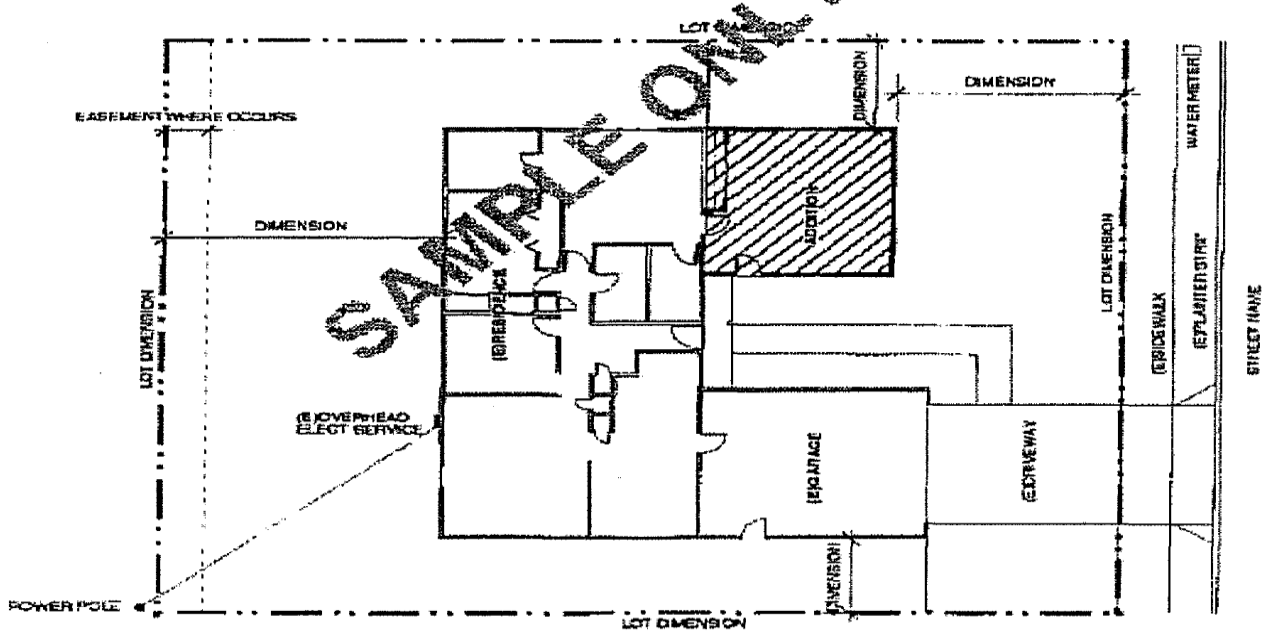
- Site Plan – A site plan drawn to scale (typically 1/8" per ft.) depicting property lines, adjacent streets, a north arrow, contours or drainage lines, and the site address and name(s) of the property owner. The proposed building or addition shown with setbacks from the property lines and any other building or structure on the site.
- Floor Plan — A plan drawn to scale (typically 1/4" per ft.) depicting proposed and existing bearing walls, partitions, doors, windows, and electric and plumbing fixtures. The use of each room shall be labeled on the plans.
- Roof Plan - A site plan drawn to scale (typically 1/4" per ft.) depicting the roof pitch, roofing material, drainage pattern, eave overhang and gutters. –
- Foundation Plan - A plan drawn to scale depicting proposed continuous and pad footings, and the size and location of anchor bolts and hold downs.

- Framing Plan — A plan drawn to scale depicting the size and spacing of proposed roof rafters, ceiling joists, floor joists, beams, columns and shear walls.
- Exterior Elevations — A plan drawn to scale depicting exterior wall finish, finish floor elevation, plate heights and adjacent grade elevations.
- Cross Section — A plan drawn to scale depicting the full height and width of the building with cross references to framing and foundation details.
- Schedules — Specify the size, type and other information for all doors and windows. Provide schedules for roof and floor diaphragms and shear walls.
- Details — All details should be cross-referenced on the plans¹
- General Notes and Material Specifications — Provide on the plans.
- Title 24 Energy — Indicate prescriptive compliance or provide performance calculations along with CF-1R and MF1—R forms.
- Structural Calculations — Provide lateral and vertical calculations, signed and sealed by a licensed architect, or an engineer (civil or structural), unless the design complies with the conventional light-frame construction design provisions of the building code.
- Soil Report — When required, provide 2 sets of geotechnical reports for the project.
- Stormwater Management Program — Show on the plan, NPDES and SUSMP requirements, as applicable.

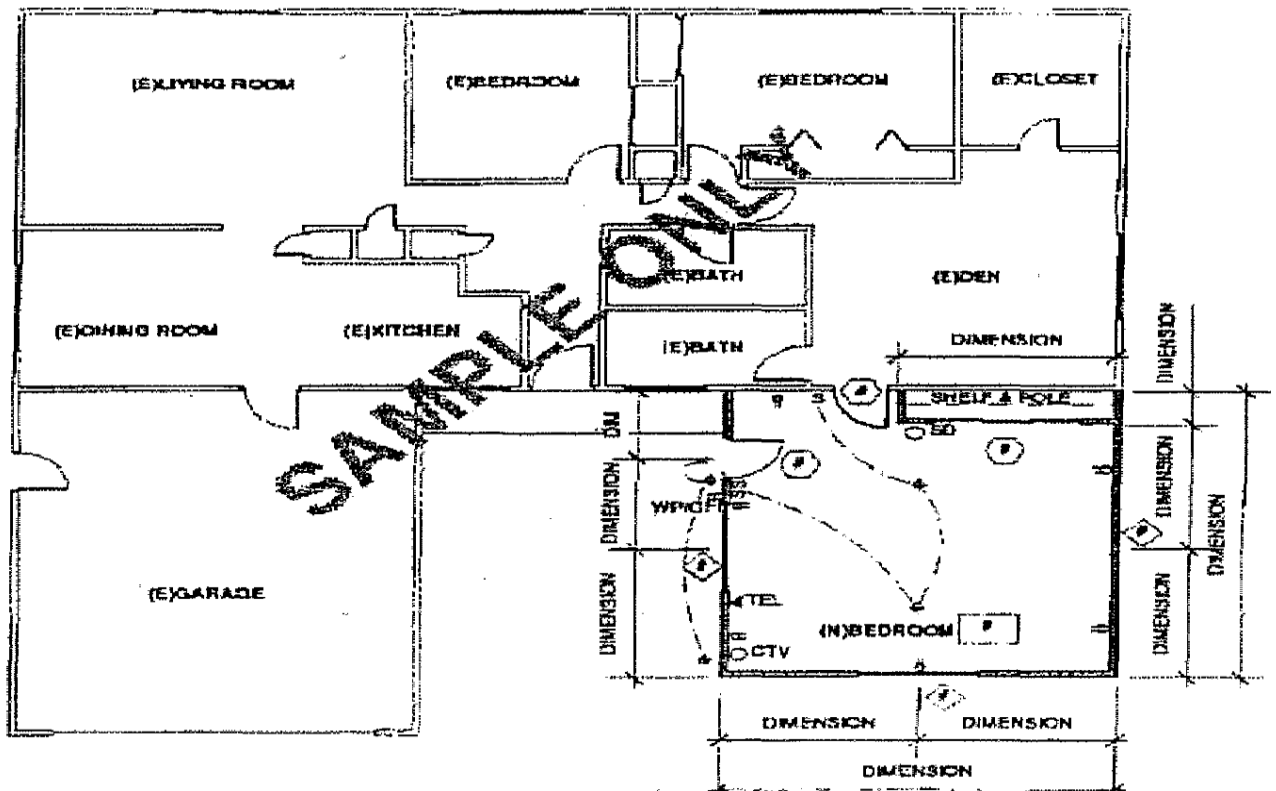
Plan and construction details have been provided on the following pages as a reference tool.

PLAN INFORMATION

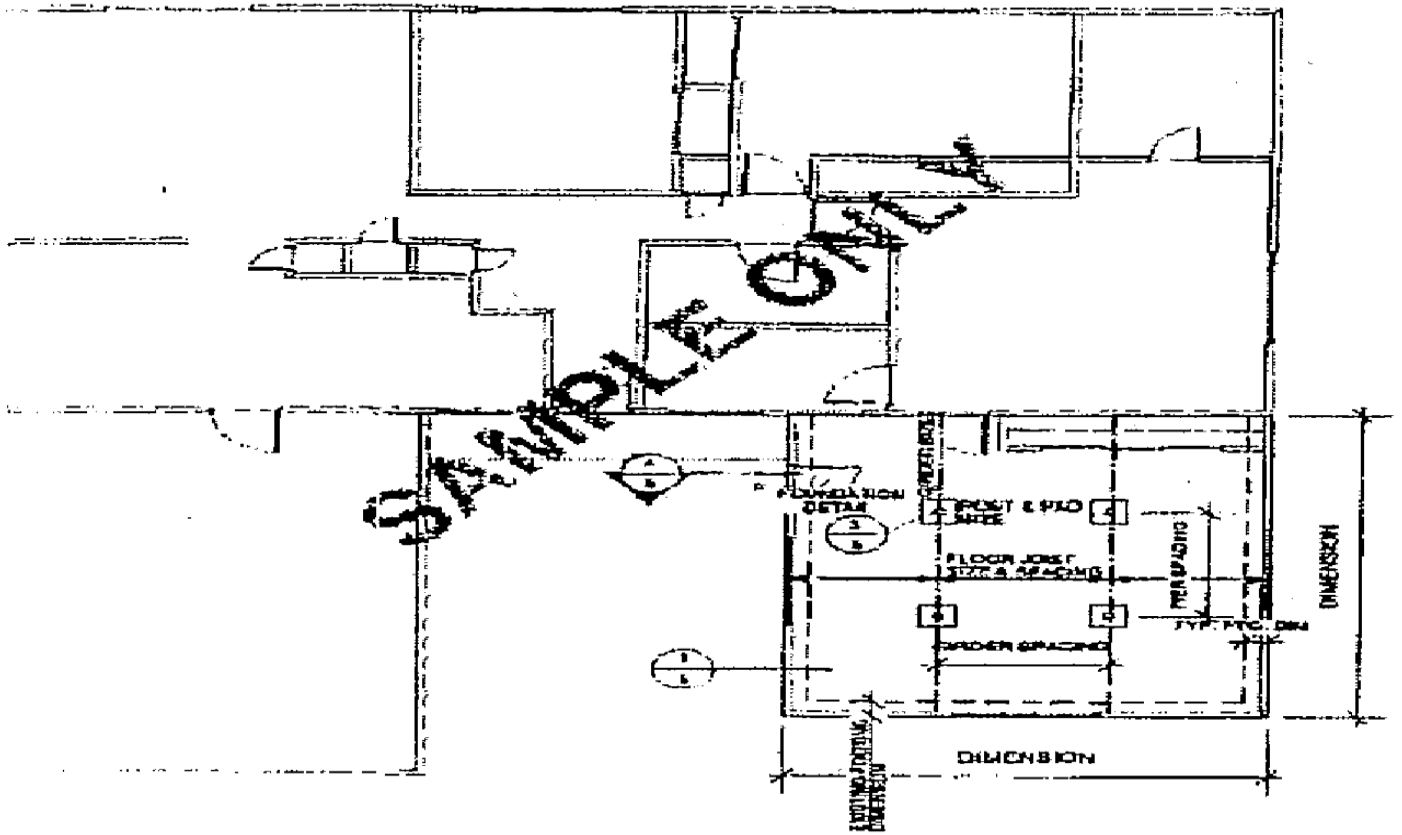
Typical Site Plan



Typical Floor Plan

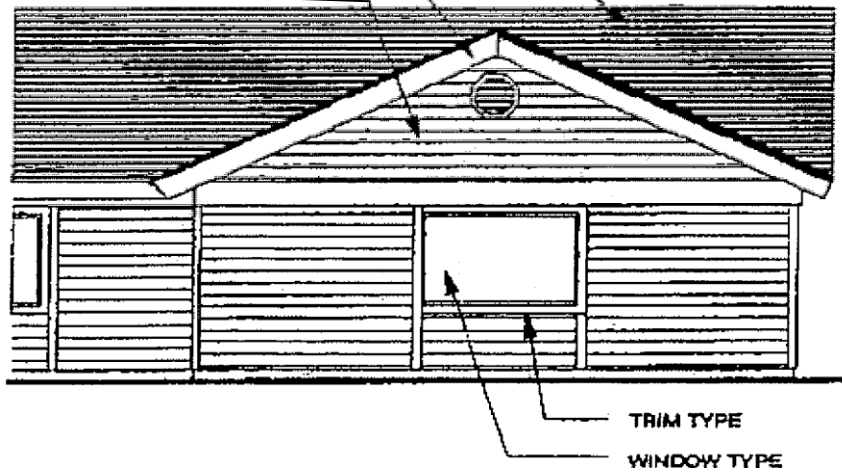


Typical Foundation Plan



Typical Elevation

ROOFING MATERIAL
FASOA SIZE
SIDING TYPE



Typical Plot Plan Detail

