

# DESERT RETREAT SPECIFIC PLAN

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June 2023

Prepared For:  
City of Indio

Applicant:  
Pulte Home Company, LLC

Prepared By:  
MSA Consulting, Inc.



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## CHAPTER I: INTRODUCTION & SETTING

### 1.1 Executive Summary

The Desert Retreat Specific Plan (Specific Plan or SP) is a proposed 378 acre active-adult community located on the northwest corner of Madison Street and 40<sup>th</sup> Avenue within the corporate limits of the City of Indio, California. The SP sets forth a comprehensive vision for the project and will establish site-specific development standards, land use regulations, and programs to guide the development of the property in a manner that is consistent with the City of Indio General Plan while also maintaining flexibility to respond to changing conditions that factor in any long-term development. This SP implements all applicable elements of the General Plan and includes detailed information about the site's master plan and infrastructure improvements such as circulation, water, sewer, grading and drainage design. The Specific Plan is organized in five chapters, as described below:

**Chapter 1, Introduction & Setting:** This section provides an overview of the document, the project setting and history, legislative authority for the Specific Plan, entitlement process and other contextual information.

**Chapter 2, Master Plan and Infrastructure:** This section describes the primary master plan components required for further development of the property. These include land use, circulation, open space and recreation, water and sewer, and grading and drainage.

**Chapter 3, Development Standards:** This section establishes the allowable uses and development standards applicable within the Specific Plan area.

**Chapter 4, Design Guidelines:** This section establishes the design guidelines applicable within the Specific Plan area.

**Chapter 5, Plan Administration:** This section describes the various processes and procedures used to administer and implement the adopted Specific Plan.

### 1.2 Purpose and Intent

This SP is intended to guide future development and use of land within the Desert Retreat Specific Plan boundary, including the establishment of site-specific development standards and regulations. The Specific Plan is intended to ensure quality development consistent with the goals, objectives, and policies of the City of Indio General Plan.

This Specific Plan defines the location, type and amount of development allowed within the Specific Plan area consistent with the requirements for Specific Plans identified in State Planning and Land Use Law and City of Indio Municipal Code (IMC). It will also establish standards intended to allow the project to respond to market conditions.

This document has been prepared pursuant to California Government Code Section 65450, which grants local governments the authority to prepare specific plans as a systematic means of implementing their General Plan. California Government Code Sections 65450 through 65454 establishes the authority to adopt a Specific Plan, identifies the required contents of a Specific Plan, and mandates consistency with the General Plan.

### 1.3 Project Location & Site Characteristics

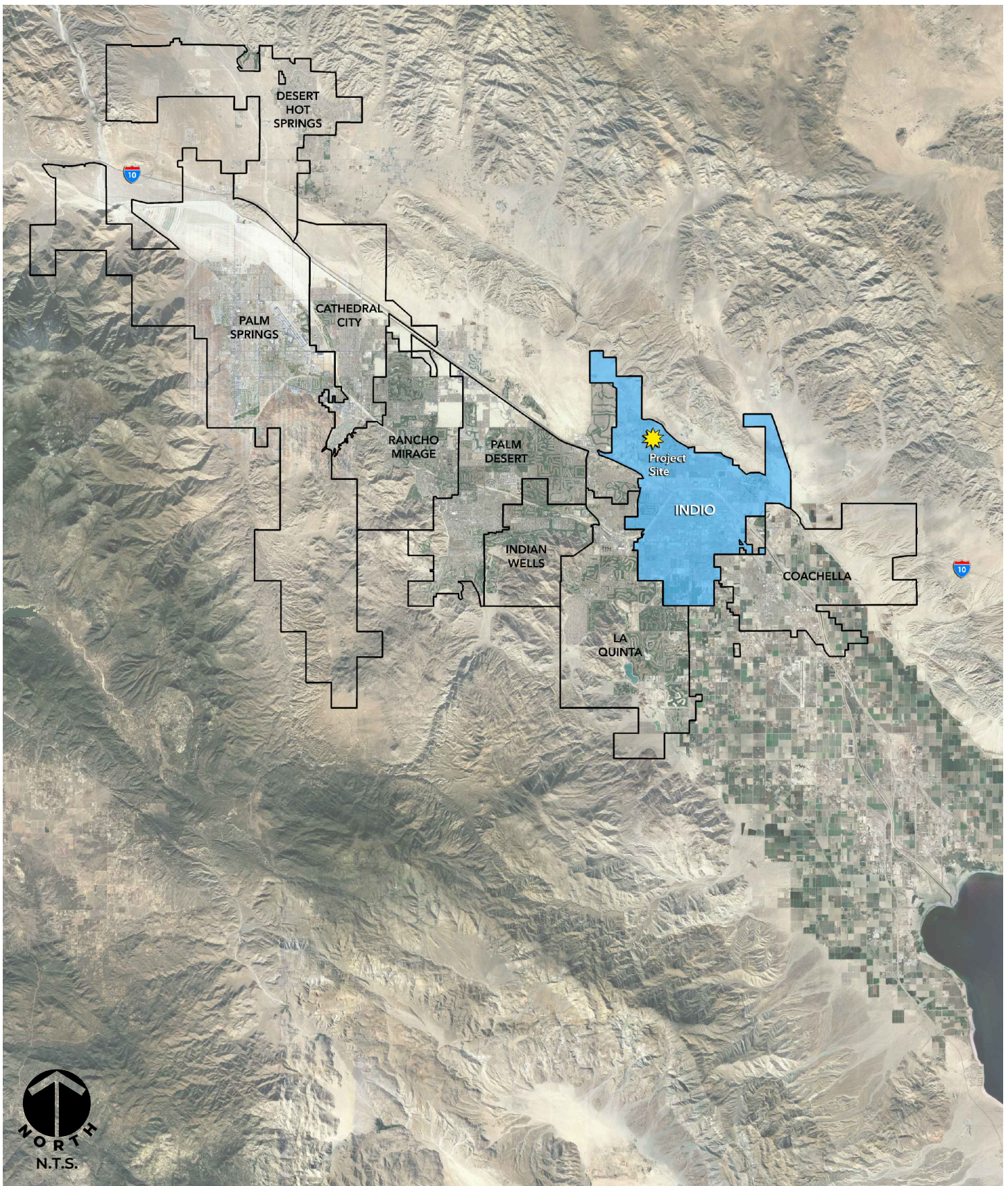
As shown on Figure 1.1, *Regional Location Map*, the Desert Retreat Specific Plan (Specific Plan) is situated in the eastern portion of the Coachella Valley within the City of Indio at the northwest corner of Madison St and 40<sup>th</sup> Ave. The Specific Plan area totals approximately 378 acres and includes APNs 691-110-002, 003, 004, 008, 011, 014, 021, 023, 025. Figure 1.2, *Local Vicinity Map*, depicts the physical setting of the property. Surrounding land uses are listed below in Table 1.1.

In its current condition the site consists entirely of undeveloped and relatively flat land as shown on Figure 1.3, *Existing Site Conditions*. Site topography slopes from northwest to southeast with higher elevations ranging from 52.2 feet above sea level at the Northwest corner of the property to a low elevation of 32.3 feet above sea level in the southeast corner.

**TABLE 1.1**  
**EXISTING AND SURROUNDING USES**

|              | Jurisdiction | General Plan                              | Zoning          | Existing Use                         |
|--------------|--------------|---|-----------------|--------------------------------------|
| <b>Site</b>  | Indio        | Village Core/RL                           | Village Core/RL | Vacant Infill Land                   |
| <b>North</b> | Indio        | Residential Low/Public/Equestrian Estates | PMP/PI          | Residential / CVWD Treatment Planter |
| <b>South</b> | Indio        | Residential Low                           | PMP             | Sun City Shadow Hills Homes/Golf     |
| <b>East</b>  | Indio        | Village Core/RL                           | SP              | Sun City Shadow Hills                |
| <b>West</b>  | Indio        | Country Estates/Public                    | PI/SN-8         | High School/Residential              |

\*RL (Residential Low =4 DU/AC)\*



Source: MSA Consulting, Inc.

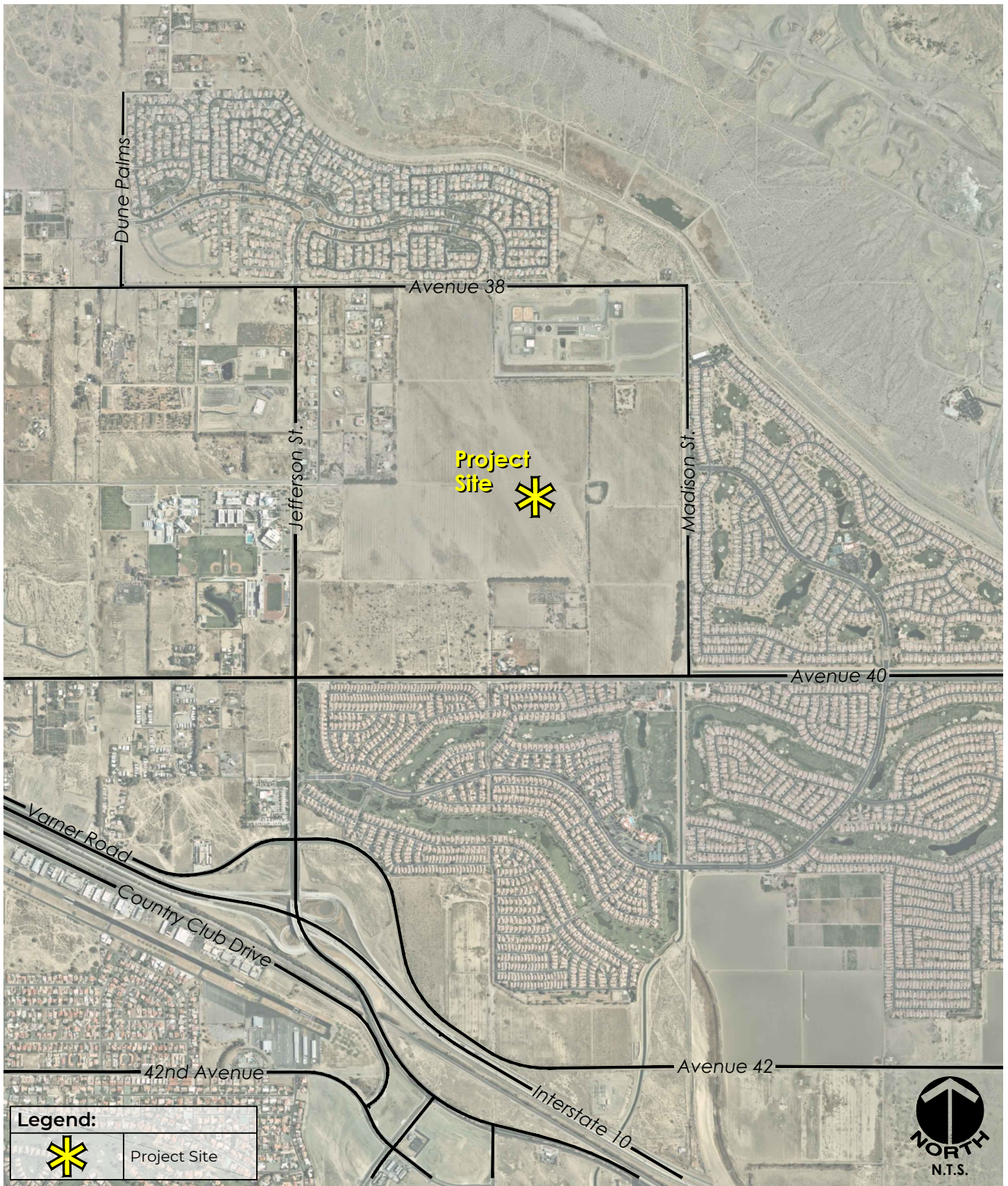
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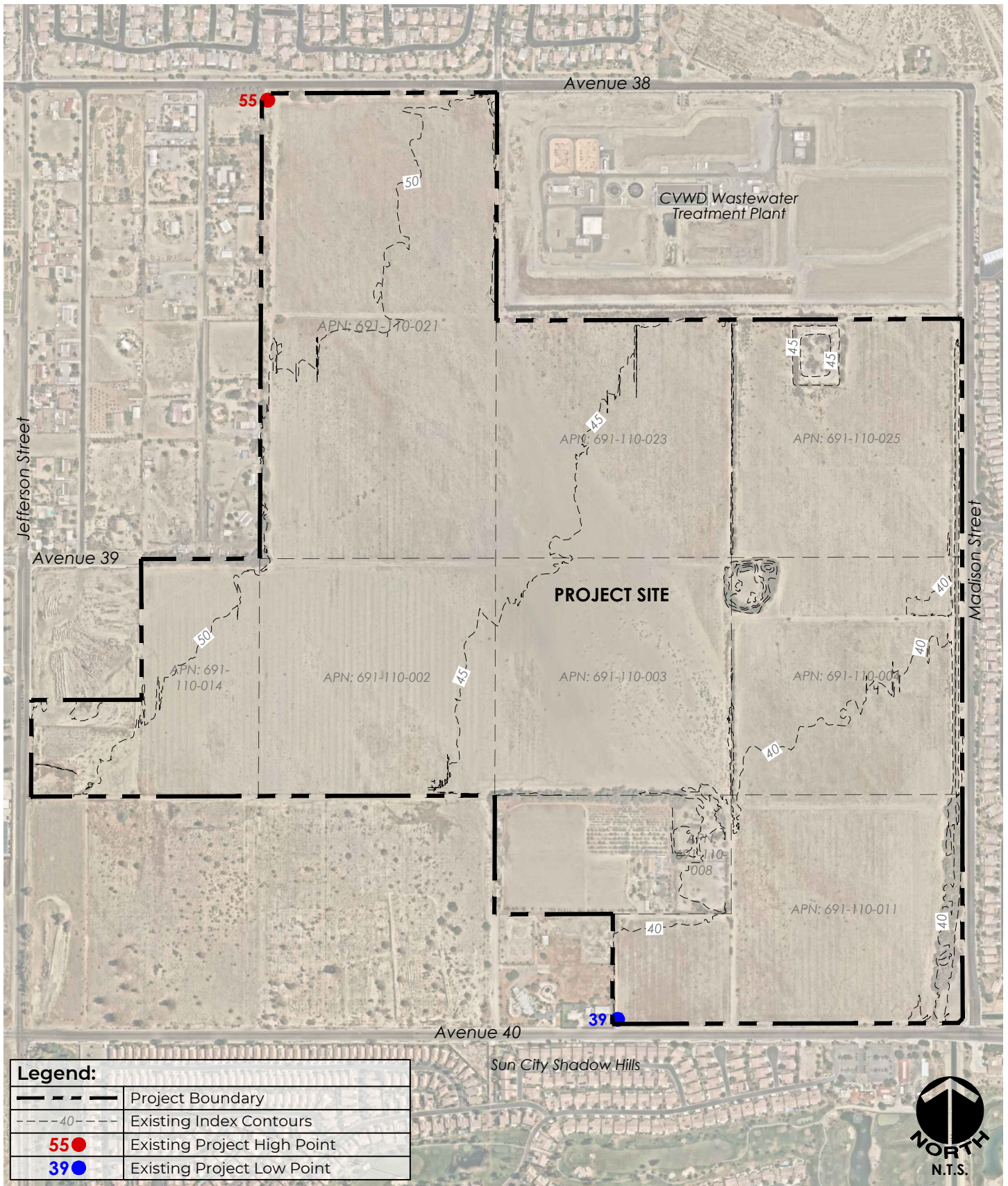
**REGIONAL LOCATION MAP**

**FIGURE 1.1**  
PAGE 3



Source: City of Indio

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| Legend: |                             |
|---------|-----------------------------|
|         | Project Boundary            |
|         | Existing Index Contours     |
|         | Existing Project High Point |
|         | Existing Project Low Point  |

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**EXISTING CONDITIONS**

**FIGURE 1.3**  
 PAGE 5



## 1.4 Development Concept

The Specific Plan proposes to develop a residential community on approximately 378 acres that would allow the construction of up to 1,500 single-family homes at an average density of 4.1 du/ac. The project would include a community clubhouse in the center of the project with outdoor resident amenities such as pickle ball courts, bocce ball courts, tennis courts, and water features.

A network of connective open space corridors are integrated throughout the project as a unifying design feature. Chapter 4 of this Specific Plan provides design guidelines and development standards to ensure quality project design that is compatible with the existing built environment and with the Goals and Policies of the City of Indio General Plan.

This Specific Plan intends to provide a degree of flexibility to respond to market demand. The Desert Retreat Specific Plan will supersede the development guidelines and regulations of the Indio Zoning code to allow for a fresh, contemporary development strategy for the site.

## 1.5 Project Objectives

Various issues were considered and evaluated during the preparation of this Specific Plan. Engineering feasibility, water efficiency, General Plan goals, and compatibility with surrounding land uses were considered during the planning process. In order to ensure the functional integrity, economic viability, environmental sensitivity, and positive aesthetic contribution of this development, unique project objectives were established as follows:

- Develop a thoughtfully planned and integrated project to allow for a quality residential construction project.
- Provide a comprehensive land use plan that establishes development standards, land use regulations, and programs to guide the orderly transition/development of the property.
- Accommodate phasing that provides for a multi-year project buildout in an orderly and efficient manner.
- Establish design guidelines, development regulations, use standards and procedures that facilitate cohesive and attractive landscape and architectural treatments.
- Provide a safe and efficient circulation system;
- Provide water, sewer, and drainage systems to adequately service the project;
- Promote quality development consistent with the goals and policies of the Indio General Plan.
- Create a walkable community by incorporating pedestrian paths within the project and allowing for connections to public sidewalks/trails at each perimeter street.

## 1.6 General Plan and Zoning

The Indio General Plan 2040, adopted in September 2019, established the City's policy relative to the planned future pattern, intensity, density, and relationships of land uses in the City and the various infrastructure systems needed to effectively support those land uses. This Specific Plan implements the Indio General Plan by bringing detailed policies and regulations together into a focused development plan for the proposed project. It serves as a link between the Indio General Plan and subsequent development proposed within the Specific Plan area. The Specific Plan is a regulatory document which, when adopted by the Indio City Council, will govern all facets of project development including the distribution of land uses, location and sizing of supportive infrastructure, as well as development standards and regulations.

The project site lies within the "Northwest Indio Subarea" of the General Plan. Figure 1.4, *General Plan/Zoning*, displays the existing General Plan Land Uses within and around the project site, consisting of "Suburban Neighborhood". Since this Specific Plan is consistent with the General Plan, no changes are proposed the General Plan or the land use designation.

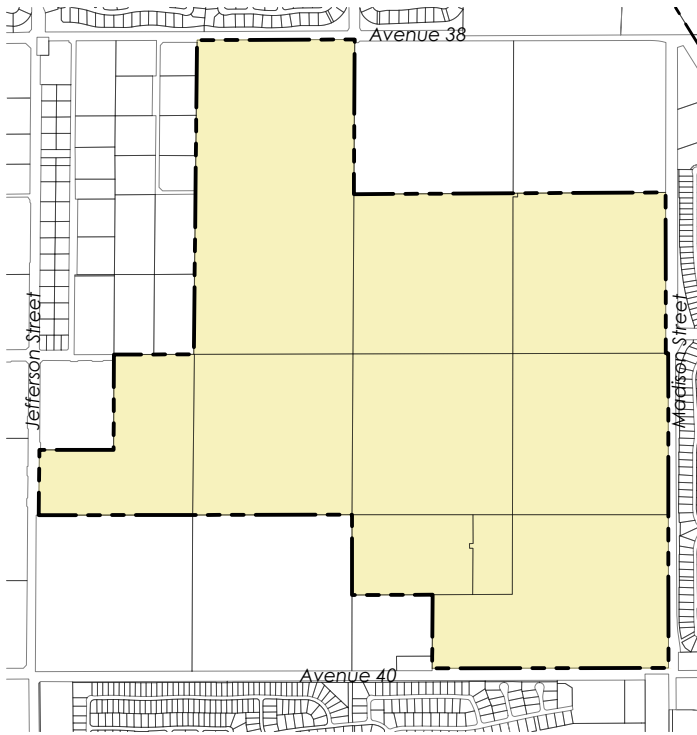
As also shown in Figure 1.4, *General Plan/Zoning*, the Specific Plan area is currently zoned "Residential Low" and "Village Core." The adoption of this Specific Plan will supersede the existing zoning for the site, this Specific Plan would become the new effective zoning of the site.

## 1.7 Utility & Service Providers

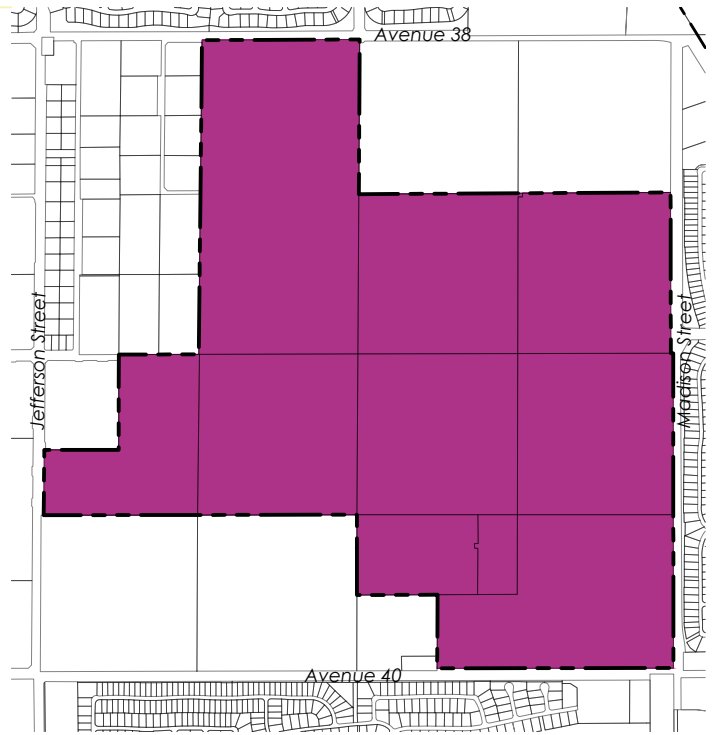
The Specific Plan is within the service area of the utility and service providers as listed in Table 1.2.

**TABLE 1.2**  
**UTILITY & SERVICE PROVIDERS**

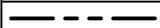

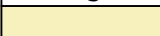

| UTILITY/SERVICE | AGENCY   | ADDRESS   | PHONE        |
|-----------------|----------|---|--------------|
| Sewer & Water   | CVWD     | 75-525 Hovley Lane<br>Palm Desert, CA. 92211        | 760.398.2651 |
| Natural Gas     | SCG      | P.O. Box 3150<br>San Dimas, CA. 91773               | 800.427.2200 |
| Electric        | IID      | 333 E. Barioni Blvd<br>Imperial, CA 92251           | 760.335.3640 |
| Cable TV        | Spectrum | 79-785 Hwy 111<br>Suite E103<br>La Quinta, CA 92253 | 855.366.7132 |
| Telephone       | Frontier | 78150 Avenida La Fonda<br>La Quinta, CA 92253       | 877.295.4751 |
| Police          | Indio PD | 46800 Jackson St., Indio, California<br>92201       | 760.391.4057 |
| Fire            | Cal Fire | 46-990 Jackson St.<br>Indio, CA 92201               | 760.347.0756 |
| Solid Waste     | Burrtec  | 53600 Polk Street<br>Coachella, CA 92236            | 760.340.2113 |
| Schools         | DSUSD    | 47-950 Dune Palms Road, La<br>Quinta, CA 92253      | 760.777.4200 |



**Existing General Plan & Zoning**



**Proposed Zoning**

| Legend  |                        |
|---|------------------------|
|  | Specific Plan Boundary |
|  | City Limits            |
| Existing  |                        |
|  | Suburban Neighborhood  |
| Proposed  |                        |
|  | Specific Plan          |



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**GENERAL PLAN / ZONING**

**FIGURE 1.4**  
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## 1.8 CEQA

The project is subject to the requirements of the California Environmental Quality Act (CEQA). Pursuant to the CEQA Guidelines, an Initial Study has been prepared for the Specific Plan to identify the potential environmental effects of the project. To provide CEQA clearances, the City has determined that an Environmental Impact Report (EIR) will accompany the Specific Plan.

The project's EIR has been completed and has evaluated any potential environmental impacts associated with the development as described in this Specific Plan and the appropriate measures to mitigate these impacts. All mitigation measures identified in the EIR and adopted by the City have been identified in a Mitigation Monitoring Program to define the timing and other requirements for implementing these mitigation measures as the Community is developed over time. All individual development projects within the Specific Plan will be reviewed for consistency with the Specific Plan to determine if supplemental environmental review documentation is needed pursuant to CEQA Guidelines.

## 1.9 Entitlement Process

Approval of the following entitlements will implement this project:

**Specific Plan** – The SP will provide comprehensive development guidelines, allowable uses, and development standards for the project as a whole.

**Tentative Tract Map (TTM)** – TTMs are intended to implement the project and subdivide the property into smaller parcels/lots for development or sale and create common area lots for private streets, the community clubhouse, open space paseos and other facilities.

**Tentative Parcel Map (TPM)** – The TPM is for financing purposes only.

**Planning Review** – This allows the City to review architectural and landscape plans in greater detail for the community landscape and clubhouse. All other plans will be reviewed for compliance of the design and development standards contained in this Specific Plan.

See Section 5 of this Specific Plan for more detailed information on the administrative and public hearing processes related to these implementing approvals.

## CHAPTER 2: MASTER PLAN

### 2.1 Land Use Plan

As noted in Table 2.1, the Specific Plan would facilitate construction of an active adult community with up to 1,500 residential units (gross density of approximately 4 du/ac) and a Community Clubhouse on approximately 378 acres of land. This project would serve as an extension of the existing Sun City Shadow Hills community to the south and east. Figure 2.1 *Land Use Map* shows the project boundary, as well as the layout of the residences and central clubhouse amenity.

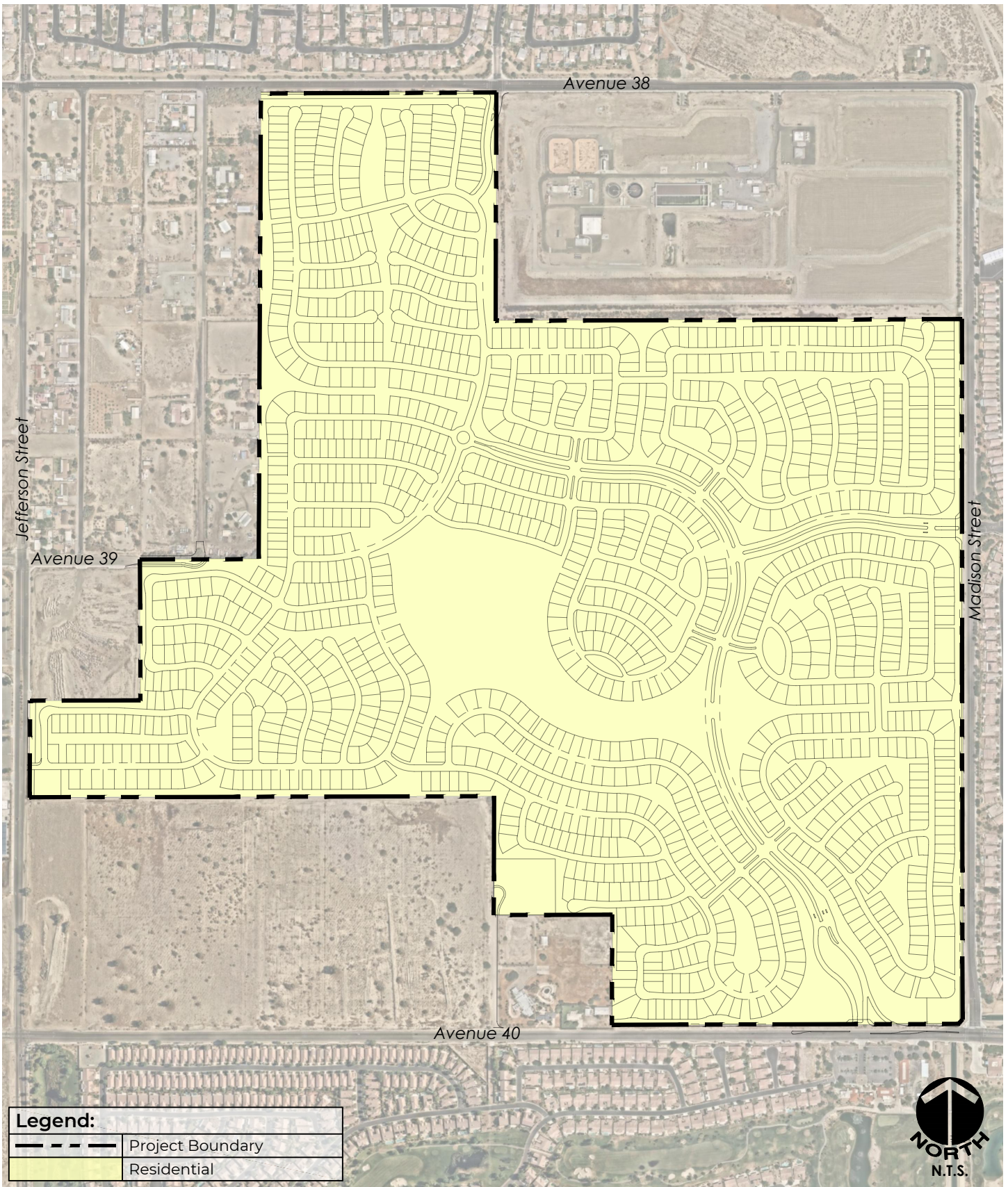
**Table 2.1 Land Use Summary**

| Land Use         | Acres | Max Units | Max Building SF |
|------------------|-------|-----------|-----------------|
| Residential      | 351.6 | 1,500     | -               |
| Perimeter R.O.W. | 2.0   | -         | -               |
| Clubhouse/Rec    | 26.1  | -         | 26,100          |
| Totals           | 377.7 | 1,500     | 26,100          |

### 2.2 Circulation

Vehicular and pedestrian circulation systems are an important component of this project. The SP has direct and convenient vehicular access to 40<sup>th</sup> Ave, Madison Street, 38<sup>th</sup> Ave, and Jefferson Street. Vehicles will circulate through standard residential streets and project entrances in compliance with City engineering and Fire Department design standards. The circulation system is illustrated in Figure 2.2 *Vehicle Circulation* and Figure 2.3a & 2.3b *Typical Street Sections Private & Public*. Key aspects of the circulation system include:

**Off-Site Street Improvements** – 40<sup>th</sup> Ave exists along the project's southernly frontage and will reach a width of 100 feet from each end of the right of way (R.O.W). Jefferson Street will also reach 100 feet from the end of each R.O.W. and exists along the western end of the property. Madison Street to the east will reach a width of 88 feet from each R.O.W, and Avenue 38 to the north will reach a width of 70 feet from each R.O.W. per the Public Typical Street Sections as shown in Figure 2.3.b



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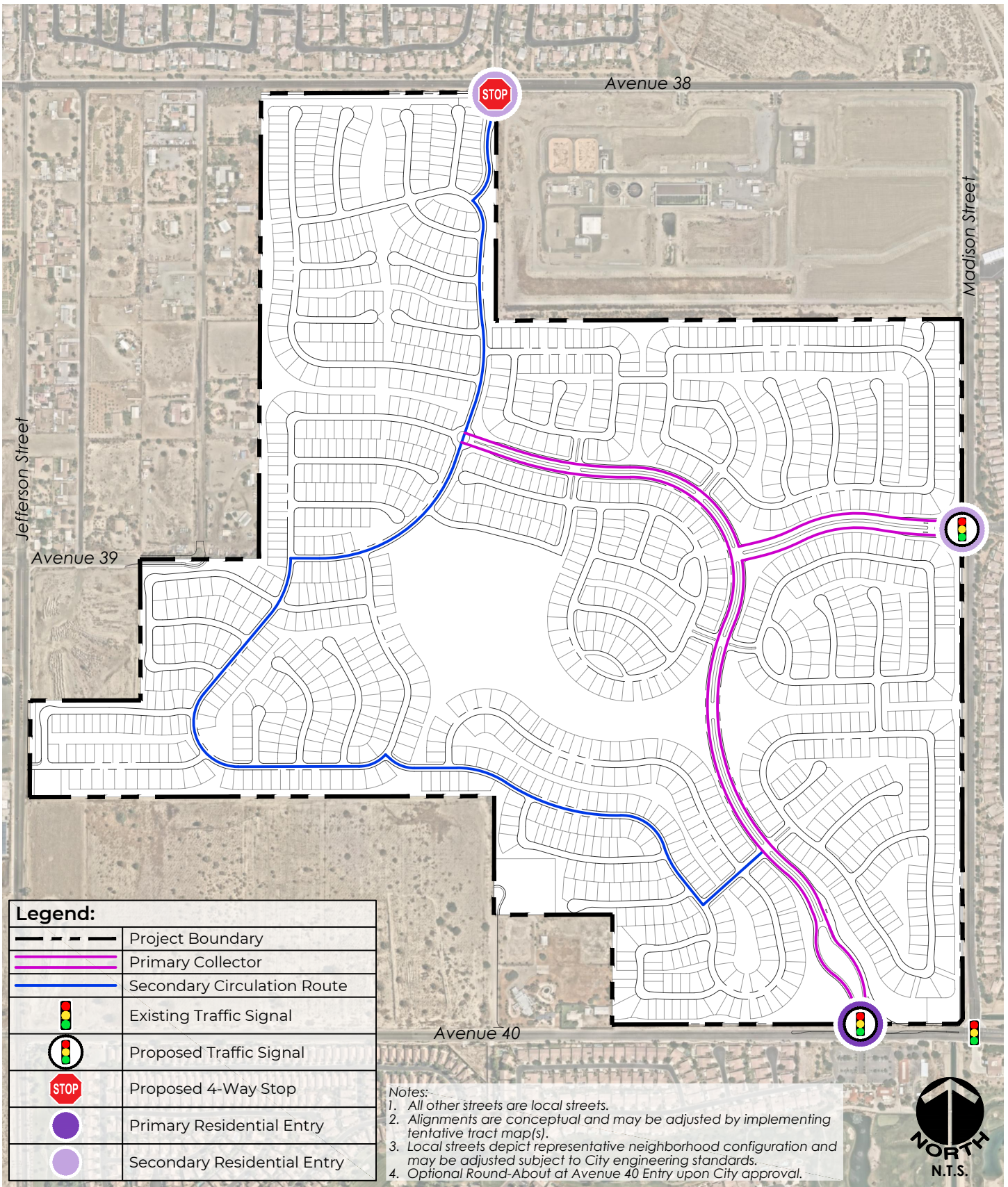
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LAND USE MAP

FIGURE 2.1  
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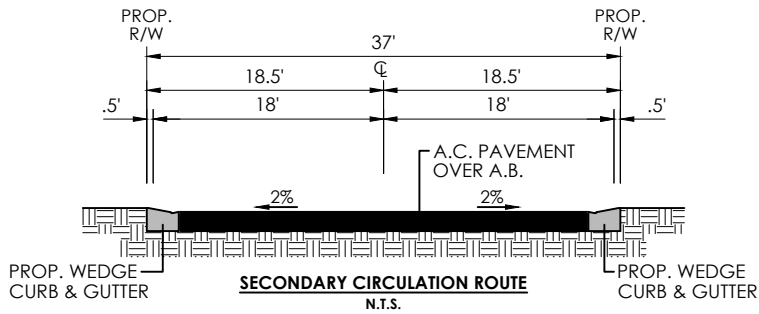
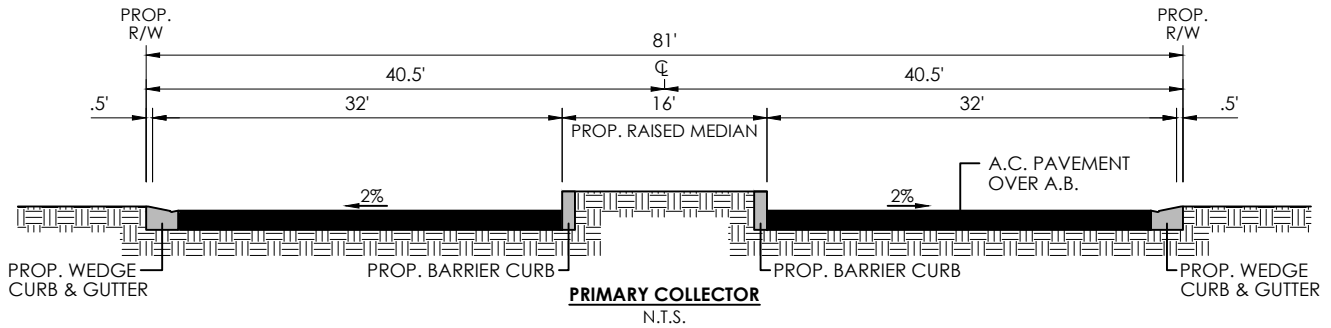
Source: MSA Consulting, Inc.

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VEHICLE CIRCULATION

FIGURE 2.2  
PAGE 12



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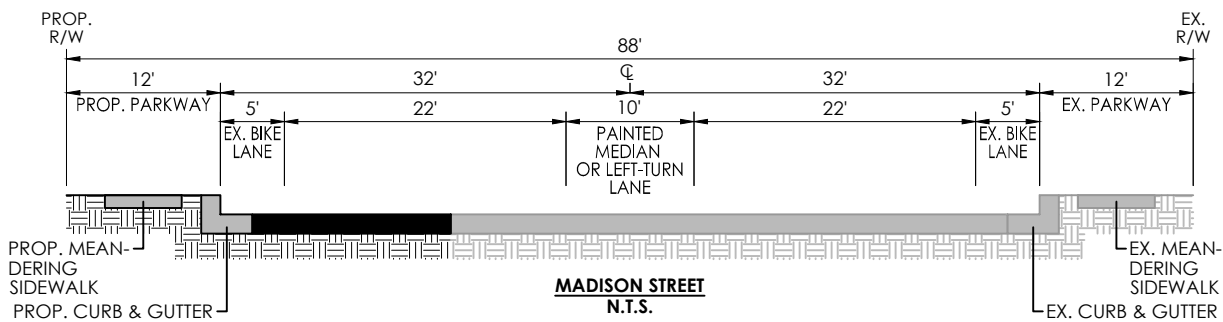
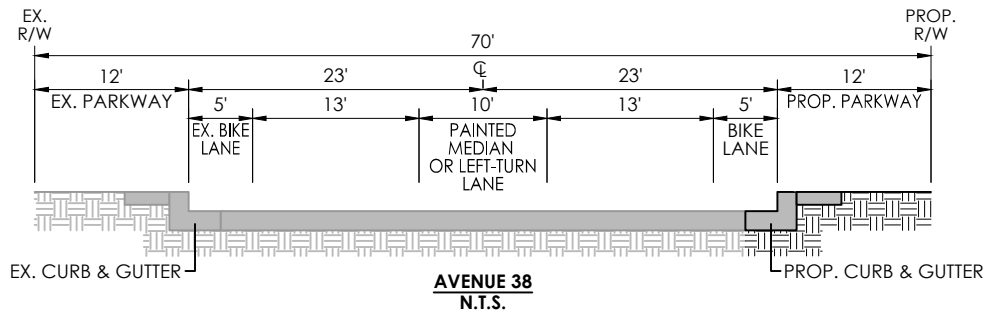
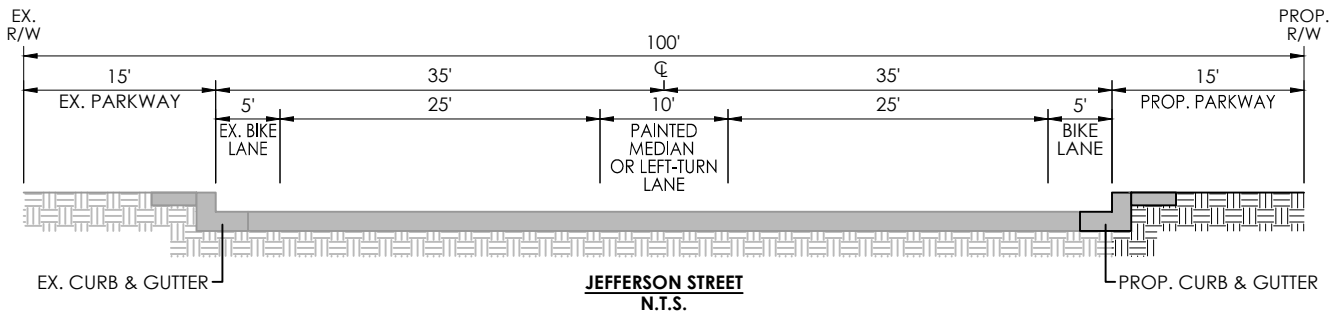
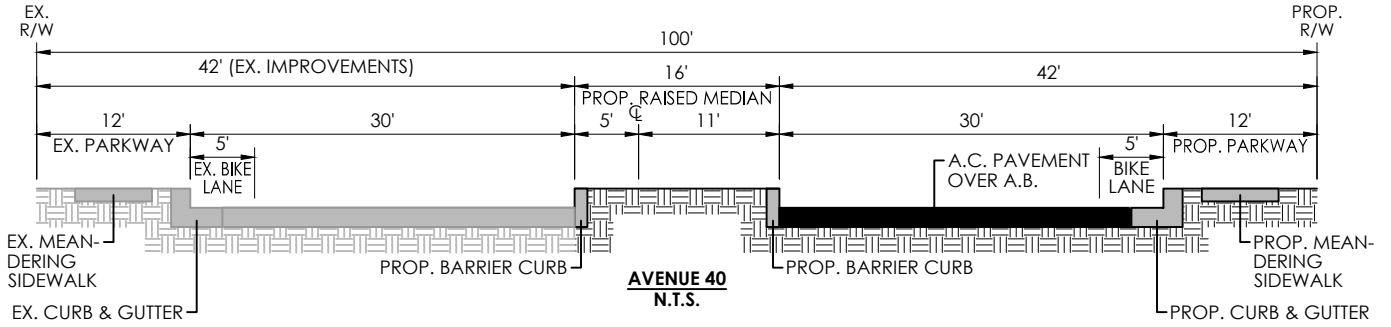


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**TYPICAL STREET SECTIONS: PRIVATE**

**FIGURE 2.3a**  
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**TYPICAL STREET SECTIONS: PUBLIC**

**FIGURE 2.3b**  
PAGE 14

**Entries** – Vehicular access to the site is proposed from gated entries on 40<sup>th</sup> Avenue, Madison Street, and 38<sup>th</sup> Avenue. The primary entry would occur on 40<sup>th</sup> Avenue near the corner with Madison St. Entries would include landscaping, entry signage and pedestrian walkway connections.

**Vehicular Circulation** – The vehicular circulation system will consist of a central collector road with local residential streets serving individual neighborhoods.

**Pedestrian Circulation** – The project will feature pedestrian access throughout the project via an integrated system of pedestrian trails/paseos and connecting on-street sidewalks. The project provides multiple pedestrian access points to connect the interior walkway system that allow residents free access to public sidewalks/trails on 40<sup>th</sup> Avenue, Madison Street, Jefferson Street, 38<sup>th</sup> and 39<sup>th</sup> Avenue. The pedestrian circulation system is shown in greater detail on Figure 2.4 *Pedestrian Circulation*.

### 2.3 Open Space

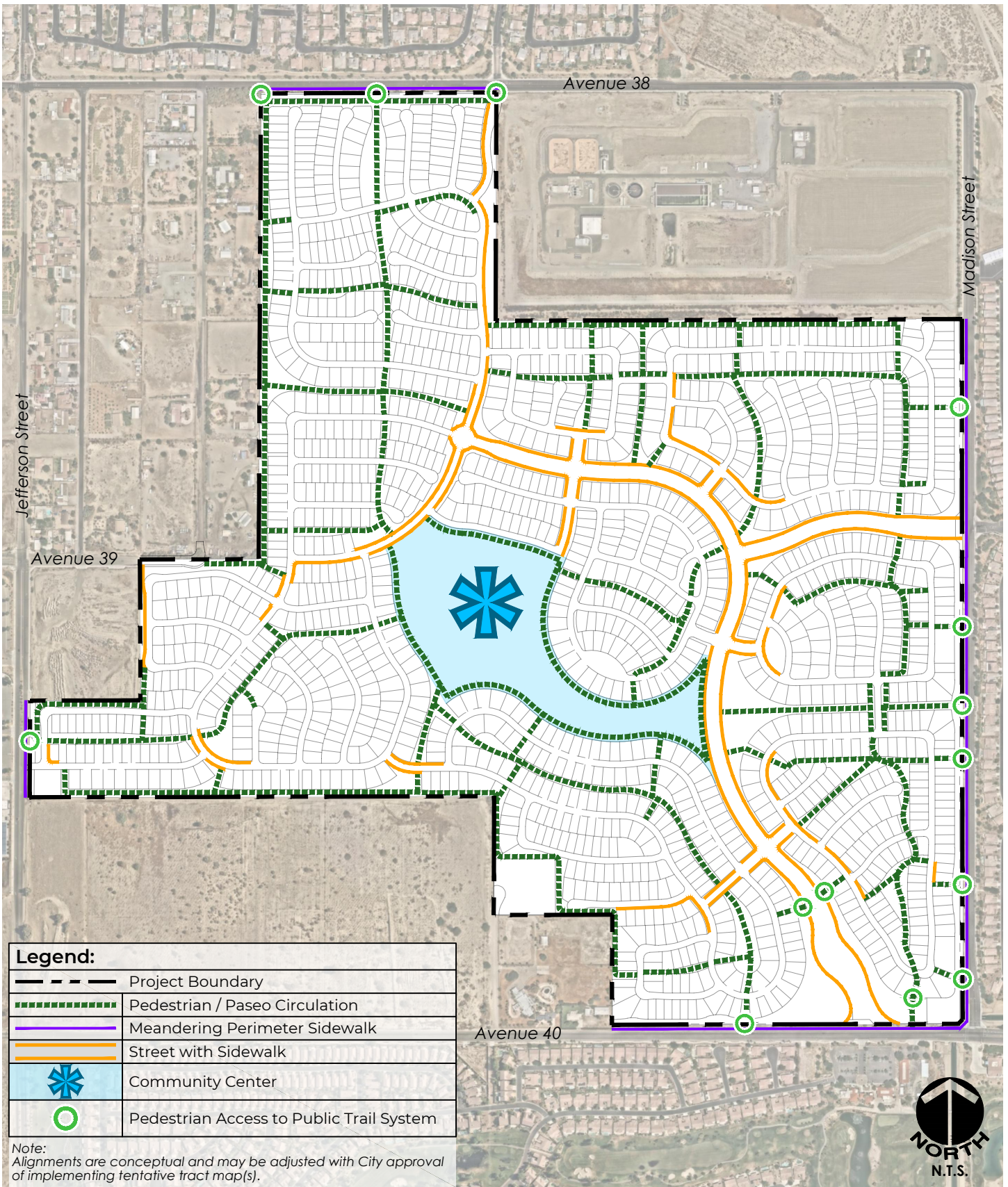
Open Space is an important aspect of a livable development. It provides areas where desert appropriate plant materials can be introduced to soften, accentuate, and shade urban hardscapes. They also provide prime opportunities. Key open space elements include:

**Central Recreation Amenity** – The project is designed around a central 26.1- acre recreational center that may contain amenities such as a fitness center, a movement studio, locker rooms, a covered outdoor pool, billiards tables, a golf simulator, arts and crafts room, game room, multi-purpose event lawn, sports courts, water features, outdoor kitchen, firepit seating ball room, catering kitchen, terrace, and indoor coffee bar with an outdoor social bar.

**Paseos** - Paseos provide an interconnected system of open spaces that link individual residences throughout the community with one another, the perimeter public sidewalk system and the central clubhouse amenity. These provide separate amenity corridors that encourage walking and biking throughout the community.

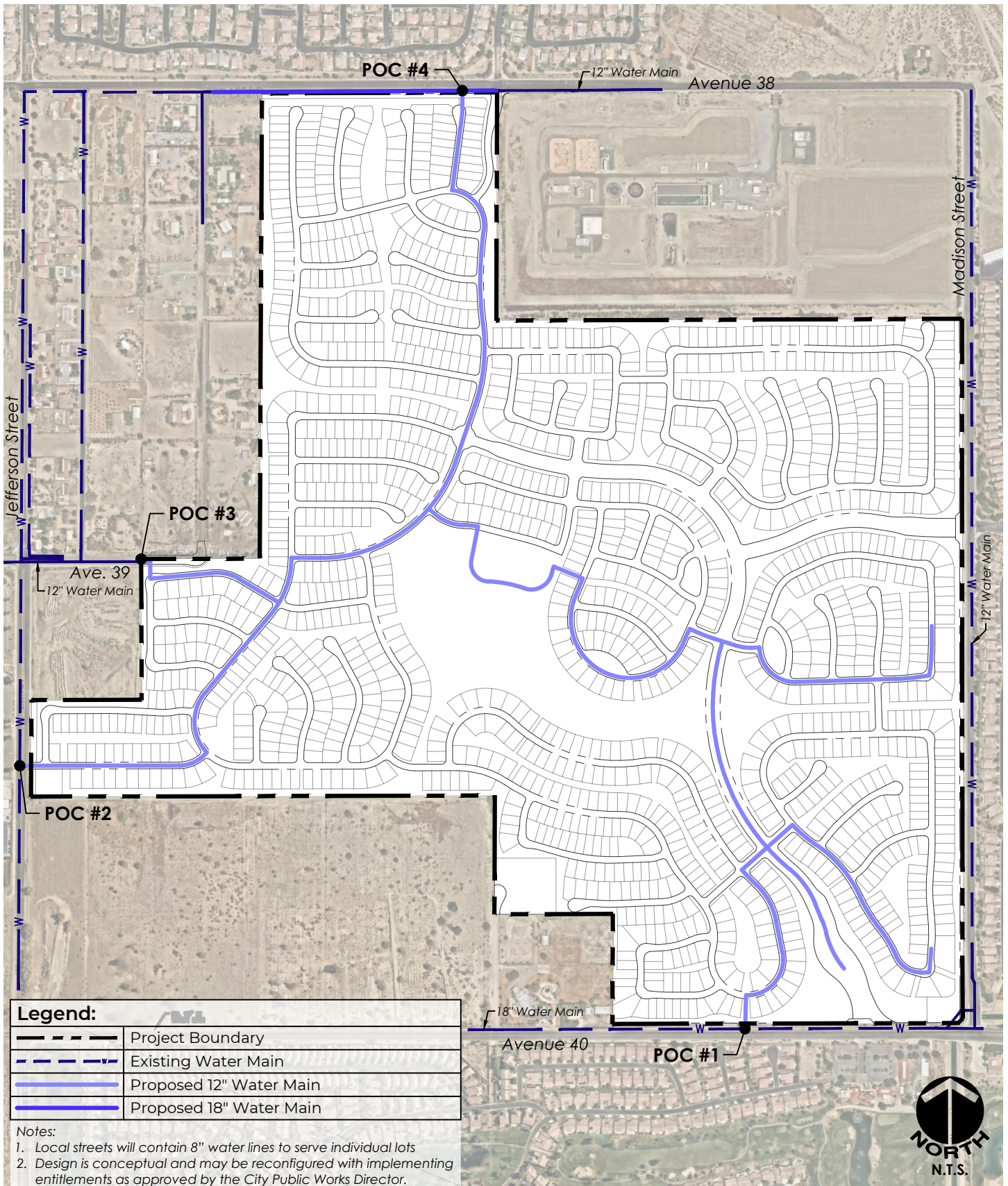
### 2.4 Water & Sewer

As shown in Figure 2.5 *Conceptual Water Plan* and Figure 2.6 *Conceptual Sewer Plan*, the Specific Plan area is provided with domestic water and sanitary sewer service by the Coachella Valley Water District (CVWD). Development within the project will be served by both public and private network of lines that will connect to existing public CVWD water and sewer lines located at 4 points of connection off Ave 38, Ave 40, and near the corner of Ave 39 and Jefferson.



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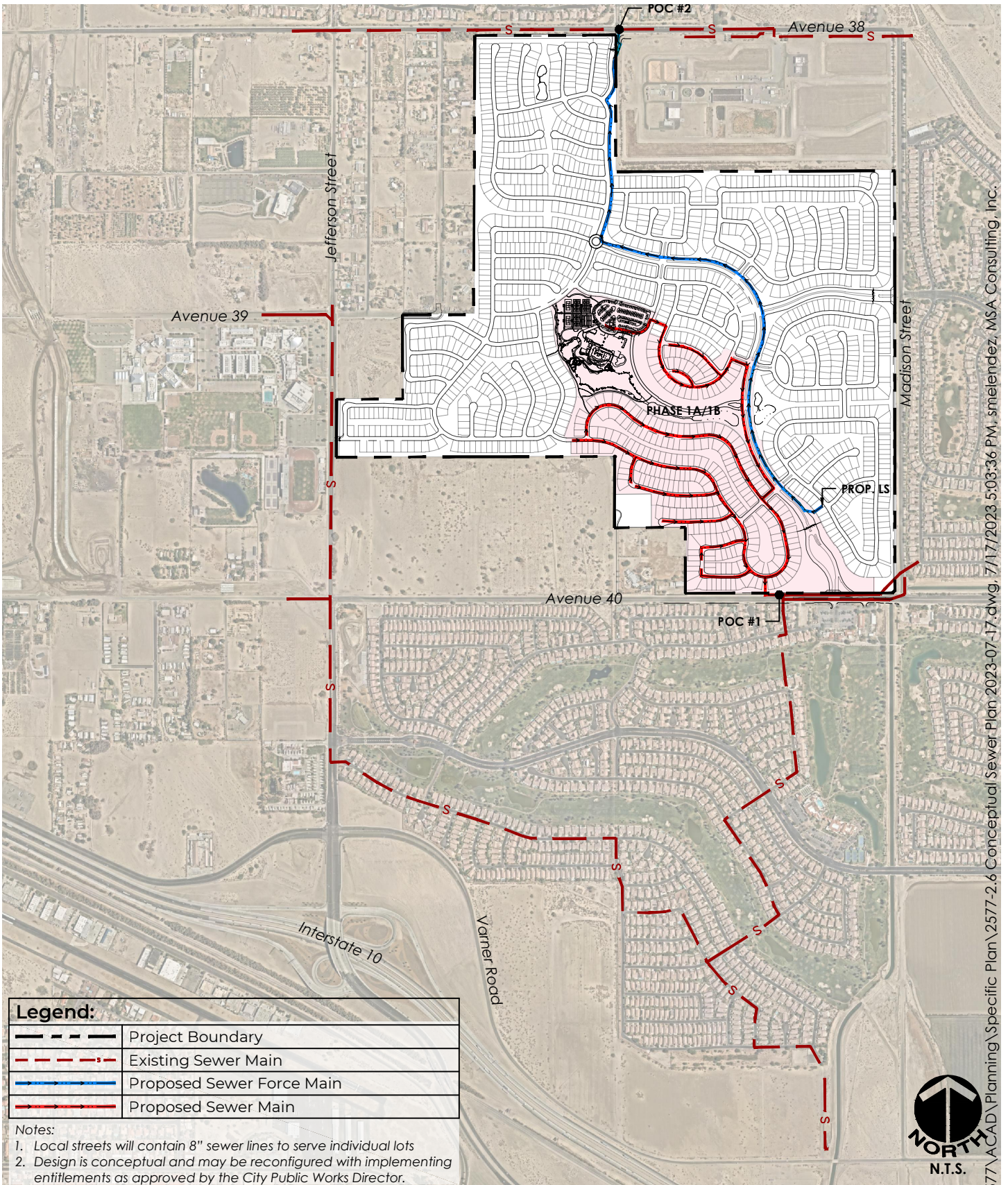
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CONCEPTUAL WATER PLAN



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FIGURE 2.5  
 PAGE 17



| Legend: |                           |
|---------|---------------------------|
|         | Project Boundary          |
|         | Existing Sewer Main       |
|         | Proposed Sewer Force Main |
|         | Proposed Sewer Main       |

- Notes:
1. Local streets will contain 8" sewer lines to serve individual lots
  2. Design is conceptual and may be reconfigured with implementing entitlements as approved by the City Public Works Director.

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CONCEPTUAL SEWER PLAN



FIGURE 2.6  
PAGE 18

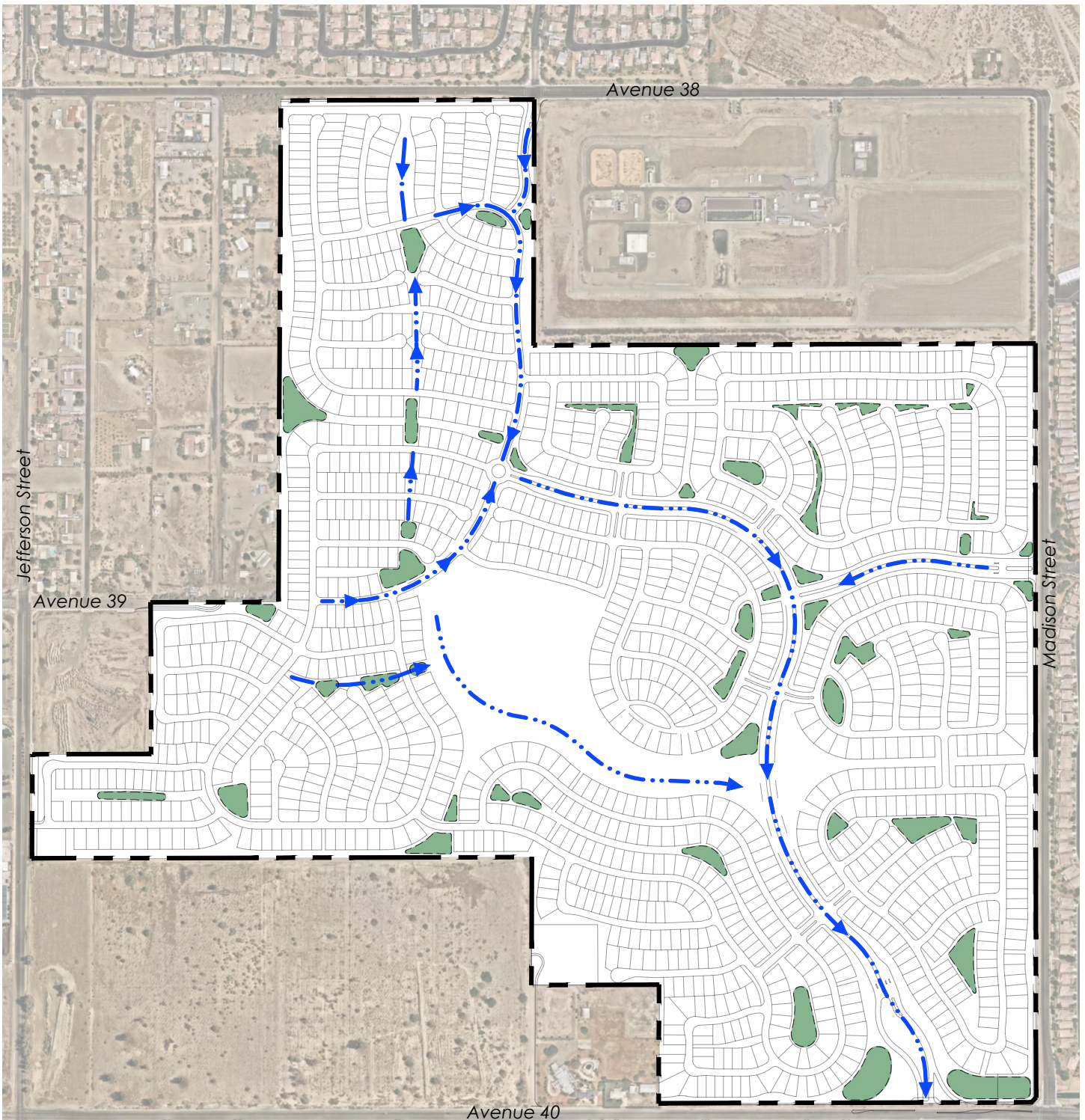
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## 2.5 Grading & Drainage

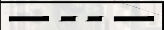
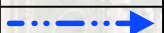

Site topography slopes from northwest to southeast with higher elevations ranging from 52 feet above sea level to a low of 38 feet above sea level. Because grading and drainage are closely interrelated, they are addressed jointly in this section.

Site grading will create building pads while intending to keep the earthwork balanced on site. Because the site is relatively level, grading design will not deviate greatly from existing conditions and will be defined in greater detail as subsequent entitlement projects are proposed. Grading will achieve positive surface flows and protect all structures and physical improvements from the 100-year storm through surface runoff into retention basins either above or below the finished surfaces. Soil erosion and water quality will be protected both during and after construction is completed. The incremental increase in storm water runoff from an existing condition to the new developed condition created by impervious surfaces (roofs, pavement) will be retained on site.

As shown in Figure 2.7, Conceptual Grading and Drainage Plan, "developed condition" surface drainage will generally be split between the northern half and southern half of the property with water flowing north in the northern portion of the property, and south in the southern portion via project roadways and managed using retention facilities within open space paseos. The stormwater system depicts the drainage framework which will be adapted and detailed by implementing Tentative Tract Maps. Adjustments may include the number, location, configuration and depth of drainage pipes and basins as well as the specific flow path through the site. However, the retention basins and storm-drain pipes will be sized appropriately for each phase of the project using standard engineering modelling methods as approved by the Engineering Services Division.



**Legend:**

|   |                                     |
|---|-------------------------------------|
|  | Project Boundary                    |
|  | Primary Drainage Flow Path          |
|  | Retention Serving Primary Flow Path |

**Notes:**

1. Design is conceptual and may be reconfigured with implementing entitlements as may be approved by the City.
2. Grading of lots and street system are designed to direct drainage to primary flow paths.
3. Additional localized retention will be interspersed throughout the open space network.



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**CONCEPTUAL GRADING & DRAINAGE**



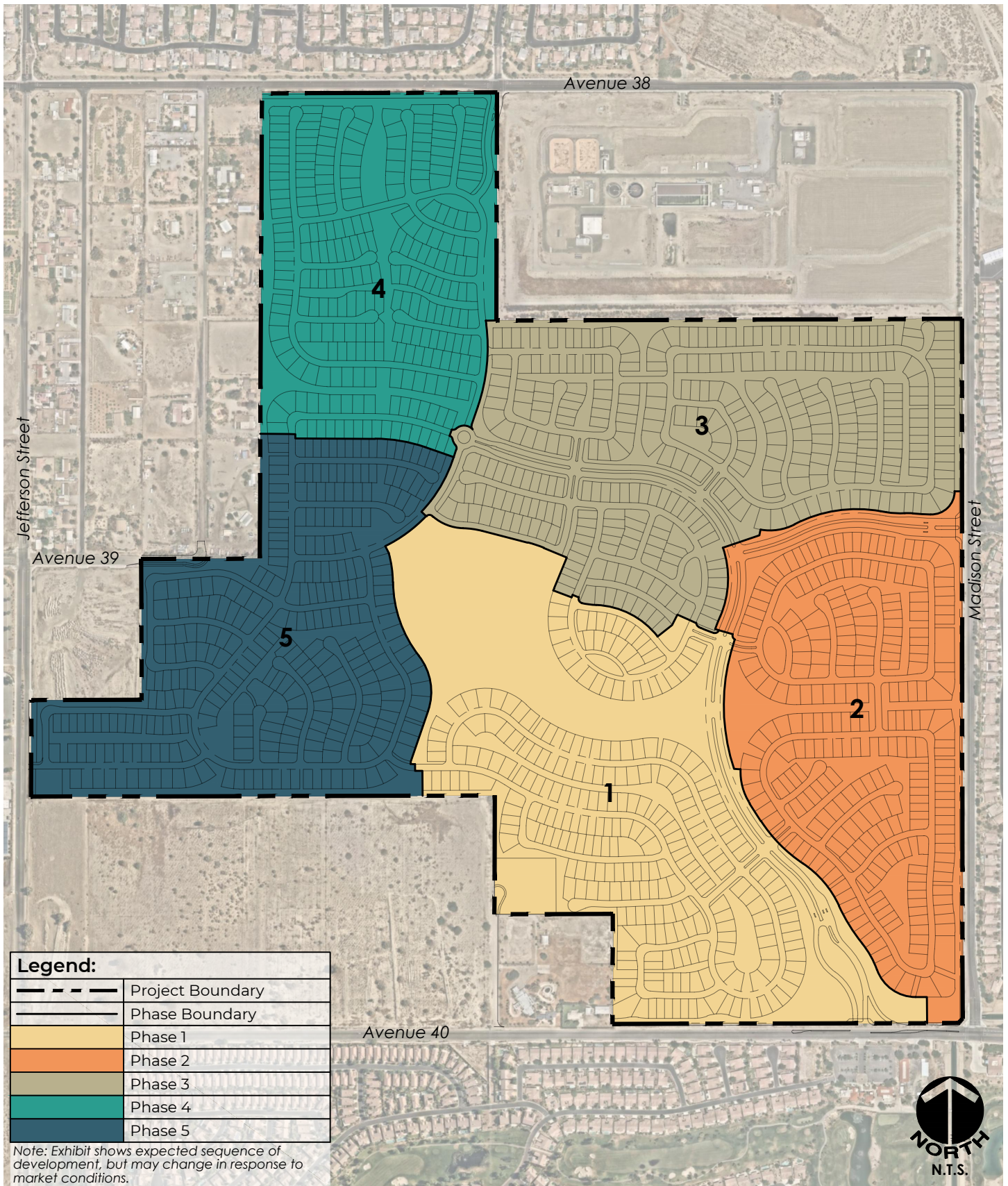
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**FIGURE 2.7**  
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## 2.6 Phasing

Development of the Specific Plan is intended to be developed by a single developer. Phasing is allowed so long as each phase accommodates the orderly extension of circulation, utilities, and infrastructure in accordance with the final conditions of approval for each project and the City's Public Works Department. The project is expected to be built in 5 phases as shown in the Phasing Plan Exhibit 2.8





Source: MSA Consulting, Inc.

Exhibit Date: May 8, 2023

PHASING PLAN



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FIGURE 2.8  
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## CHAPTER 3: DEVELOPMENT STANDARDS

### 3.1 Overview

This chapter identifies the development standards applicable to the Desert Retreat Specific Plan area. The establishment of the site-specific development standards set forth in this chapter are intended to guide orderly development within the Specific Plan area, while also maintaining some flexibility to respond to changing conditions which may be a factor in any long-term development.

### 3.2 Allowable Uses

Development standards for the Desert Retreat Specific Plan area are shown in Table 3.1 *Allowable Uses*.

**TABLE 3.1  
ALLOWABLE USES**

| <i>P-Permitted Use</i>  |   |
|---|---|
| <b><i>Residential</i></b>   |   |
| Single-Family Homes (Detached)  | P |
| Private Open Space and Recreational Facilities (tennis courts, pools, walk paths, etc.) | P |
| Clubhouses  | P |
| Accessory Dwelling Units (eg. ADU, Granny Flat, Casita).                                | P |
| Sales Office, Model Home Complex.   | P |
| Accessory Buildings Uses or Structures  | P |
| Home occupations  | P |
| The keeping of domestic animals   | P |
| Public or quasi-public utility or public service facilities                             | P |

### 3.3 Development Standards

Development standards for the Desert Retreat Specific Plan area are shown in Table 3.2 *Development Standards*.

**TABLE 3.2  
DEVELOPMENT STANDARDS**

|   |                         |
|---|-------------------------|
| Lot Standards   |                         |
| Minimum Lot Area  | 4,400 ft                |
| Minimum Lot Width   | 40 ft                   |
| Minimum Corner Lot Width  | 50 ft                   |
| Minimum Lot Depth   | 100 ft                  |
| Maximum Lot Coverage  | 65%                     |
| Setbacks  |                         |
| Front to living area or side loaded garage <sup>1</sup>   | 10 ft                   |
| Front to garage <sup>1</sup>  | 20 ft                   |
| Side  | 5 ft                    |
| Street Side   | 10 ft                   |
| Rear <sup>2</sup>   | 15 ft                   |
| Accessory Structures  | See IMC Section 159.689 |
| Parking   |                         |
| Single Family Residence   | 4 spaces <sup>3</sup>   |
| Notes:  |                         |
| <ol style="list-style-type: none"> <li>1. Measured from right of way</li> <li>2. Accessory structures may encroach into the rear yard up to 5' from rear property line.</li> <li>3. 2 garage spaces plus 2 driveway spaces</li> </ol> |                         |

## CHAPTER 4: DESIGN GUIDELINES

### 4.1 Overview

Quality development is achieved through attention to detail that is implemented from the initial inception of a project to the final construction of buildings, pathways, entry features, signage, and other design elements. This section outlines the design standards and guidelines for the Desert Retreat Specific Plan that will encourage the highest level of design quality and creativity in site planning and architectural design, while allowing for variation and flexibility.

All development within this Specific Plan needs to address the fundamental elements of design covered in this chapter. The following guidelines establish a design framework to help design professionals and developers understand and implement this project. The Specific Plan intends to allow a variety of design styles and a range of colors, materials, building detailing, and building orientations. However, these guidelines provide the necessary direction to ensure a coherent and complementary project.

Design guidelines that use the word “should” identify actions or outcomes that are encouraged but not mandatory. Only those using the word “shall,” are considered mandatory.

### 4.2 Architectural Guidelines

The overall architectural theme governing the development of the community is founded upon a high level of architectural quality and attention to detail combined with materials appropriate for use in the local desert environment based on durability and building code industry standards. Architectural styles designed for this community should embrace the Indio environment by using materials that are long-lasting and a color palette that enhances the desert beauty. Homes and people-centric spaces should be designed at pedestrian scale and provide visual interest as residents move throughout Desert Retreat.

The common area buildings located at the recreation amenity will have massing reflective of well-grounded, strongly profiled building forms. The following are recommended for these structures:

- Deep recessed windows for passive protection against solar heat gain.
- Deep overhangs and trellis elements also for passive climate control and shade.
- Indoor and outdoor gathering areas.
- Spaces for active and passive recreation.
- Building materials may include stucco (primary material) with accents of stone, tile or siding depending on architecture style. Roof material and pitch shall match the architectural style.

Desert Retreat homes will be primarily one-story and encourage indoor/outdoor living. Homes will address the climatic conditions of Indio by using durable materials and desert appropriate design features.

- The garage should be de-emphasized by having living space closer to the street than garage doors.
- Windows and overhangs should be designed for passive cooling.
- Architectural styles should be identifiable, but may reflect a contemporary adaptation.
- Varied floorplans and elevation styles and or color/material palettes are encouraged for a more diverse street scene.

The following standards and guidelines shall be followed to achieve the overall architectural design theme. Photos to illustrate possible representative architectural character are shown in Figure 4.1 Residential Design Character.

### ***Building Mass, Form and Scale***

Residential buildings within the community shall be single story structures and include single story elements and, as a general rule, should be designed with massing consistent with historic desert residential precedents, including recessed and prominent projected elements. The apparent mass of buildings should be reduced through the application of one or more of the following techniques:

- Utilize projections and recesses to provide shadow and relief at exterior walls and roof areas.
- Use simple roof forms; provide interest by jogging the rooflines, varying plate lines and roof heights. Simple roof forms are strongly encouraged to address Title 24 Energy Code requirements more effectively.
- Encourage indoor/outdoor relationship with shaded areas such as California Rooms as well as thoughtfully designed windows and doors that can enhance the indoor/outdoor connection.
- Windows and doors may be recessed to provide depth. Accent trim and color, divided window lights, and raised panels are examples of detailing that provide individuality and interest. Awnings are permitted if they are consistent with the overall architectural style of the building. All window and door details shall be consistent with the architectural style of the home.
- Walls and fencing are discussed in Section 4.3; however, private walls and fencing should be consistent with community wall themes and compatible with the architectural style of the buildings. Foreground plantings, vines, and espaliers are strongly encouraged to soften long stretches of walls and fencing.
- Mechanical equipment such as air conditioning and pool equipment, soft water tanks, gas meters and electric meters shall be screened from public view but accessible for meter reading.
- Gutters and down spouts may be concealed or, if exposed, designed as a continuous architectural feature painted to match or contrast with the adjacent building surface. All flashing, sheet metal, vent stacks and pipes shall be painted to match the adjacent building surface. Skylights should be designed as an integral part of the roof. Their location and color should relate to the building. Patio trellises, pergolas and other exterior structures are encouraged to soften building masses, provide shade and define spaces. As with main buildings, clean forms are encouraged utilizing materials and colors complementary to building architecture and project design themes.
- Accessory structures shall be architecturally compatible with the primary structure.



Source: MSA Consulting, Inc.

Exhibit Date: May 8, 2023



RESIDENTIAL DESIGN CHARACTER IMAGERY

FIGURE 4.1  
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### ***Building Materials and Colors***

The primary goal of color and material palettes is to further enhance and define the architectural styles. Equally important is the composition of color and materials to achieve a harmonious and visually interesting community.

Selected colors and materials should be appropriate to the styles they represent and used to further differentiate from other styles.

- Use complementary building materials that promote a harmonious appearance and provide interest and variety consistent with the architectural styles.
- Where possible, use style-appropriate concrete roof tile blends; prohibit overly dramatic blends with extreme contrast.
- Material finishes should express permanence and quality.
- Avoid frequent changes in materials.
- Stucco is permitted as the primary material, but should lean toward a finer finish. Heavy lace stucco finishes are prohibited.
- Architectural screens and accessory structures should be compatible in material, color and texture to the primary buildings.

Use high-quality, durable, low-maintenance materials.

### ***Roofs***

Roofs should serve as major structural and architectural design elements, and a variety of roof types and colors are permitted. Roofs shall reflect the selected product type architectural concept and respond to the style, materials and scale of the building. Roof overhangs are encouraged; they provide essential shade and are also aesthetically pleasing. Skylights may be installed provided that they are designed as an integral part of the roof form.

- A variety of roof type is encouraged, including hip roofs, gable roofs and shed roofs. Roof pitches of 3:12 to 5:12 are permitted as well as flat roofs and parapets
- Roof heights and planes should vary to create interplay between the roof and the walls of the structure.
- Acceptable roofing materials include concrete s-tile and concrete slate tile. Standing seam metal roofs may be used for accents.
- Unacceptable roofing materials include wood shakes, clay, and asphalt shingles.

### ***Chimneys***

Chimneys may be used as an architectural element. Caps on chimneys shall have low profiles; they should not be visually distracting. The form and materials shall reflect the architectural theme of the structure.

### ***Doors and Windows***

By varying the spacing, sizes, shapes and locations of door and window openings in building facades, structures may be made more visually interesting and attractive. However, care must be taken to avoid excessive variety, or the end result will be a chaotic, cluttered building facade. It is especially important to vary the placement of doors and windows on buildings located in close

proximity to each other in the same development. In addition, windows and doors may be recessed into or projected out of structures to emphasize important areas of the building.

To further enhance the individual identity of each structure, pot shelves, window boxes, and built-in planters may be utilized if style appropriate. However, all such containers must be easily accessible for plant maintenance. Window frames, mullions, and doorframes shall be color coordinated with the rest of the building. Decorative wrought iron grills on windows may be used. Doors and windows shall complement the architectural style. .

### **Garages**

Garage setbacks may be varied in order to enhance the streetscape scene. Garages shall be constructed of materials compatible with the architectural style of the structures.

### **Porches, Arcades and Entryways**

Entrances to buildings shall be clear and easily recognizable. Covered entrances, porches, and arcades are desirable because they serve to identify entrances and provide shelter from the sun and inclement weather. A protected entrance is not only functional, but also produces a sense of privacy. Front entrances should be designed as significant architectural features. Porches and entryways may be used to visually break up large, monolithic buildings into smaller units more in keeping with the desired human scale of the community. Porch and railing materials shall be consistent with the architectural style.

### **Mailboxes**

Where common mailbox services are provided for any residential area, they shall be located close to the neighborhood entry in clusters throughout the neighborhood. The architectural character shall be similar to the residential architecture.

## **4.3 Wall and Fence Guidelines**

Walls and fences will be constructed in various settings throughout the community to provide privacy and security. Guidelines related to walls and fences are described below with representative character photos shown in Figure 4.2, *Wall Design Character*.

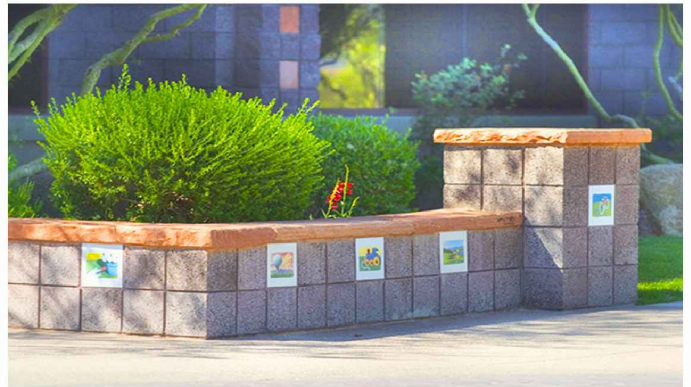
### **Community Walls**

Walls are a major component in achieving an overall community theme within the Community. Wall and fence materials will be designed to be compatible with adjacent architectural and landscape elements. A strong cohesive appearance is achieved through the use of a community wall design that is compatible with the community buildings' architectural theme.

### **Perimeter and Community Walls**

This project will be a gated community with a perimeter community wall that provides privacy. A solid decorative wall will be used at the perimeter of the project as well as inside the project adjacent to major streets and landscape areas. Tubular steel fencing may be constructed at the perimeter of the project in place of the solid decorative wall where such fences are adjacent to open space or where necessary for drainage purposes.





Source: MSA Consulting, Inc.

Exhibit Date: May 8, 2023



WALL DESIGN CHARACTER IMAGERY

FIGURE 4.2  
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### ***Open Space Walls***

Where view opportunities are adjacent to open space areas, a concrete curb will be used. Wrought iron or tubular steel fencing may be installed on top of this wall at the option of the individual owners, provided the overall height does not exceed 6 feet.

### ***Interior Walls for Single Family Lots***

Interior side and rear walls constructed around individual single-family lots will consist of masonry block, or low maintenance tubular steel fencing, with a minimum height of 5 feet above the finish floor elevation of the home. Interior rear walls located adjacent to an open space corridor will be a maximum of 3' high (6' high pool walls/ fences for safety), measured from the highest finish grade. Interior side walls shall be painted stucco or split fence, slump, sack finish or masonry block where they can be viewed from the open space areas.

### ***Special Wall and Fence Requirements***

- Walls may be used in association with common area buildings, such as maintenance facilities, for the purpose of sound abatement and visual screening of maintenance activities within the maintenance yard. Walls of up to 8 feet in height will be permitted for their value in isolating maintenance activities from the balance of the community. Additionally, walls of up to 8 feet in height are also permitted in order to screen food service areas and trash enclosures from the balance of the community and where appreciation of the common area amenities would suffer due to the lack of such walls.
- Fences and walls shall not exceed 8 feet in height above the highest adjacent grade, except when used on top of a berm where the maximum wall height will be 6'. The total height shall not exceed 8 feet above the lowest adjacent grade.
- Privacy walls surrounding residences should be a minimum of 5 feet in height and 6' maximum height. Privacy walls may be used in front yards, but it is encouraged to have landscape planting along the exterior side of the wall to soften appearance.
- Fences and screen walls (not including privacy walls, retaining walls or courtyard walls) shall not be located within the front yard area of a residential lot.
- All fences and walls connecting two separate residential dwelling units shall be constructed of the same material and color and shall be compatible with the color of the architecture.
- Barbed wire, electrically charged fences, plain exposed precision concrete block, plastic materials, corrugated metal, chain link, vinyl and grape stake fencing are prohibited.
- Retaining walls and courtyard walls located in the front yard setback area of single family lots shall be limited to 4 feet in height.

## 4.4 Landscape Guidelines

Landscaping is an integral part of community theming, and architectural enhancement. Landscape guidelines are described below with representative character photos shown in Figure 4.3 *Landscape Design Character*.

### **Theme**

The landscape architectural theme for the Desert Retreat Community will play an important role in creating a community identity as well as continuity throughout the project as it develops. The landscape architectural design for this project will reflect a “desertscape” theme with supplemental ornamental accent landscaping, while providing a commitment to water conservation and low maintenance. This can be accomplished with the proper layout of “water efficient” plant materials and a state-of-the-art irrigation system.

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette to give greater unity and thematic identity to the community. The landscape materials listed in the Community Plant Palette have been selected for their appropriateness to the project theme, climatic conditions, soil conditions and concern for maintenance. Plant material selection will include ground covers, accent shrubs, functional turf palm trees, and evergreen trees. Flowering vines and espaliers may also be used throughout the project.

### **Project Entries**

The main entry gate will be provided at 40<sup>th</sup> Avenue, with the secondary entry at Madison Street. The gates themselves will be automatically activated by a security system. Decorative wrought iron gates will be provided at both entries. The gates will be hung on masonry pilasters in keeping with the overall architectural theme and materiality.

The main entry gate at 40<sup>th</sup> Avenue will establish the initial theme and identification of the overall community. This entry will include a guard house, signage monumentation, landscaping, and community entry water feature. The community water feature and wall signs, as well as selected accent trees will be lighted. The median will be planted with shrubs, ground cover and accent planting. Other features may include landscaped berms, enhanced paving, accent trees and shrubs.

The secondary entry gate at Madison Street will be provided with transponder-activated gates that will provide access for community residents only. Enhanced landscaping will be provided at this entry consistent with the overall community theme. Other features may include landscaped berms, paving, boulders, landscape sculpture elements and a signature monument signage.



Source: MSA Consulting, Inc.

Exhibit Date: May 8, 2023



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**LANDSCAPE DESIGN CHARACTER IMAGERY**

**FIGURE 4.3**  
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**Perimeter Streets**

The expansive landscape setback along 38<sup>th</sup> Avenue, 40<sup>th</sup> Avenue, Madison Street and Jefferson Street will reflect a drought tolerant, natural dry concept that will fit into the low desert environment. Plant material selection will consist of primarily desert flowering trees with palm tree accents, desert accent shrubs and ground covers. Planting will be organic and free flowing.

Decorative crushed rock and gravel will be used as a continuous inert groundcover along with boulder rock used as accents.

**Private Arterial and Collector Streets**

Extensive landscaping will be provided for the private arterial streets within the project. Community private streets sections are illustrated in Figures 2.3a and 2.3b.

**Single Family Residential Lots**

It shall be the responsibility of the Developer to install front yard landscaping. It will be the responsibility of individual homeowners to install landscaping for the entire rear lot within a period of 90 days from the close of escrow. The lot owners will submit landscaping plans for review by the Master Homeowners Association within 30 days after the close of escrow. All individual lot landscaping will comply with the following minimum landscape guidelines, which at the discretion of the homeowner’s association, can be increased or made more stringent:

- The use of native or compatible drought tolerant species is strongly encouraged for all yard landscaping. Plants that consume higher amounts of water should be used sparingly and should be grouped together for efficient and proper irrigation.
- All landscape plantings will be maintained by a fully automatic underground watering system. The watering system valves will be brass and not plastic. The irrigation system must be equipped with an upstream pressure regulator. The drip system should also have a filter.
- The following plants will not be allowed in the Community:

| <u>Common Name</u> | <u>Botanical Name</u>  |
|--------------------|------------------------|
| Mulberry           | Morus alba             |
| Olive/fruit        | Olea europaea          |
| Tamarisk           | Tamarix                |
| Italian Cyprus     | Cupressus sempervirens |
| Fountain Grass     | Pennisetum setaceum    |

- Front yards shall be provided with a minimum of one tree and a minimum of one shrub or plant for each 200 square feet, or fraction thereof, of the overall lot area. No less than one-half of the minimum amounts of required shrubs or plants are to be located in the front yard. No less than one-quarter of the minimum amounts of required shrubs or plants are

to be located by the homeowner in the rear yard. All shrubs or plants must be at least a five-gallon container size. Trees will be no smaller than 24" box size. Ground cover will be required in all yards. Corner lots will be provided with two trees in the front yard and two trees on the side yard facing the street.

- The ground surfaces of all yards will be covered with inert or living materials or any combination of both. For the purpose of these Design Guidelines, topsoil or decomposed granite (fines) will not be considered inert material. No artificially colored rock will be permitted as ground cover. Ground cover or inert material will not be used to spell out names, nicknames, names of states, city's athletic teams, slogan states, emblems or any other communication.
- If turf is used, common Bermuda grass will not be allowed. There are several hybrid Bermudas available from which to choose. No more than 20% of the total square footage of the lot as described in the recorded tract map may be planted in turf, and only in the rear yard. Narrow or irregular shaped areas should be avoided because they are difficult to irrigate without encountering over-spray problems. Warm season grass such as hybrid Bermuda that goes dormant in winter will be over seeded with Winter Rye at the beginning of the fall season in order to maintain a consistent appearance. Perennial Rye seed is recommended. Owners may install turf that abuts a patio edge provided that such turf is not within four (4) feet from dwelling unit, and two (2) feet from side and rear property lines or any wall. Where turf is adjacent to sidewalks, designs shall eliminate over-spray of the hardscape.
- The use of solid plastic sheeting or polyethylene over ground areas will not be permitted. If landscape fabric is used, it must allow the free flow of water, air, and gases to and from the soil.
- Fountains will be limited in height to 5 feet above the natural grade of the lot unless otherwise approved by the master homeowner's association. They will be of natural materials compatible with the overall architectural theme of the community. Fountains will be permitted in the front yards, street side yards, rear yards, and courtyards of all residential homes. Waterfall features, including waterfall spills for pools or spas, when constructed in the front, side or rear yards, are limited to a maximum of 36 inches in height above the finished floor elevation of the lot. Waterfalls constructed in rear yards enclosed by 5-foot walls or higher can exceed this maximum height as long as they cannot be seen from common areas or neighboring lots.
- Statues and artifacts will not be allowed in the front yard excepting temporary statues, artifacts and other holiday decorative landscaping items which may be allowed within a reasonable time period prior to and after the holiday season. In front enclosed courtyards, artifacts will be allowed with prior approval of the homeowner's association, so long as they are limited to 5-feet in height. Also, with prior approval of the homeowner's association for placement, statues and artifacts are allowed in the back yards of green belt lots so long as they do not exceed 36 inches in height measured from the finish floor elevation to the top of the statue or artifact.

## CHAPTER 5: PLAN ADMINISTRATION

### 5.1 Overview

This chapter describes the procedures for administration and implementation of the Desert Retreat Specific Plan. The City of Indio Community Development Department shall have the responsibility for plan administration and implementation as established in this chapter.

### 5.2 Implementation

This Specific Plan establishes the general intent and comprehensive framework for the future development of the Desert Retreat project. However, prior to construction, various implementing approvals are required, as noted below.

**Specific Plan** – The SP will provide comprehensive development guidelines, allowable uses, and development standards for the project as a whole.

**Tentative Tract Map (TTM)** – TTMs are intended to implement the project and subdivide the property into smaller parcels/lots for development or sale and create common area lots for private streets, the community clubhouse, open space paseos and other facilities.

**Planning Review** – This allows the City to review architectural and landscape plans in greater detail for the community landscape and clubhouse. All other plans will be reviewed for compliance of the design and development standards contained in this Specific Plan.

### 5.3 Administration

**Administrative Changes** - Minor modifications that are consistent with the purpose and intent of this Specific Plan are allowed at the discretion of the Community Development Director or designee. Therefore, it is intended that this Specific Plan provide City Staff with the flexibility to interpret the details of project development as well as those items described in general terms in the Specific Plan without requiring a Specific Plan.

Requests for administrative changes shall be made in writing. If/when it is determined that changes or adjustments are necessary or appropriate, these shall be approved administratively by the Community Development Director or designee. After approval, any such administrative change shall be attached to the Specific Plan as an addendum and may be further changed and amended from time to time as necessary.

Representative examples of such changes may include, but are not limited to:

- The addition of new information to the Specific Plan maps or text that do not substantially change the effect of any regulation. The new information may include more detailed, site-specific information.
- Changes to infrastructure such as drainage systems, roads, water and sewer systems, etc.
- Deviations not exceeding 10% of the development regulations set forth in Chapter 3 of this Specific Plan will be considered on a case-by-case basis, subject to the discretion and approval of the Community Development Director.

**Formal Amendments** - If it has been determined that the proposed change is not in conformance with the intent of the current Specific Plan approval, the Specific Plan may be amended in accordance with the procedures set forth in the City of Indio Municipal Code.

## 5.4 Interpretation

**Uses Not Listed** - All uses not listed as allowed in this Specific Plan are prohibited. However, the Community Development Director may determine that a use not listed is included within, similar to or comparable to a listed use and, once so determined; it shall be treated in the same manner as a listed use.

**Application of Standards** - Where there is ambiguity between the Specific Plan and the Zoning Code, the Community Development Director shall review pertinent information and make a determination as to which code or standard applies. All determinations shall be in writing and shall be attached to the Specific Plan as noted under *Administrative Changes*, earlier in this section.

## 5.5 Enforcement

The enforcement of the provisions of this Specific Plan shall be by the following:

- The City of Indio Community Development Department shall enforce the development standards and regulations set forth herein.
- Any administrative decision or interpretation of this Specific Plan may be appealed to the Planning Commission per the provisions of Section 150.022 of the City of Indio Municipal Code. Likewise, any decision by the Planning Commission may be appealed to the City Council.
- The City of Indio shall administer the provisions of this Specific Plan in accordance with the State of California Government Code, Subdivision Map Act, the City of Indio General Plan, and the City of Indio Municipal Code.
- The Specific Plan development procedures, regulations, standards, and specifications shall supersede the relevant provisions of the City's Municipal Code, as they currently exist or may be amended in the future.
- All regulations, conditions, and programs contained herein shall be deemed separate distinct and independent provisions of this Specific Plan. In the event that any such provision is held invalid or unconstitutional, the validity of all the remaining provisions of this Specific Plan shall not be affected.
- Any development regulation and building requirement not addressed in this Specific Plan shall be subject to all relevant City of Indio ordinances, codes, and regulations.