

VENTANA SPECIFIC PLAN



City of Indio, California

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I. INTRODUCTION

The VENTANA Specific Plan (Specific Plan) provides the vision for a pedestrian friendly, single-family residential neighborhood that draws design inspiration from a mix of Santa Barbara and Spanish Modern architecture. This Specific Plan contains all components required by State law, as well as other components, including architectural design concepts, guidelines, and standards required by the City, that will control future improvements to the site and ensure a high-quality development.



A. Authority and Scope

A Specific Plan is a document allowed under California law which provides cities and counties with a planning tool for master planning project sites. The authority to adopt and implement the VENTANA Specific Plan is granted to the City of Indio by the provisions of California Government Code Section 65450 et seq.

A Specific Plan, when approved, becomes the zoning ordinance for the project area it covers. The Specific Plan is intended to ensure quality development consistent with the goals, objectives, and policies of the Indio General Plan.

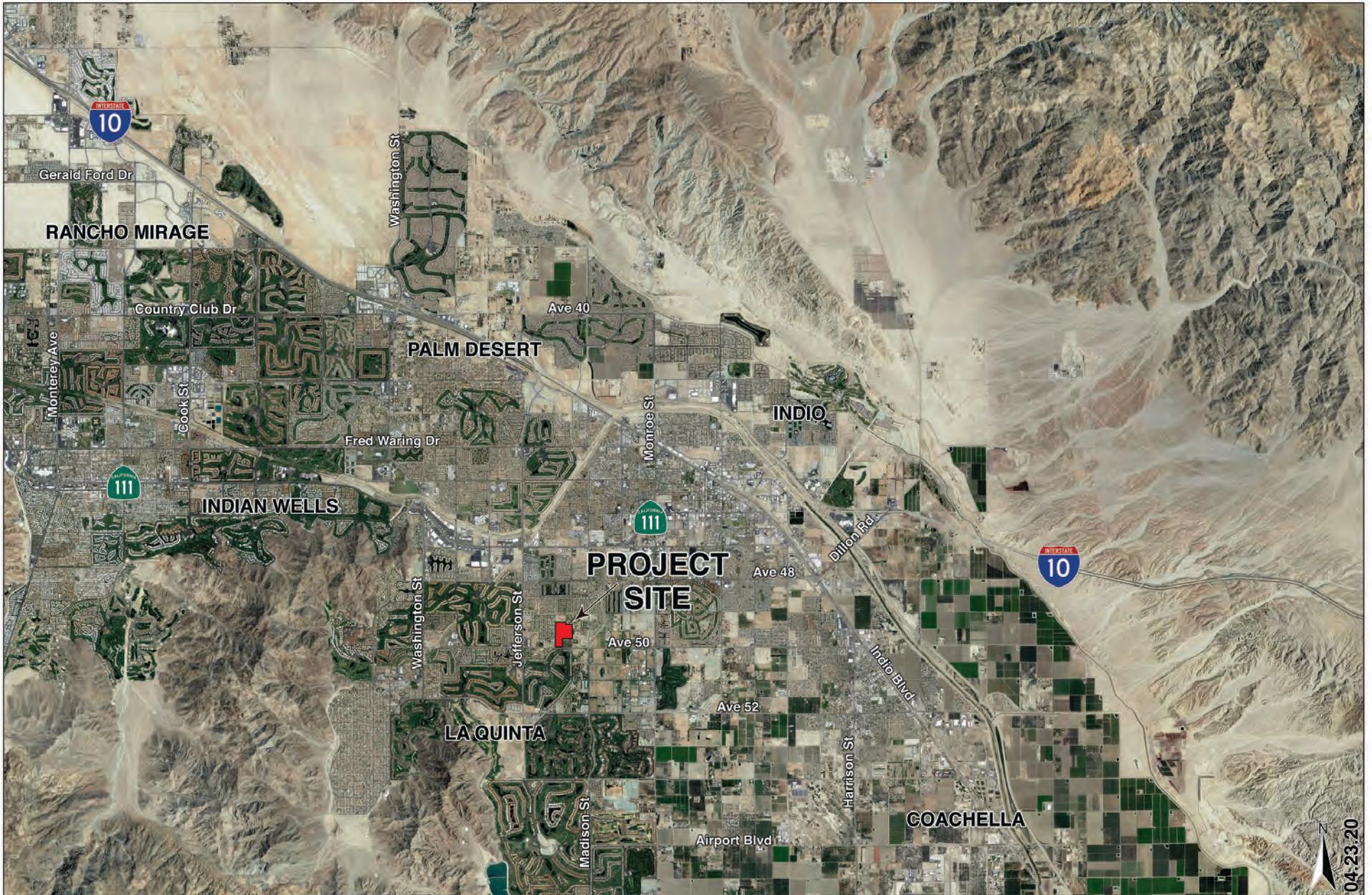
As with General Plans and Zoning Ordinances, the Planning Commission must hold a public hearing before it can recommend to City Council the adoption of a Specific Plan or an amendment thereto. The City of Indio may adopt a Specific Plan and/or an amendment to the Specific Plan by either ordinance or resolution. (Municipal Code Chapter 159.950 through 159.958, Zoning Regulations). In this case, as the Specific Plan will become the zoning ordinance for the project, the City Council will adopt the Specific Plan by ordinance.

B. Project Location and Setting

The VENTANA Specific Plan area consists of 45.17 acres located on the north side of Avenue 50 between Jefferson Street and Madison Street in the City of Indio, Riverside County, California (Exhibits 1 and 2). The Project site is currently vacant, contains sparse vegetation, miscellaneous trash/debris, and is surrounded by vacant land and residential development.

The proposed Specific Plan area is currently designated "Desert Estate Neighborhood" in the City's 2040 General Plan, which allows a low-density residential neighborhood development of up to 1 DU/AC. The City's Zoning Map currently designates the subject site as Country Estates Indio Ranchos Zone(s) (CEIR-1 & CEIR-2), which allows a maximum density of 2 DU/AC. Both CEIR-1 and CEIR-2 allow for single-family detached dwelling units, and accessory structures such as swimming pools, fencing and walls, and playground equipment. In conjunction with this Specific Plan, a General Plan Amendment is proposed for the site, which would create a new residential land use designation, Transitional Neighborhood. This land use designation, which allows densities of up to 3 units per acre, will allow the approval of the Specific Plan and subsequent approvals, resulting in a project at a density of 2.3 units per acre.

The Project site is relatively flat, with 0.3% slope to the south. The site consists of Assessor's Parcel Number (APN) 602-070-004, 602-080-001 & 602-080-002 and is approximately 45.17 acres.



Source: Google Maps, 2019

Exhibit 1 - Vicinity Map



Source: Google Maps, 2020

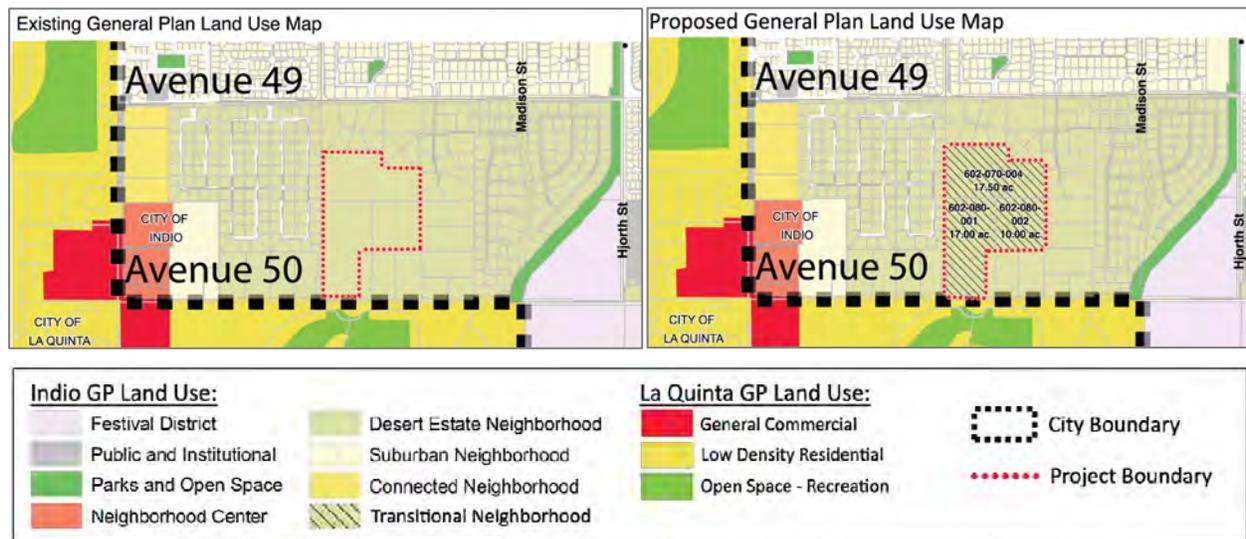
Exhibit 2 - Project Location Map

C. Project Description

i. Land Uses

The VENTANA Specific Plan establishes building and development standards for the entire 45.17-acre Project area, including building height, building setbacks, development density, landscaping and parking. These standards prevail over the City of Indio Municipal Code standards for the site. In addition, the Specific Plan establishes Design Guidelines that would serve to guide the aesthetic character and visual quality of future development on the site. A General Plan Amendment (GPA) is proposed concurrent with the VENTANA Specific Plan that would change the site's General Plan designation to "Transitional Neighborhood," which allows a residential density of 3 DU/AC.

The site is designated as "Desert Estate Neighborhood (DE)" on the City's 2040 General Plan Land Use Map, which allows the lowest intensity residential neighborhood development of up to 1 DU/AC. The City's Zoning Map, which was last updated in 2009, currently designates the subject site as "Country Estates Indio Ranchos Zone(s)" (CEIR-1 & CEIR-2) and allows for low density residential developments of 1-2 DU/AC. Under the proposed Specific Plan, zoning and development standards for the project will be based on the Residential Low (RL) designation, which mirrors the density and intent of the Transitional Neighborhood General Plan designation.

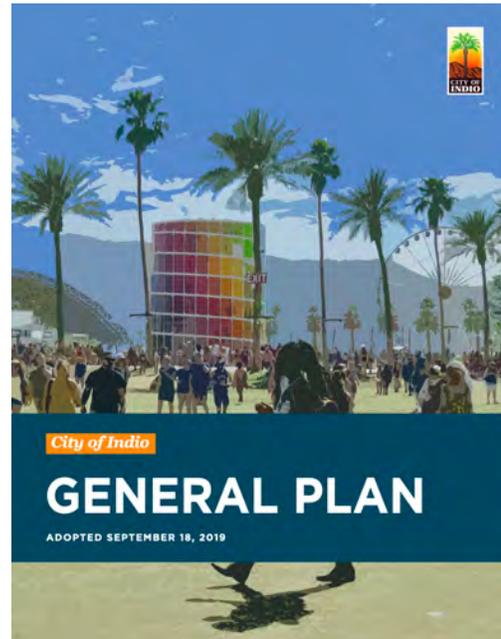


The VENTANA Specific Plan proposes a low-density residential development consisting of 103 residential units, a dog park, pedestrian trails, and open space common areas (Exhibit 4). The Specific Plan divides the site into two Planning Areas (PA) (Exhibit 5). Planning Area 1 is the non-gated portion of the development and consists of lots 1-23. Planning Area 2 is the gated portion of the development and consists of lots 24-103. Planning Area 2 is further divided into Planning Areas 2A and 2B to distinguish between the midsize and larger lots. Planning Area 2A contains the midsize lots, 24-75, and PA 2B contains the larger lots, 76-103. The proposed TTM (TTM 37884) will subdivide the site for the 103 lots, which is equal to an overall density of 2.3 DU/AC. The Project also includes

private roadways with an entrance/exit accessible via Avenue 50. Emergency access will be from the southbound lane at the Project's main entrance gate (See Section II.C for discussion of Circulation, Parking and Emergency Access). All proposed homes will include garages and curbside parking for guest use.

D. General Plan Consistency

California Government Code §65450-§65453 permits the adoption and administration of Specific Plans as an implementation tool for elements contained within the local General Plan. The City of Indio General Plan provides guidance for long-term growth and development in the City through comprehensive plans for future development. Consistency with the General Plan is achieved when the various land uses within the Specific Plan are compatible with the goals, policies, and general pattern of land uses contained in the General Plan. Consistency is defined as follows: "An action, program, or project is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment." This statement from the Governor's Office of Planning and Research (OPR) describes how a Specific Plan should be consistent with the General Plan.



Discussion of the VENTANA Specific Plan's consistency with the goals and policies of the City of Indio's General Plan are provided in Section VI of this Specific Plan.

E. CEQA Compliance

In compliance with the California Environmental Quality Act (CEQA), the City identified the preparation of this Specific Plan as a "Project" under CEQA and prepared an Initial Study. The Initial Study found that the Specific Plan had a potential to significantly impact the environment, and that an Environmental Impact Report (EIR) must be prepared. The City circulated to all responsible and trustee agencies a Notice of Preparation (NOP) of an EIR. All comments received in response to the NOP were considered and incorporated into the EIR. The EIR was circulated to all responsible and trustee agencies, and all other interested parties, for a period of 45 days. All comments received in response to the EIR were considered in the Response to Comments prepared for the Planning Commission and City Council. The City Council certified the EIR prior to adopting this Specific Plan, on **xxxx, 2021**.

Source: MDS Consulting, Terra Nova Planning, 2021



Exhibit 4 - Planning Area Map

II. DEVELOPMENT STANDARDS

This section of the Specific Plan serves as the Specific Plan Area's Zoning Ordinance. Standards and guidelines which are applied to the Specific Plan Area are described in detail below. When Zoning Ordinance standards and guidelines apply, a reference is made to the appropriate Section of the Zoning Ordinance.



A. Allowable Uses

As previously discussed, a General Plan Amendment (GPA) is proposed concurrent with the VENTANA Specific Plan that would create a new residential land use designation, "Transitional Neighborhood," that allows a residential density of up to 3 DU/AC and provides low intensity neighborhood development that primarily features single-family houses, pedestrian oriented streets, and access to neighborhood parks and open space.

Under the proposed Specific Plan, the subject to the site will be zoned as Residential Low (RL) and adhere to the permitted uses set forth in Zoning Code Chapter 159.116-118. Permitted uses include, but are not limited to:

- Single family dwellings
- Attached and detached casitas and accessory dwelling units
- Home occupations
- Accessory buildings, uses, or structures
- Keeping of domestic animals
- Licensed in home day care for up to 12 children
- Flood control facilities
- Public parks or recreational facilities
- Public or private schools or educational institutions
- Foster homes

B. Land Use Development Standards

The VENTANA Specific Plan establishes building and development standards for the entire 45.17-acre Project site in accordance with the new General Plan designation for Transitional Neighborhood and low-density residential standards of the Zoning Ordinance. According to the General Plan, Transitional Neighborhoods (TN) are defined by the following:

Streetscapes: Streetscapes are simple, with rolled curbs and sidewalks and trails that facilitate internal connectivity. Street alignments are curvilinear, with adjacent open spaces. The vehicular design speed is 25 mph.

Connectivity: Streets are internally oriented. Blocks are pedestrian-oriented and include sidewalks and pathways to connect residents to parks, open space and community amenities. Streets are interconnected to create a comfortable neighborhood feel

Building Form and Character:

Traditional lotting arrangements that allow flexibility in lot sizes, from 7,000 square foot to ½ acre in size within the same community, to promote diversity. Variety in lot size and product type is encouraged, as is density averaging. Back yards are large enough for private pools and other private open space for each household. Homes should be primarily one-story, with second story pop ups over no more than 50% of the ground floor area.

Open Space:

Neighborhood parks, community swimming pools, passive parks and dog parks are provided within the neighborhood, without having to access collector or larger roadways. Parks are integral to the community.



The following table provides the proposed development standards by Specific Plan Planning Area.

**Table 1
Planning Area Development Standards
VENTANA Specific Plan**

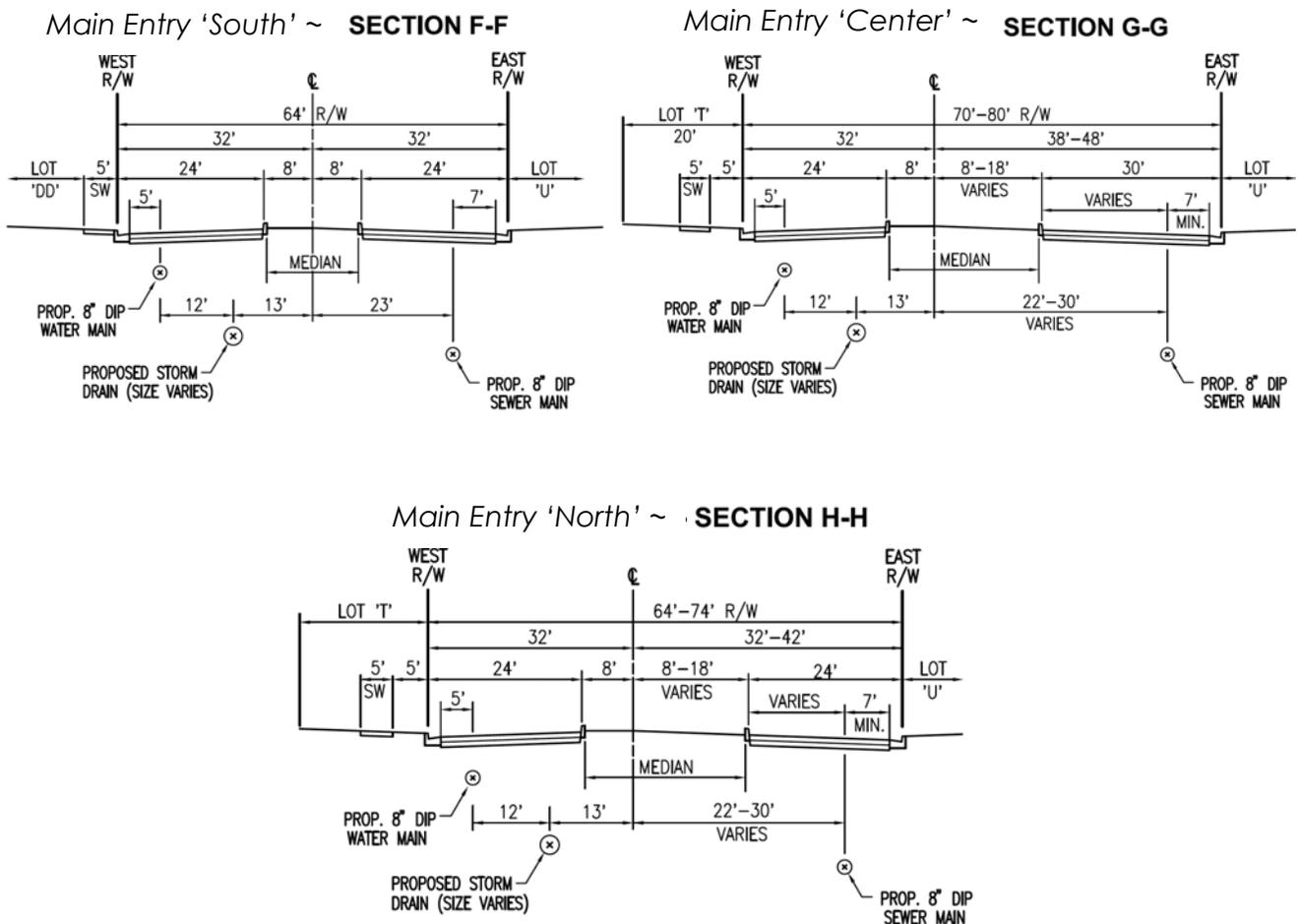
Development Standard	PA 1 (Lots 1-23)	PA 2A (Lots 24-75)	PA 2B (Lots 76-103)
Density, Avg.	2.3 DU/AC		
Min/Max Unit Size incl. Garage	1,200 SF/3,100 SF	1,200 SF/4,100 SF	1,200 SF/4,600 SF
Maximum Lot Coverage	60%	50%	50%
Maximum Height/Stories	28 ft/ 2 stories	24 ft / 1 story	24 ft / 1 story
Typical Lot Width	55 ft	80 ft	90 ft
Typical Lot Depth	130 ft	140 ft	150 ft
Minimum Lot Area	7,000 SF	11,000 SF	13,500 SF
Setback - Front	15 ft	15 ft	15 ft
Setback - Front – Garage	20 ft	20 ft	20 ft
Setback – Side	6 ft	8 ft	10 ft
Setback - Rear	20 ft	20 ft	25 ft
Private Garages	400 SF min	≤ 4 Rooms = 400 SF min > 4 Rooms = 600 SF min	≤ 4 Rooms = 400 SF min > 4 Rooms = 600 SF min

C. Circulation, Parking and Emergency Access

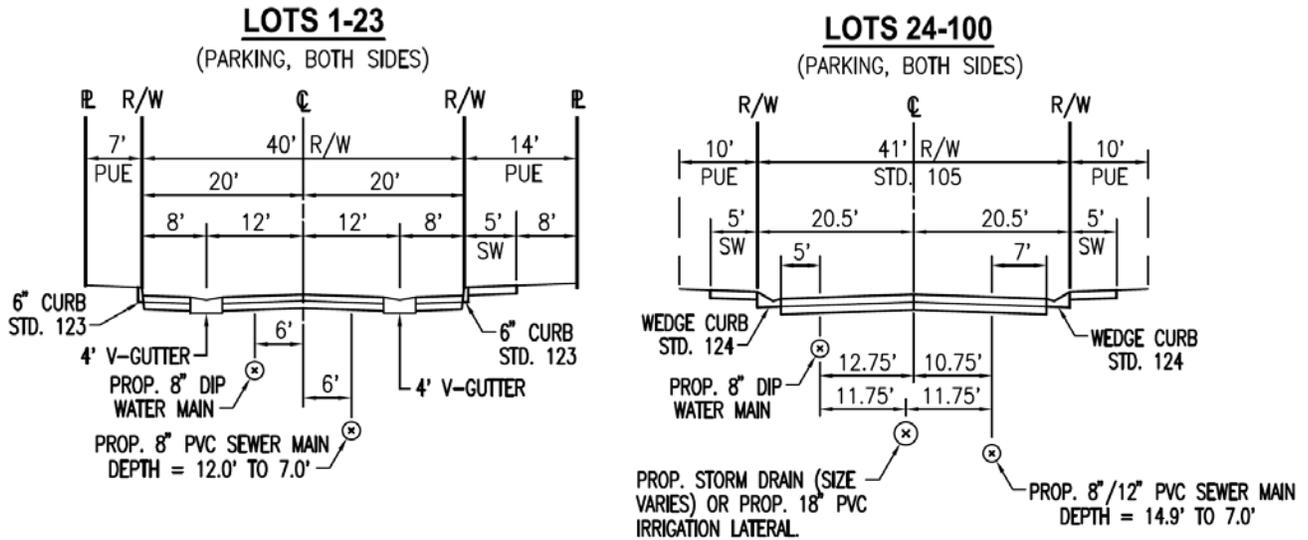
There are two Project access points onto Avenue 50. Primary Project ingress and egress will occur on Avenue 50 directly across from the Mountain View Country Club main entrance. Emergency access will be from the southbound lane at the Project's main entrance gate.

The intersection at the Project primary entrance/exit will not be signalized. Instead, there will be an unprotected right in/ right out/left in/left out. The north side of Avenue 50 will be widened from 30-feet to 50-feet to accommodate turning traffic.

Internal circulation will be provided by private roads and drives via an entryway drive. The entryway drive provides two travel lanes for ingress and egress separated by landscaped medians intermittently placed along the drive aisle. The width of the Project entry right-of-way will range from 64 to 80 feet as shown in the street sections below.

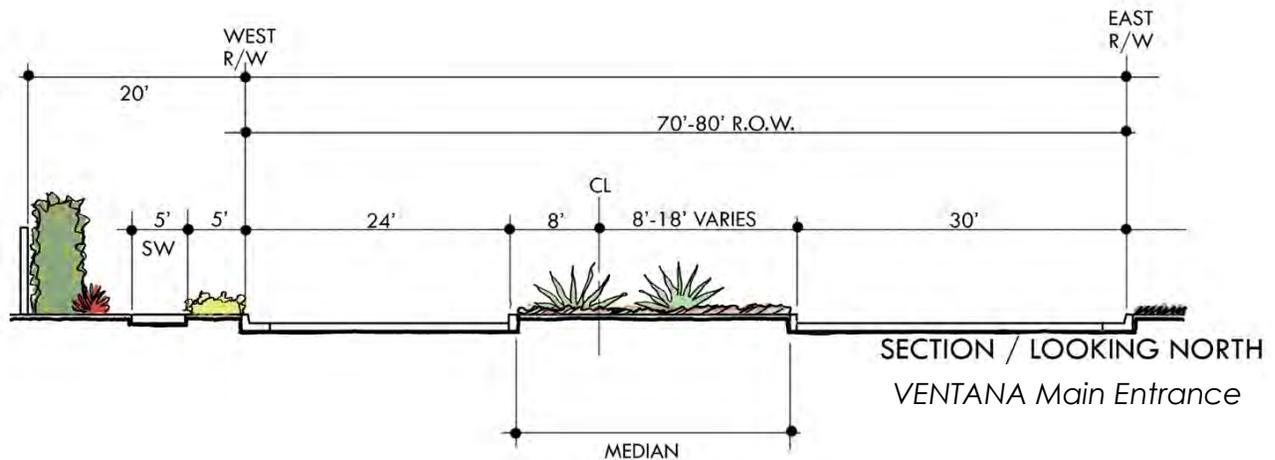


In PA 1 (Lots 1-23), right-of-way widths would range from 32- to 41-feet with parking on both sides. Alleyways will be limited to a 32-foot width with no street parking allowed. In PA 2 (Lots 24-100), the right-of-way would be 41-feet wide throughout the planning area with parking allowed on both sides.



Parking in PA 1 will be provided for each home by a two-car garage. Parking in PA 2 will be provided for each home by a two- or three-car garage. In addition, on-street guest parking is allowed on all Project roadways and driveways, as shown in the section schematics above.

Street improvements, including curbs, gutters, paving and sidewalks, shall adhere to City design requirements. Development standards for parking lots, including landscaping, lighting, aisle width etc. are set forth in Zoning Code Chapter 159.653.



Emergency access to the site will be from the southbound (egress) lane of the Project's main entrance. The emergency access point at the Project main entry will be gated and adhere to the Riverside County Fire Departments design guidelines.



VENTANA Emergency Access

III. DESIGN GUIDELINES

A. Architecture

As the oldest City in the Coachella Valley, Indio is seeing a resurgence in activity and investment. New, high-quality neighborhoods centering on connectedness and human scale, flourish and contribute to a vibrant, successful community.

These guidelines provide recommendations for the design of all structures and elements within the Specific Plan, and more specifically, they provide direction for the materials, configurations, wall color and embellishments, openings, projections, roofs, and other building elements. Building design should be memorable and inspiring, yet complement the theme and styles of surrounding neighborhoods and unique desert environment.

These guidelines support a versatile compilation of architectural styles, from the antique Spanish Colonial, to the sleek Spanish Modern, and the stately Santa Barbara, each being iconic to the Southern California architectural heritage. The Santa Barbara architectural style is not strictly defined and can be open to interpretation; but with some rigor. This Specific Plan will guide future development to ensure high quality design consistent with Spanish Colonial, Spanish Modern and Santa Barbara architecture.



i. Architectural Themes

There is no single, clear definition of the Santa Barbara style, as such, architects will have room to exercise creativity and adapt it to the Coachella Valley. Santa Barbara architecture finds its Spanish architectural roots in the earliest buildings, such as the Presidio in the 1780s. Upon first glance, one would often spot elements such as plaster walls, red-tile roofs, and heavy timbers that are clearly Spanish in origin; but a second look at the strong and abstract forms can reveal the rudimentary skills and methods used by the builders. Such rugged charm of the Presidio Era buildings was instilled into the romantic essence of Santa Barbara architecture.

While Victorian-style homes became more popular than Spanish adobes in the late 19th century, Mission Revival homes evoked past traditions and featured prominent mission gables. In the early 20th century, Santa Barbara embraced a Mediterranean medley of artifacts, antiques, and architecture, among which Spanish Colonial Revival became the pre-eminent style. Cherishing early Spanish roots in the Presidio, the Mission, and adobe casas and blending in the vitality, flair, and connoisseurship of the times, architects and patrons transformed Santa Barbara into an exemplar of Spanish Colonial Revival architecture, which is evident in the cityscape seen today.

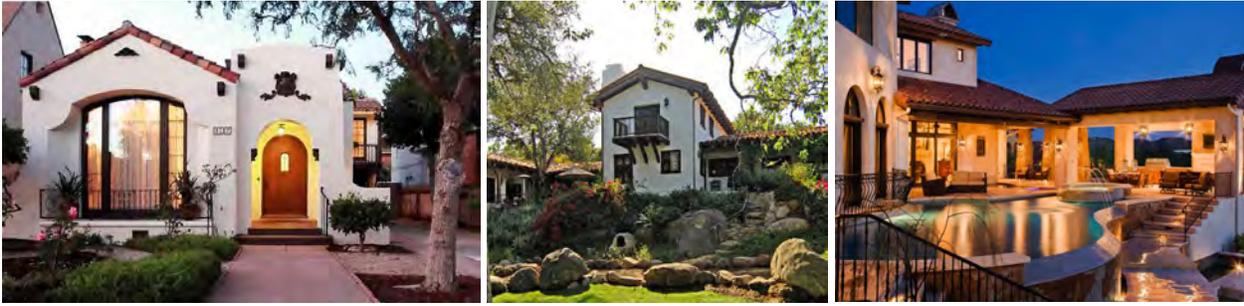


Early Modern architecture made its appearance in Santa Barbara near the mid-20th century, and while not having as vast and sweeping an effect as it had elsewhere, modernism infused a *subtle* sense of simplicity into traditional Spanish-looking architecture in Santa Barbara. Architects can twist the signature Spanish Colonial Revival style to give a slightly contemporary feel, or even be so bold as to take the modern structure and change some of the materials to plaster and wood, allowing them to fit in better with the traditional Santa Barbara architecture.

Spanish yet Simplified

The Spanish Colonial style can be adapted as a romantic Spanish look that is subtly modern. Simple elegance and contemporary fitting. From the examples here of 'eclectic' Spanish-looking homes, common elements and features can be drawn for design reference:

- Some traditional ornamentation with wrought iron
- Red-tile roofs with cross-gables and little to no overhanging eaves
- White stucco walls and façade
- Arches over large windows, carved doors and porch entries



Modern skeleton, softer flesh

On the bolder contemporary end of the Spanish style spectrum, a stark contrast can be seen relative to the more nostalgic design. Clean, crisp modern structures are immersed in a warm feel and atmosphere, accomplished through such combinations as:

- Straight lines and fewer angles + slightly tilted roof
- Simple rectangular/box shapes + carved door, brick finish and other textures
- Grayish and modest color with less contrast + warm-colored wood door, trim/frame, and overhang
- Aggregate/concrete walls + plaster finish



ii. Building Heights and Mass

The Specific Plan allows for residential development with appropriate building height, scale and massing to create a comfortable and harmonious ambience. The Specific Plan promotes a walkable neighborhood with houses and structures designed to the human scale. The Plan allows for a maximum building height of 28 feet for Planning Area 1, and 24 feet for Planning Area 2. Covered porches and loggias can enhance the building's design, appearance, and function without creating excessive mass, scale and bulk.

The VENTANA Specific Plan takes a "better by design" approach to building heights and mass that requires a sensitivity to existing neighbors and structures. Although the majority of units are designed to be single-story, the Specific Plan offers a diverse selection of plan elevation options for vertical and horizontal relief and curb appeal. The only two-story plan option is located in PA 1. To make the two-story homes in PA 1 more compatible with single-story neighbors in PA 2, architects may consider a partial second-story design, for instance, a pop up. A pop up will not introduce significant volume or bulk, thereby avoiding potential impact to sunlight access, the streetscape, and neighboring backyards.



iii. Building and Design Materials

The Spanish Colonial, Spanish Modern, and Santa Barbara architectural styles draw from a diverse palette of materials and finishes, from Spanish influences and modern repertoire. It is essential that materials, colors, and finishes, complement each other to maintain a careful balance of traditional and modern elements in the individual homes. Local adaptation will be encouraged; for instance, intense sunshine is a prevailing feature of the desert environment, and textured surfaces will produce interesting shadow effects and give a distinctive local character.

The following materials are encouraged in building design:

- Block for property walls and fencing
- Plaster wall exterior or finish
- Red tiles, or metal standing seam roof/copper roof panels
- Heavy timber columns and clear-finish wood siding
- Wrought iron railings and ornamentation
- Dark wood to accentuate and contrast white or grayish walls
- Stone and slate for walkways

A' SANTA BARBARA ELEVATIONS

COLOR SCHEME COLOR APPLICATION	1	2
STUCCO BODY / STUCCO FASCIA/ TRIM	SW 7512 PAVILION BEIGE	SW 7502 DRY DOCK
GARAGE DOORS	SW 7027 WELL BRED BROWN	SW 2808 ROOKWOOD DARK BROWN
ENTRY DOORS / SHUTTERS	SW 7083 DARKROOM	SW 7062 ROCK BOTTOM
ROOF MATERIAL: FULL 'S' CAPISTRANO	SHC 8708 DEL ORO BLEND (60%) / SMC 8401 SAN MIGUEL BLEND (40%)	SHC 8711 PUESTA DEL SOL (60%) / SMC 8401 SAN MIGUEL BLEND (40%)
BOOSTED TILE 20% MUDDER EAVES	97646 DEL ORO BLEND	9402 SANTA CRUZ

B' SPANISH COLONIAL ELEVATIONS

COLOR SCHEME COLOR APPLICATION	3	4
STUCCO BODY	SW 7012 CREAMY	SW 9110 MALABAR
WOOD FASCIA / ALL TRIM GARAGE DOORS	SW 7515 HOMESTEAD	SW 7675 SEALSKIN
ENTRY DOORS / SHUTTERS	SW 7027 WELL BRED BROWN	SW 6048 TERRA BRUN
BRICK SILLS	MT. RUSHMORE	MT. RUSHMORE
ROOF MATERIAL: FULL 'S' CAPISTRANO	SHC 8709 EL MORADO BLEND (50%) / SMC 8820 SANTA CLARA BLEND (50%)	SMC 8404 SAN JUAN BLEND (50%) / SMC 8820 SANTA CLARA BLEND (50%)
BOOSTED TILE 20% MUDDER EAVES	9709 EL MORADO	9820 SANTA CLARA

C' SPANISH MODERN ELEVATIONS

COLOR SCHEME COLOR APPLICATION	5	6
STUCCO BODY / STUCCO FASCIA/ TRIM	SW 7757 HIGH REFLECTIVE WHITE	SW 9165 GOSSAMER VEIL
GARAGE DOORS / WOODEN GATES	SW 7020 BLACK FOX	SW 7645 THUNDER GRAY
ENTRY DOORS	SW 6244 NAVAL	SW 6047 HOT COCOA
ROOF MATERIAL: FULL 'S' CAPISTRANO	SHC 8709 EL MORADO BLEND	SHC 8708 DEL ORO BLEND
BOOSTED TILE 20% BLACK BIRD STOPS	9709 EL MORADO	97646 DEL ORO BLEND

Source: KTG Architecture + Planning, 2020

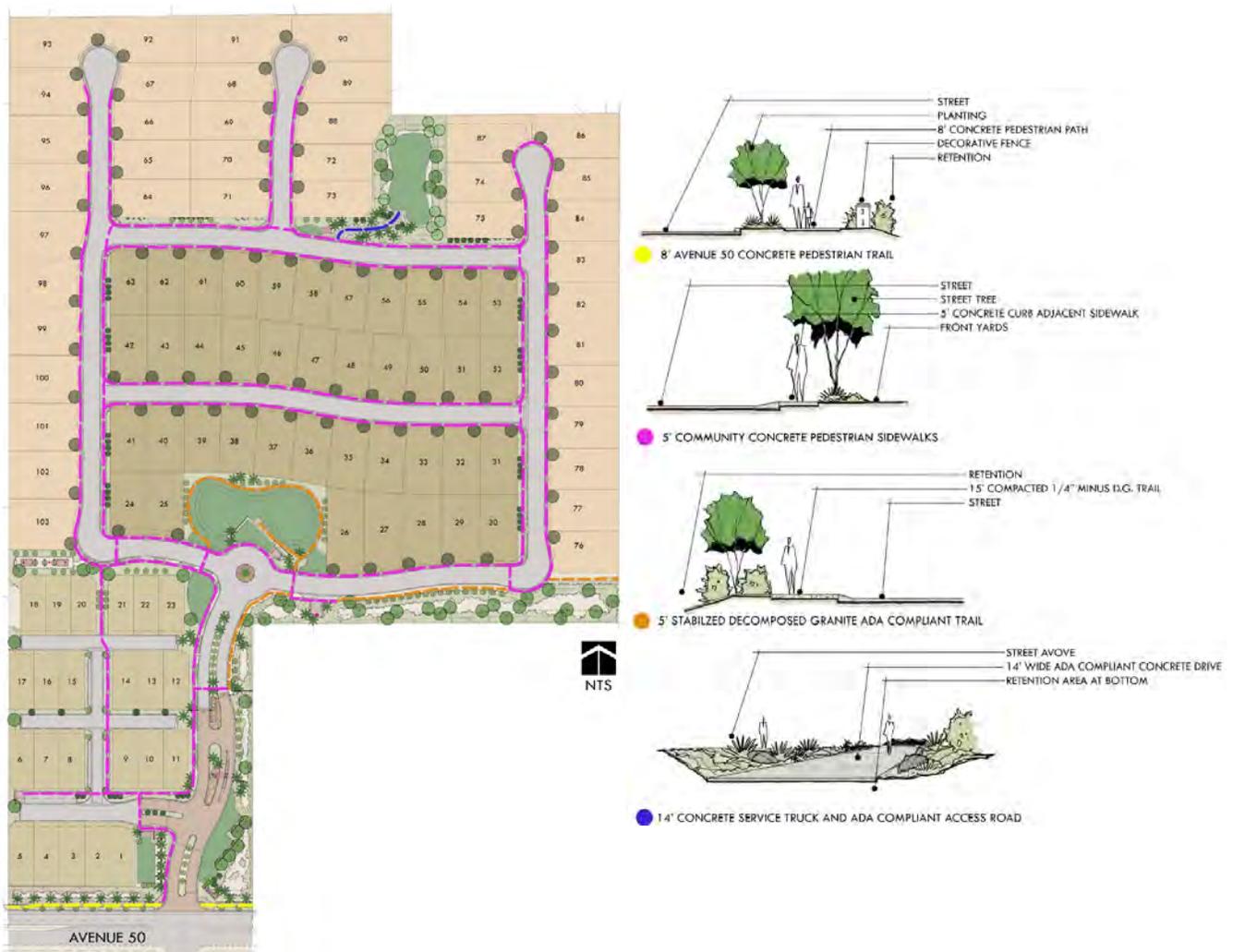
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Exhibit 5 - Architectural Exterior Color Schemes

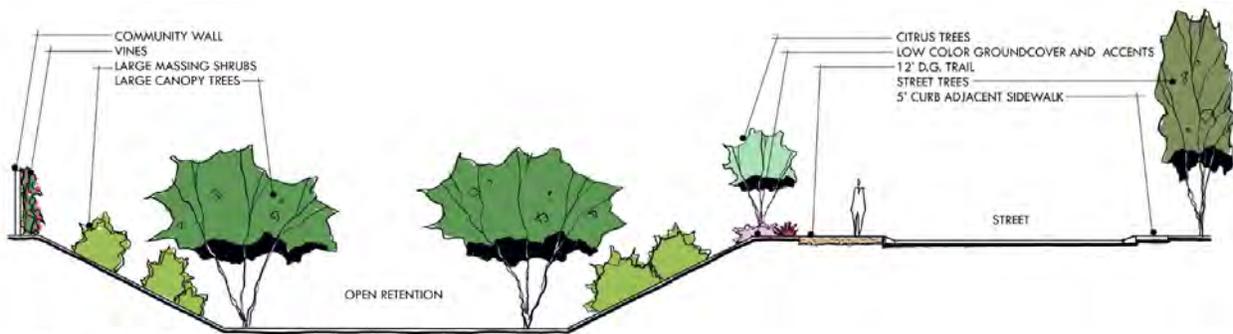
B. Trails, Open Space and Streetscapes

The streetscape and trail system are intended to provide convenient circulation around the neighborhood, support non-motorized access, and connect residences to community open space and facilities.

Plan-wide pedestrian access is realized through a network of sidewalks and trails adjacent or within close proximity to homes and open areas. Trails and access roads around open space are designed to be compliant with the Americans with Disabilities Act (ADA). VENTANA will also be bike-friendly with dedicated lanes on Avenue 50 and trails and streets with shared access within the Project.



The open space amenities include open retention areas, a community park, a dog park, and community flower gardens, designed to accommodate various needs and activity levels through their convenient locations, easy access, seamless connection to homes, and interesting and thoughtful designs. The open areas are designed with an intricate arrangement of functional and ornamental elements: plants and structures for shade and decoration; lawns, paths, and seating areas to play, relax, and rest.



SECTION WITH RETENTION

C. Landscaping

The landscape design at VENTANA will complement and enhance the built environment created by the Santa Barbara and Spanish architectural styles and blend the community into the desert environment. At VENTANA, trails and sidewalks with decorative paving, masterful composition of street furniture and structures, and thoughtful arrangements of desert compatible plants create a congenial community. The complete trail system and well-designed community park and dog park ensure a walkable neighborhood and encourage healthy and diverse lifestyles.



i. Landscape Palette

To complement the architectural character at VENTANA, the plant palette will feature a variety of trees, palms, shrubs, vines, and ground covers featuring desert compatible species. The plant species selected at the perimeter of the Project will be species that are currently being grown in the adjacent landscape areas. The sidewalks and trails will enjoy shade from street trees and medium accent trees, and intricately woven colors and texture of hedge shrubs and ground cover. Shrubs, vines and citrus trees will soften the community wall appearance and blend with decorative fence/columns.



Master Plant Palette

TREES

Botanical Name	Common Name
Acacia salicina	Willow Acacia
Acacia stenophylla	Shoestring Acacia
Caesalpinea cacalaco	Cascalote
Chilopsis linearis 'Art's Seedless'	Seedless Desert Willow
Citrus Tree	Cirtus
Dalbergia sissoo	Rosewood
Olea europaea 'Wilsonii'	Fruitless Olive
Olneya tesota	Ironwood
Parkinsonia 'Desert Museum'	Palo Verde
Parkinsonia Praecox	Sonoran Palo Verde
Pinus eldarica	Afghan Pine
Pinus halepensis	Aleppo Pine
Pithecellobium flexicaule	Texas Ebony
Prosopis chilensis	Chilean Mesquite
Prosopis glandulosa	Texan Honey Mesquite
Quercus virginiana 'Heritage'	Heritage Live Oak
Sophora secundiflora	Texas Mountain Laurel
Tipuana tipu	Tipu Tree

PALMS

Botanical Name	Common Name
Butia capitata	Pindo Palm
Chamaerops humilis	Mediterranean Fan Palm
Phoenix dactylifera	Date Palm
Phoenix roebelenii	Pigmy Date Palm
Washingtonia species	Fan Palm

SHRUBS

Botanical Name	Common Name
Baileya multiradiata	Desert Marigold
Bougainvillea 'Oh La La'	Oh La La Bougainvillea
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra californica	Fairy Duster
Callistemon viminalis 'Little John'	Dwarf Bottlebrush
Carissa species	Natal Plum
Cordia parvifolia	Little Leaf Cordia
Dianella tasmanica 'Variegata'	Dianella
Eremophila hygrophana 'Blue Bells'	Blue Emu Bush
Euphorbia milli	Crown of Thorns
Justicia californica	Chuparosa
Justicia spicigera	Mexican Honeysuckle
Leucophyllum laevigatum	Chihuahuan Sage
Leucophyllum langmaniae 'Rio Bravo'	Texas Ranger
Nandina species	Heavenly Bamboo
Olea europaea 'Little Ollie'	Dwarf Olive
Pittosporum species	Mock Orange
Raphiolepis species	India Hawthorn
Rosa species	Shrub Rose
Ruellia brittoniana 'Katie'	Dwarf Ruellia
Ruellia peninsularis	Desert Ruellia
Salvia leucantha	Mexican Sage
Senna nemophilla	Green Cassia
Senna phyllodinea	Silvery Cassia
Tecoma stans 'Gold Star'	Yellow Bells
Thevetia peruviana	Yellow Oleander
Xylosma congestum 'Compacta'	Dwarf Xylosma

GROUND COVERS

Botanical Name	Common Name
Dalea greggii	Trailing Indigo Bush
Dalea capitata 'Sierra Gold'	Gold Dalea
Eremophila glabra 'Mingenew Gold'	Outback Sunrise Emu
Lantana montevidensis 'Trailing Purple'	Purple Spreading Lantana
Lantana montevidensis 'New Gold'	Golden Mound Lantana
Oenothera berlandieri	Mexican Primrose
Rosemarinus officinalis 'Prostratus'	Dwarf Rosemary
Verbena rigida	Sandpaper Verbena
Verbena gooddingii	Goodding Verbena

DESERT ACCENTS

Botanical Name	Common Name
Agave americana	Century Plant
Agave desmettiana	Dwarf Century Plant
Agave gemniflora	Twin-Flowered Agave
Agave parryi	Artichoke Agave
Agave victoriae-reginae	Queen Victoria Agave
Aloe barbadensis	Aloe Vera
Aloe x. 'Blue Elf'	Blue Elf Aloe
Dasyilirion wheeleri	Desert Spoon
Echinocactus grusonii	Golden Barrel Cactus
Fouquieria splendens	Ocotillo
Hesperaloe parviflora	Red Yucca
Muhlenbergia capillaries 'Regal Mist'	Regal Mist
Nassella tenuissima	Mexican Feather Grass
Opuntia species	Opuntia
Pachocereus marginatus	Mexican Fence Post
Penstemon parryi	Parry Penstemon
Yucca species	Yucca

VINES

Botanical Name	Common Name
Antigonon leptopus	Coral Vine
Bougainvillea 'Barbra Karst'	Bougainvillea
Calliandra inequilatera	Pink Powder Puff
Macfadyena unguis-cati	Cat's Claw



Source: GHA Companies, HSA Design Group, 2020

Exhibit 6 - Landscaping Plant Palette



Source: GHA Companies, HSA Design Group, 2020

Exhibit 7 - Landscape Site Plan

ii. Public Space Furniture

The furniture selected for VENTANA will be simple yet elegant, durable and user friendly. Benches will be set in and out of shade roof. The furniture seating surfaces will be hardwood, stone, or metal chosen for high durability and low heat retention. Decorative fences and grilles will provide visual relief from solid walls, divide space, and provide a viewshed break as needed. Planters with pots, pot shelves, and raised planters will decorate functional public areas such as mailboxes, entry/exit gates, and parks.



iii. Stone/Inorganic Materials

Natural stone and manmade materials will be used strategically within walls, fences, and columns to balance eye-catching elements and harmonious design. For example, a wall made of slump block with stucco wash and brick cap on top can end at a column with natural stone inset. Architectural panel and brick grille panel will match pots and planters to create visual interest in public spaces. While major road and sidewalk pavement will be concrete, decomposed granite trails can enhance native landscape character and limit blowing sand.



iv. Landscape Lighting

Community standard lighting fixtures will be low voltage and low maintenance LED fixtures designed to human scale. The entry and mailboxes areas, shade structures and parks will be equipped with lighting fixtures. Selective use of up lights may be applied only on high-profile accent tree and shrubs. The lights will be angled to reduce glare and hot spots and preserve the dark sky.



D. Signage

To ensure a cohesive overall Project design, all Planning Areas at VENTANA will be subject to the same signage program standards and guidelines. Materials will be consistent with the overall Project material palette and in keeping with the Santa Barbara and Spanish architectural themes established in this Specific Plan.

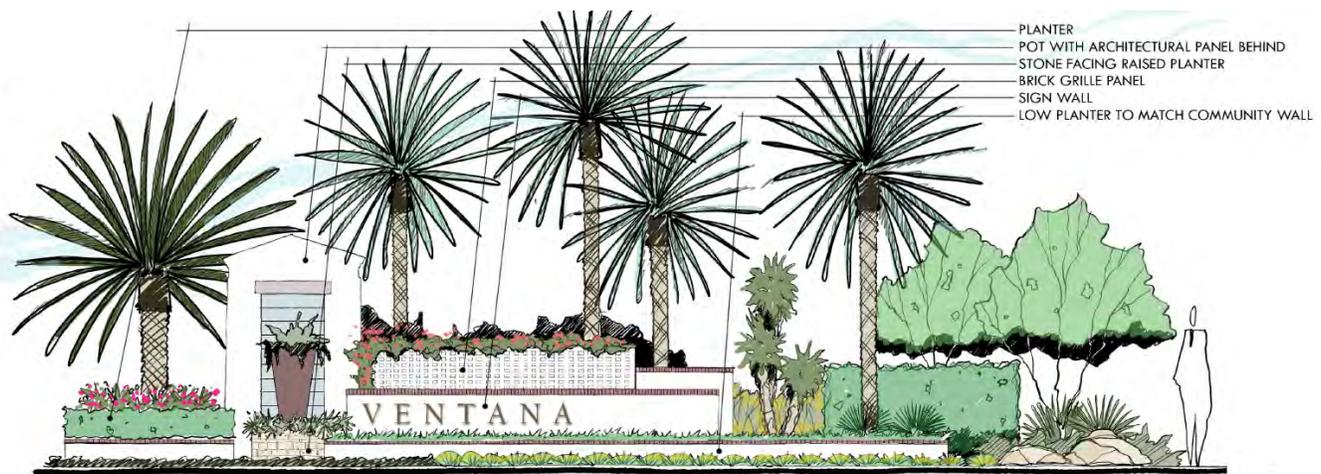
All signage will be located in a manner that provides optimal and efficient identification and wayfinding. Care shall be exercised to minimize the overuse of signage and thus avoid visual clutter around the Project.

All Project signage will comply with the local building code and the Americans with Disabilities Act (ADA) and will be approved by the City. Signage will comply with the City's Zoning Code and building code pertaining to clearances and sizes, except where provided below. Creative design in signage is encouraged. Variations to the standards and materials provided below can be permitted with approval of the Community Development Director.

i. Project Monument Signage

a) Location

Project Monument Signage will be located south of the primary entrance at Avenue 50, preferably at the corner of the entry driveway and Avenue 50.



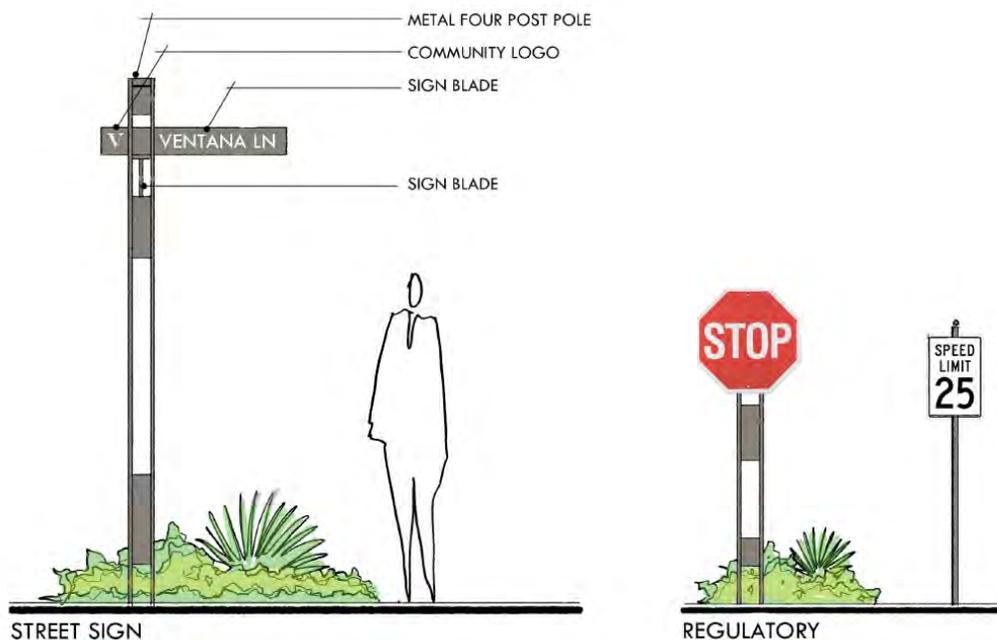
b) Materials

Monument signs shall be constructed using materials that are coherent throughout the Project. Slump block with stucco wash, a brick cap, brick grille panel as well as planters would compose an attractive entry feature. Narrative content may be additive in the form of individual cast letters on stand-offs.



c) Sizing

Primary narrative content, either positive or negative shall be a minimum of 9" and a maximum of 24" and secondary narrative content (if applicable) shall be no larger than 60% of the height of the primary content. The overall size of the Project monument signage shall be no taller than 7' measured from adjacent grade and the width shall be determined appropriate to the height, the narrative content, and to human-scale.



ii. Project Wayfinding Signage

Project wayfinding signage is an opportunity to ensure the overall cohesion and connectivity of the Project across all planning areas.

a) Location

Wayfinding signage shall be located at all major intersections and roundabouts. Wayfinding signage shall be pole mounted and narrative content shall be placed within 6' and 8' elevation above adjacent grade so that the content is easily read by standing pedestrians and car drivers/passengers. Wayfinding signage shall be placed adjacent to traffic areas in landscaped areas such that it is readily visible.

b) Materials

Project wayfinding signage shall be metal plate or post that provides information at different scales, made of steel or aluminum painted gray/taupe. Primary wayfinding information (e.g. directions or simplified descriptors for program) can be reduced to simple graphics or letters that are cut into the plate/post. Secondary wayfinding information (if applicable) may be printed on a contrasting (white) element mounted to the primary plate or may be etched into the plate.

iii. Signage Lighting

Signs may be lighted; however, no light that flashes or blinks or affects changes in hue or intensity of illumination is permitted. Illumination sources for any sign shall be hidden from view. For example:

- Cast surfaces or additive content shall be face illuminated from concealed sources
- Laser or otherwise cut narrative content shall be illuminated from behind the material from which the content was subtracted
- Wayfinding signage shall be illuminated internally, or by concealed illumination, or by general building illumination if available

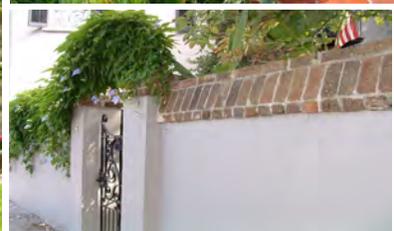
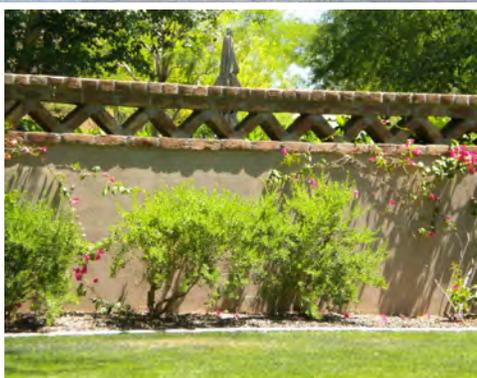


iv. Signage Approval Process

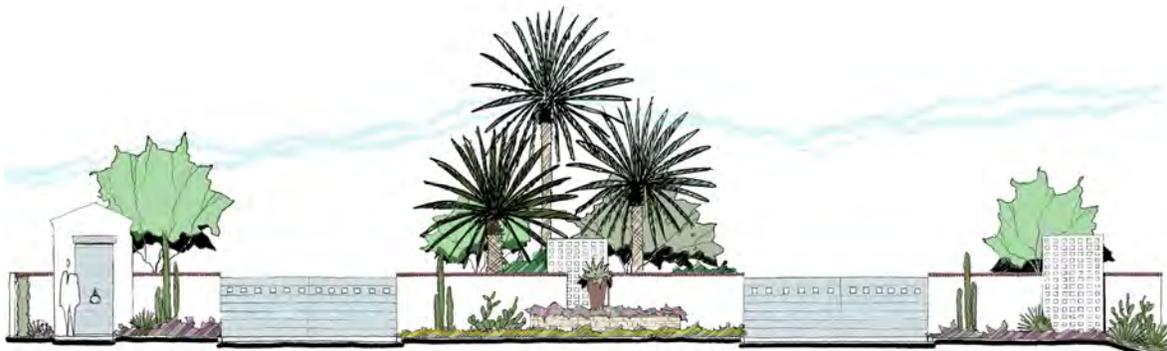
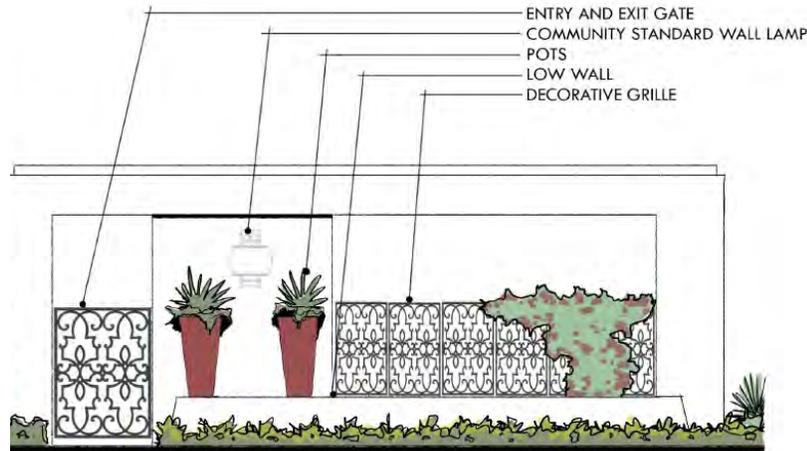
Signage can be submitted with Design Review applications, or subsequent to approval of Design Review applications.

E. Walls and Fences

VENTANA is being developed as a single Project with two Planning Areas. Planning Area 1 may be un gated and surrounded by perimeter walls to separate from adjacent residential development and streets. Planning Area 2 may be gated with fully enclosed perimeter walls. Fences may be allowed for certain public open spaces as needed, such as dog parks. Chain link fencing may be permitted for a dog park if no other materials area available to adequately address safety and aesthetics concerns. Landscape cover is preferable for the chain link fencing, except on the entrance side. Other public open spaces are encouraged to maintain an open and welcoming setting without walls or fences unless necessary.



Within each Planning Area, adjacent to residential development, walls and fences shall be permitted at the ground level to screen entryways and courtyards. Walls and fences shall not be allowed to exceed 6 feet in height, as measured from finished grade. To fit in the architectural style and theme of the neighborhood, walls shall be constructed of white block (e.g. split faced block or precision block). No other material shall be permitted. Fences may be constructed of wrought iron, tubular steel, or wood in the white picket form. No chain link fencing shall be permitted at or above ground level in any residential development.



F. Green Building and Energy Efficiency

Good design helps ensure sustainability, when meeting the needs of the current generation does not compromise the ability of future generations to meet their needs. Neighborhoods can play a crucial role in promoting the long-term economic, environmental and social sustainability of the City. Smaller, well-designed homes are often more sustainable because they tend to require fewer natural resources in construction, consume less electricity and natural gas, and require less grading. The 2019 California Green Building Standards Code includes Residential Mandatory Measures to ensure new construction meets energy efficiency, resource conservation, and pollutant control standards. The California Energy Efficiency Strategic Plan requires all new residential construction to be zero net energy (ZNE) by 2020.

i. Maximize solar energy access and options

Passive solar design can guarantee benefits of free heating, cooling and lighting from the sun, independent of ownership status, home appliances, and funding/resource availability. Passive solar design includes carefully orienting building walls, windows and roof details on a site in response to sun patterns for energy conservation and a naturally more comfortable home environment. Open porches and overhangs are common in Santa Barbara and Spanish architecture and can assist with seasonal heating and cooling. However, overly extended roof overhangs should be avoided as they can create a bulky-appearing structure.

Active solar design provides homes with solar energy systems such as photovoltaic electricity-producing solar panels and hot water solar thermal systems, an environmentally superior alternative to fossil fuels energy sources. Active solar energy systems save homeowners money over time but may require a large initial cost. The 2019 Building Energy Efficiency Standards include prescriptive and performance-based photovoltaic requirements for newly constructed single-family buildings unless they meet certain exceptions, including installation of battery storage systems as a compliance option. Newly constructed single-family homes that do not have a photovoltaic system due to an exception need to meet mandatory measures for solar ready buildings. The design phase can incorporate simple considerations to make installing solar systems later much easier and more attractive. For example, consider leaving at least a 300 square-foot rectangular area of roof space free of mechanical equipment and vents facing south, west or east. The area could then easily accommodate a regularly shaped, sufficiently sized solar energy system in the future. Or, for more modern designs, consider a parapet-style roof system which could hide a future solar energy system.



ii. Energy efficiency and all-electric homes

At the design phase, energy efficiency can be achieved by a variety of means such as prescribing a good building envelope with quality materials with appropriate technology, choosing energy efficient appliances (e.g. high-performance washer and dryer rated by Energy Star), and making the house ready for a heat pump (energy-efficient alternative to furnaces and air conditioners).

A sweeping choice would be all-electric construction, which in fact lowers development costs and achieves higher financial benefit to owners and residents of buying low-cost and financed energy at bulk wholesale (e.g. installing solar panels) vs. buying retail from utilities. All-electric homes with induction cooking stoves and heat pumps operate more efficiently than those with natural gas appliances and avoid potential health and safety concerns with natural gas such as leakage and indoor air quality.

IV. INFRASTRUCTURE

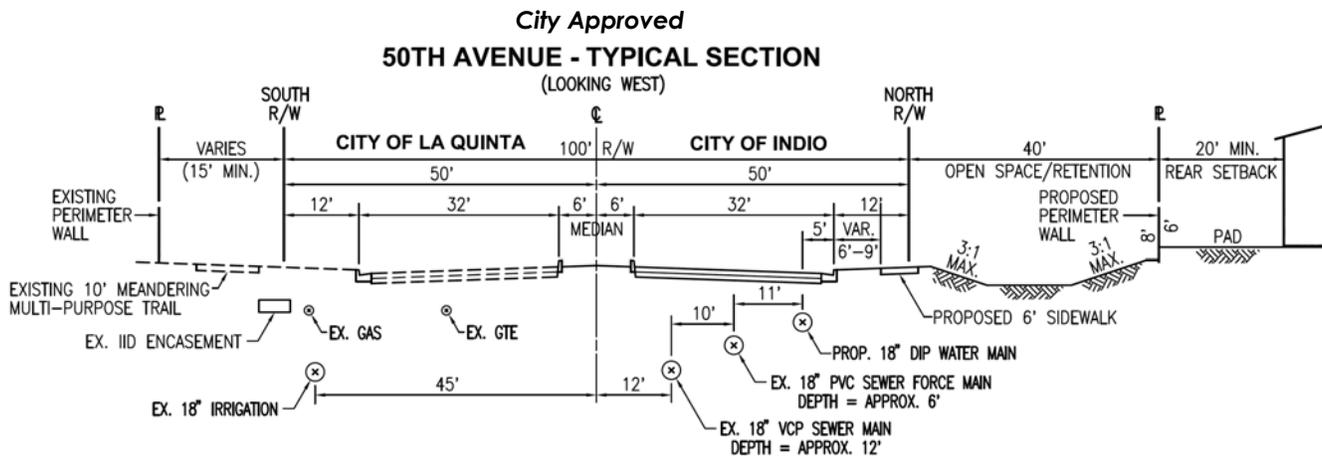
The VENTANA Specific Plan occurs in an area of Indio which is predominantly developed. As such, most infrastructure, including flood control, water, sewer, and utilities, are in place in the area. It is expected that with implementation of the Specific Plan, minor relocations and on-site extensions will occur to service individual development components throughout the site. A detailed description of all existing and proposed infrastructure for the Project is provided below.

A. Drainage and Flood Control

A Preliminary Drainage Report and Water Quality Management Plan (WQMP) were prepared for the VENTANA Specific Plan. The site will be graded to direct drainage as surface flow into the private roadways where proposed curb inlet catch basins will capture and convey stormwater to six (6) onsite retention basins. Per City of Indio requirements, "The basin(s) shall be designed to retain the runoff from the worst case of the 1hr, 3hr, 6hr or 24hr duration, 100-year storm" and "there shall be no standing water in the retention basin after 72 hours of any storm event." A final hydrologic analysis will be required to demonstrate that the Project meets the City's standards. These standard requirements will assure that impacts associated with storm water retention remain less than significant.

B. Public Utilities

The infrastructure that will serve the development is described below and is designed to provide a coordinated system of public services to adequately serve the Project at full build out.



i. Sewer

The development is located within the jurisdiction of the Coachella Valley Water District (CVWD) for sewer and wastewater service. The Project will connect to existing sewer lines near the southwesterly Project boundary and under Colorado Street. Wastewater will be conveyed to and treated at CVWD's wastewater treatment facility (WRP-7) located at Avenue 38 and Madison Street.

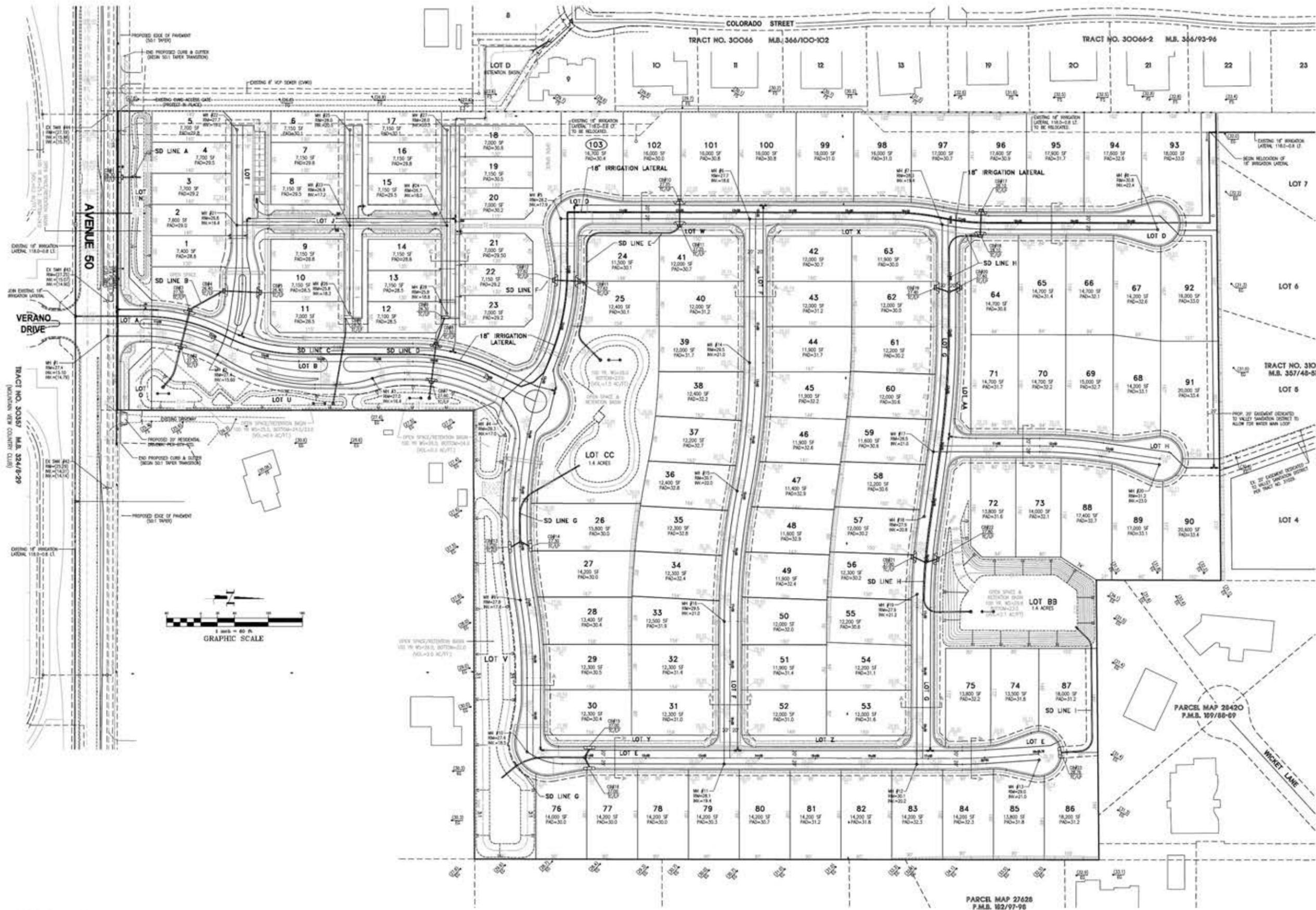
ii. Water

The development is located within the jurisdiction of the Indio Water Authority (IWA) for water service. Development within the planning area will connect to existing water lines located adjacent to the site in Avenue 50.

On-site irrigation will be located throughout the project, and will connect to the Project water line extension from Avenue 50. Fire-flow water would be provided from existing pipes located in Avenue 50, and onsite fire hydrants will be provided per City Fire Department standards.

iii. Other Utilities

The site is served by the Imperial Irrigation District (IID) for electrical services and by Southern California Gas Company for natural gas. Solid waste and recycling services will be provided by Burrtec Waste and Recycling. Telecommunication services will be provided by Frontier Communications.



Source: MDS Consulting, 2021

Exhibit 8 - Preliminary Utility Plan

V. ADMINISTRATION and IMPLEMENTATION

A. Application Review Process

This Specific Plan is designed to provide guidance to developers and builders, City staff, and decision makers in realizing the objectives of the VENTANA Project. The Specific Plan acts as the overall concept plan for the Project. Construction and buildout of the Project will require a Design Review Permit. According to the Indio Zoning Code, Chapter 159.720, Design Review and Site Plan Review¹, the Plan shall include the following data and maps:

- (A) Name and address of the applicant;
- (B) Statement that the applicant is the owner or the authorized agent of the owner of the property on which the use is proposed to be located. This provision shall not apply to a proposed public utility right-of-way;
- (C) Address and legal description of the property;
- (D) Statement indicating the precise manner of compliance with each of the applicable provisions of this title, together with any other data pertinent to the findings prerequisite to the granting of a conditional use permit, prescribed in this chapter.
- (E) A list of all owners of property located within 300 feet of the exterior boundaries of the subject property; the list shall be keyed to a map showing the location of these properties;
- (F) Plot plans and elevations, fully dimensioned, indicating the type and location of all buildings and structures, parking and landscape areas and signs. Elevation plans shall be of sufficient detail to indicate the type and color of materials to be employed and methods of illumination for signs. Screening, landscape and irrigation plans shall be included in the plans;
- (G) The Community Development Director may require additional information or plans, if they are necessary, to enable a determination as to whether a conditional use permit should be granted or denied. The Community Development Director may authorize omissions of any or all of the plans and drawings required by this section if they are not necessary.

In addition to the Findings required for a Design Review, all development must be consistent with this Specific Plan.

¹ Ordinance 1155 passed 6-15-94.

B. Specific Plan Amendments

Specific Plan Amendments required to clarify standards or guidelines, make interpretations of permitted uses, or otherwise required which do not change development standards in this Specific Plan may be made by the Community Development Director.

Any amendment which changes uses, density, maximum square footage or units, development standards or circulation within the Specific Plan shall require review by the Planning Commission and City Council.

C. Financing

The majority of project costs will be financed via private investment. Other methods of financing infrastructure, including Community Facilities Districts, may be considered for the installation of infrastructure.

VI. APPENDIX A: GENERAL PLAN CONSISTENCY

California Government Code §65450-§65453 permits the adoption and administration of Specific Plans as an implementation tool for elements contained within the local General Plan. The City of Indio General Plan provides guidance for long-term growth and development in the City through comprehensive plans for future development. Consistency with the General Plan is achieved when the land uses within the Specific Plan are compatible with the goals, policies, and general pattern of land uses contained in the General Plan. Consistency is defined as follows: “An action, program, or project is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment.” This statement from the Governor’s Office of Planning and Research (OPR) describes how a Specific Plan should be consistent with the General Plan.

The discussion below details the VENTANA Specific Plan’s consistency with the goals and policies that are set forth in the City of Indio General Plan.

2040 GENERAL PLAN LAND USE AND ZONING DESIGNATIONS

LAND USE and URBAN DESIGN

Goal LU-1: Citywide Urban Structure. An urban structure that enhances the quality of life of residents, meets the community’s vision for the future, and weaves new growth areas together with established Indio neighborhoods.

Policies

1.1 **Overall city structure.** Establish a clearly defined City structure by:

- Re-establishing the City’s pedestrian-oriented Downtown as a community anchor with local and regional-serving civic, arts, education, and entertainment uses.
- Transforming the Midtown area into a mixed-use center with retail, commercial services, and residential uses in a walkable format.
- Maintaining and enhancing the Festival District as a key location for large-scale entertainment and recreational opportunities. This will be accomplished by enacting buffering standard through zoning for Festival District properties and surrounding non-Festival District properties to limit conflicts in the uses and operations of these properties.
- Creating mixed-use corridors along Highway 111, Monroe Street, Avenue 42, and Avenue 44 that contain a mix of retail, service, office, and residential uses. Corridors should have defined nodes that provide a mix of local- and regional-serving uses.
- Investing in existing residential neighborhoods adjacent to Downtown and Midtown.

- Infilling new residential neighborhoods arranged around neighborhood centers and community gathering spaces, such as schools and parks.
- Maintaining the I-10 Employment Corridor subarea as a critical economic engine for the City.
- Facilitating major, regional-serving commercial districts that provide a mix of commercial, entertainment, and service uses in a pedestrian-oriented format north of I-10 at Jackson Street and Avenue 40 to capitalize on regional transportation and access.
- Preserving and protecting natural open space and conservation areas in the Northern and Eastern Sphere subareas.

1.3 **Contiguous development.** When development occurs outside the Downtown, Midtown, and existing central neighborhoods, locate new development adjacent to Indio's built environment to create a contiguous expansion of the City.

1.5 **Subareas.** Implement the strategies identified for each distinct subarea in Indio in this General Plan.

Southern Neighborhoods Subarea Strategies:

- Keep neighborhoods stable
- Improve multi-modal access to Midtown and the Festival District
- Keep 20-acre minimum project master plan requirement in place for new development to maintain quality and cohesiveness.
- Allow for uses that can benefit and create synergies with activities and events in the Festival District.

Consistency

The development of the VENTANA Specific Plan will contribute to the overall city structure envisioned in the General Plan by infilling a new residential neighborhood near neighborhood centers on Avenue 50 & Jefferson Street/Monroe St. VENTANA is located within biking/walking distance (0.5 miles) from the existing Ralphs shopping on Avenue 50 and Jefferson, which will provide VENTANA residents with dining, shopping, and personal care services.

The project is also considered an infill project located within biking/walking distance from several schools, including the Mountain Vista Elementary School (0.7 miles), Harriet Truman Elementary School (1.7 miles) and La Quinta Middle School (1.7 miles).

The proposed VENTANA development is considered a contiguous expansion of the City's Southern Neighborhoods because the proposed site is surrounded by existing residential development. In addition, the proposed height, massing, and architectural elements of the Project have been sensitively designed to maintain the existing visual character and quality of surrounding neighborhoods.

VENTANA also implements the “subarea” strategies by proposing a 45-acre cohesive project and creating synergistic residential uses for all age groups that would benefit from activities and events in the Festival District.

Goal LU-2: Active Places. Indio is a City with active and comfortable places that encourage social interaction and community gathering.

Policies

- 2.1 **Walkable neighborhoods.** Require all new neighborhoods to be pedestrian friendly by including features, such as short blocks, wide sidewalks, shaded streets, buildings that define and are oriented to streets or public spaces, traffic-calming features, convenient pedestrian street crossings, and safe streets designed for pedestrians, cyclists, and vehicles.
- 2.2 **Balanced land uses.** Maintain a balanced land use pattern to support a broad range of housing choices, retail businesses, employment opportunities, educational and cultural institutions, entertainment spaces, and other supportive uses and within long-established Indio neighborhoods and new growth areas.
- 2.3 **Access to amenities.** Strive to create development patterns such that the majority of residents are within one-half to one-mile walking distance of a variety of neighborhood-serving uses, such as parks, grocery stores, restaurants, places of worship, cafes, dry cleaners, laundromats, banks, hair care, pharmacies, civic uses, and similar uses.
- 2.4 **New gathering spaces.** Require new developments to provide public parks, plazas, and squares that establish interesting gathering spaces in planned districts and neighborhoods. Require project developers to establish mechanisms, such as a Community Facilities District, to adequately maintain new parks, recreational facilities, and infrastructure.

Goal LU-7: New Neighborhoods. Neighborhoods that provide a variety of housing types, densities, designs and mix of uses and services that support healthy and active lifestyles.

Policies

- 7.1 **Complete neighborhoods.** Through the development entitlement process, ensure that all new Neighborhoods (areas with a “Neighborhood” General Plan Designation) are complete and well-structured such that the physical layout and land use mix promote walking to services, biking and transit use, are family friendly, and address the needs of multiple ages and physical abilities. New neighborhoods should have the following characteristics:
 - Contain short, walkable block lengths.
 - Contain a high level of connectivity for pedestrians, bicycles and vehicles where practicable.

- Organize around a central focal point such as a park, school, civic building or neighborhood retail such that most homes are no more than one quarter-mile from this focal point.
- Have goods and services within a short walking distance.
- Contain a diversity of housing types, where possible.
- Have homes with entries and windows facing the street.
- Have a grid or modified grid street network (except where topography necessitates another street network layout).
- Provide a diversity of architectural styles.

7.2 **Balanced neighborhoods.** Within the allowed densities and housing types, promote and allow for a range of housing and price levels within each neighborhood in order to accommodate diverse ages and incomes. For development projects larger than five acres, require that a diversity of housing types be provided and that these housing types be mixed rather than segregated by unit type.

Consistency

VENTANA proposes a new active and comfortable residential neighborhood that encourages social interaction consistent with the General Plan 'Active Places' goal. VENTANA is designed to be walkable and well-connected with public areas such as a dog park and landscaped open areas that is appropriate for all lifestyles and appealing to multi-generations. It also provides varied housing choices of smaller lots with single- or two-story homes and large lots (varied sizes) with single-story homes and ample backyard space. Although the size and surroundings of the Specific Plan area limit the options to organize a neighborhood around a central focal point such as a park, school, or retail, the proposed site is within 0.5-1.5 miles biking/walking distance of a variety of amenities, such as schools, polo and golf clubs, places of worship, and various neighborhood retail at Avenue 50 & Jefferson Street including grocery stores, cafes, restaurants, dry cleaners, banks, hair care, and pharmacies. Also, newly approved stores in the area will increase and diversify local amenities for future residents.

Goal LU-4: High-Quality Building Design. A beautiful city with a high-quality architecture and building design.

Policies

- 4.1 **Quality design.** Use simple, urban building forms made with permanent materials with high-quality detailing that stands the test of time.
- 4.2 **Scale and articulation.** Use building organization and construction to derive scale and articulation rather than surface ornamentation.
- 4.3 **Building materials.** Convey façade articulation through the strength, depth, and permanence of building materials. Thinner cladding materials, such as stucco, stone and masonry veneers, and wood or simulated wood, may be used when finished to appear as durable and authentic of the materials they simulate.

- 4.6 **Climate-appropriate design.** Encourage the use of building techniques and materials that relate to Indio's warm and dry desert climate. Promote solar control and use of shade in building design and associated pedestrian amenities.
- 4.7 **Protect visual characteristics.** Protect Indio's unique visual characteristics and views.

Consistency

The VENTANA Specific Plan is consistent with the General Plan goal of High-Quality Building Design. Development in the Specific Plan area will follow the Santa Barbara Modern Architectural Style, drawing from both traditional and modern forms to create a beautiful neighborhood experience. Materials listed in Section III.A.iii above such as plaster wall exterior/finish, heavy timber columns, and dark wood to accentuate white walls are consistent with the building materials allowed in the General Plan. The design guidelines including building height limits will ensure the protection of the city's unique mountain views and visual characteristics.

Goal LU-6: Enhance Existing Neighborhoods. A City with well-maintained residential neighborhoods that support Downtown and Midtown.

Policies

- 6.3 **Sustainable residences.** Encourage sustainable building practices during new construction or when buildings are substantially renovated.
- 6.10 **High-quality landscaping and fencing.** Encourage property owners to maintain and improve their yards and the front facades of homes and to encourage the use of drought-tolerant landscaping. Prohibit front yard fences made from concrete blocks or chain links.

Goal LU-12: Infrastructure Provision. Existing and future residents and businesses are adequately serviced by public services and infrastructure.

Policies

- 12.2 **Adequate infrastructure.** Ensure adequate infrastructure and utility service levels before approving new development.

Consistency

The VENTANA Specific Plan addresses sustainability in Section III.F and promotes green building and energy efficiency principles for construction and operation. The Specific Plan area is mostly built out and well served by existing utility networks, and adequate infrastructure and services are in place for the new development. Drought-tolerant landscaping is encouraged in Section III.C. Chain link fences are prohibited throughout the Specific Plan area as detailed in Section III.E, and white blocks may be used for walls but not in front yard fences.

PARKS, RECREATION, AND OPEN SPACE

Goal PR-2: High-Quality Parks. High-quality parks and recreational facilities that promote community health and are safe and convenient to access.

- 2.8 **New development.** Ensure that new residential developments provide adequate on-site recreational and open space amenities consistent with the values and standards of the community and the needs of new development. Require projects to establish mechanisms, such as a Community Facilities District, to adequately maintain new parks and recreational facilities.

HEALTH and EQUITY

Goal HE-2: Healthy Neighborhood Design. Neighborhoods designed to encourage a healthy lifestyle for people of all ages, income levels, and cultural backgrounds.

Policies

- 2.1 **Neighborhood design.** Design neighborhoods to promote pedestrian and bicycle activity as alternatives to driving. This policy is implemented through the Land Use and Community Design Element.
- 2.3 **Universal park access.** Increase access to existing and proposed parks and open spaces. Apply universal design principles to ensure that people of any culture, age, size, weight, race, gender, and ability can experience an environment that promotes their health, safety, and welfare. This policy is implemented through the Parks, Recreation, and Open Space Element.

Consistency

The VENTANA Specific Plan will result in a new residential neighborhood that is walkable/bikeable and provides a dog park and landscaped open areas with universal access based on community needs. In addition, VENTANA is located within biking/walking distance (0.5 miles) from the existing Ralphs shopping on Avenue 50 and Jefferson, which will provide VENTANA residents with dining, shopping, and personal care services.

Development in the Specific Plan area may be subject to a Community Facilities District to contribute to maintenance of new parks and recreational facilities.

Goal HE-3: Environmental Quality. A City designed to improve the quality of the built and natural environments to reduce disparate health and environmental impacts.

- 3.3 **Construction pollution.** Reduce particulate emissions from paved and unpaved roads, construction activities, and agricultural operations.
- 3.4 **Sensitive-receptor uses.** Discourage development of sensitive land uses – defined as schools, hospitals, residences, and elder and childcare facilities – near air pollution sources that pose health risks – including freeways and polluting industrial sites.

Goal HE-5: Safety. Neighborhoods that enhance the safety and welfare of all residents, employers, and tourists in the City of Indio.

- 5.4 **CPTED.** Use Crime Prevention through Environmental Design strategies (CPTED) in new and existing development to improve public safety, including lighting, building orientation, and landscaping measures.

SAFETY

Goal SE-1: Police Services. Excellent law enforcement and a reduction in criminal activities and focus on community policing.

- 1.4 **Crime Prevention Through Environmental Design.** Promote Crime Prevention Through Environmental Design (CPTED) concepts, including, but not limited to:

- Controlling access by creating real and perceptual barriers to entry and movement through the use of fences or landscaping to define site boundaries, clearly defined pathways to guide movement, gates or doors to limit access, and signs to define appropriate activities.
- Maximizing opportunities to see and be seen through the use of lighting, windows, building orientation and location, proper selection of landscaping materials and regular maintenance, furniture arrangements, surveillance equipment, or other security or design measures.
- Clearly defining ownership and encouraging maintenance of properties through measures such as landscaping, front porches, fencing, variations in paving materials, or other elements to distinguish between private and public spaces. Display signs to establish ownership and keep buildings, yards, gardens, sidewalks, and other features well maintained, clean, and in working order.

Goal SE-3: Fire Safety. A community safe from the risk of fire and with appropriate fire response standards.

- 3.8 **Development applications.** Continue to review development applications for consistency with applicable fire and building code regulations, including emergency access/evacuation routes.

Goal SE-4: Seismic Hazards. A community that is minimally affected and less vulnerable to earthquakes and seismic hazards.

- 4.1 **Development plan review.** Require all new structures to be designed in accordance with the most recent California Building Code adopted by City Council, including the provisions regarding seismic loads, lateral forces and grading and not built across the trace of an active fault.

Consistency

The VENTANA Specific Plan will result in the development of a new residential neighborhood, which is a sensitive land use; however, the site is not near any air pollution sources that pose health risks – including freeways and polluting industrial sites. The proposed development will include a dust control plan to reduce particulate emissions during construction. There will be no unpaved roads or agricultural operations at build out, ensuring the environmental quality for the sensitive land use.

Development of the Specific Plan area will utilize the Crime Prevention Through Environmental Design principles on design and maintenance of the neighborhood to keep it well maintained and secure. The proposed development will be designed in accordance with the most recent California Building Code to avoid and/or mitigate potential geological hazards to the maximal extent. The proposed Project is subject to review and approval by the Fire Department to ensure compliance with appropriate fire safety standards.

CONSERVATION ELEMENT

Goal CE-2: Water Conservation. Sustainable domestic water facilities and water conservation measures to effectively meet current and future demand.

- 2.3 **New development requirements.** Require new development projects to implement water conservation measures that are equivalent to or exceed CalGreen Tier One or other applicable standards in effect at the time of development.
- 2.4 **Drought-tolerant landscaping.** Exceed State landscaping water efficiency standards by requiring the use of drought tolerant landscaping, minimizing the use of turf, and encouraging the retrofitting of existing irrigation systems
- 2.5 **Water-efficient landscaping and appliances.** Encourage the retrofitting of existing water-intensive appliances and irrigation systems. Continue to disseminate information about the CVWD and IWA rebate programs.

Goal CE-3: Energy Efficiency, Conservation, and Renewables. Energy-efficient buildings and vehicles that use energy from renewable sources.

- 3.6 **Zero net energy use.** Implement building design requirements to achieve zero net energy use for new residential development by 2020 and zero net energy use for new commercial development by 2030 consistent with the California Public Utilities Commission's California Long Term Energy Efficiency Strategic Plan.
- 3.7 **Solar financing.** Promote installation of solar panels by continuing to support Indio's Ygrene and HERO Programs and by distributing information on actual savings achieved by PV systems.
- 3.8 **Building energy use.** Encourage the use of building placement, design, and construction techniques to limit energy consumption, reduce the heat island effect, increase renewable energy use, and maintain solar access.

Goal CE-4: Urban Forest. A healthy and thriving urban forest that results in improved air and water quality, lower greenhouse gas emissions, and reduced energy use.

- 4.5 **New development requirements.** Ensure that new development incorporates and maintains street trees and parking lot plantings as required, and work with residents and businesses to retain healthy trees as part of Indio's streetscape.

Goal CE-7: Biological Resources. The protection and conservation of sensitive biological resources.

- 7.6 **Native plants.** Incorporate native desert plant materials into new development projects to the extent possible and feasible.

- 7.8 **Preserve night sky.** Ensure that outdoor lighting is shielded and directed away from natural open space areas.

Consistency

The VENTANA Specific Plan addresses sustainability in Section III.F and promotes green building and energy efficiency principles including zero net energy use and solar access. The proposed development will implement water conservation measures that meet or exceed CalGreen Tier One or other applicable standards in effect at the time of development. Drought-tolerant landscaping with native plants is encouraged in Section III.C.

Human-scale street lighting will be featured in the Specific Plan area, and concealed, below grade landscape lighting will be used to emphasize plants, signage and buildings. Lighting will be designed to maximize safety and aesthetics while preserving the night sky in the area.

Goal CE-8: Historic, Archaeological, and Paleontological Resources. Historic, archaeological, and paleontological resources preserved for their scientific, educational, aesthetic, and cultural values.

- 8.1 **Site plan review.** Ensure adequate site plan review and mitigation measures are implemented for the development of sites with the potential to contain historic, archaeological, and paleontological resources.

- 8.4 **Monitoring.** Require monitoring on sites where grading has the potential to impact subsurface cultural and paleontological resources during excavation and construction activities.

Consistency

A cultural resources survey and report is being prepared for the VENTANA Specific Plan to meet CEQA requirements. Adequate site plan review and mitigation measures will be implemented for the proposed development should it have the potential to impact historic, archaeological, and paleontological resources.