

# **SPECIFIC PLAN**

**For**

**TENTATIVE TRACT NO. 37899**

## **THE CROSSINGS**



**FOR**

**MORRIS GROUP (SUDBURY) INC**

**AND**

**THE CITY OF INDIO**



**DATE: MAY 20, 2020**

**PREPARED BY**

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# Tentative Tract No. 37899 – The Crossings

## **I. Introduction**

### **PROJECT SUMMARY**

The Crossings is a proposed development by Morris Group (Sudbury), Inc. This proposed project shall be comprised of 103 units, one (1) large amenitized park, common space landscaping and underground stormwater retention systems over 16.60 acres. Trails/walkways connect all residents from north to south to all amenities and park as well as walkway access to the existing commercial shopping center to the west and future Citrus Plaza II to the north. Main circulation is from the Private 41' Wide City of Indio Standard Street. All fourplexes shall be "alley" loaded and access from said 24' wide alley. Duplexes shall be accessed from a combination of "alley" loaded and main 41' Wide Private Street. All single family detached units (Lots 12-26) shall be single story and access from 41' Wide Private Street. Final density shall be 6.20 du/acre.

The Crossings proposes a specialized mix of residential units to fill a vacuum for potential homeowners desiring attractive and functional housing at an attainable price. These homeowners would be comprised of a diverse group of individuals. Young professional first-time buyers such as school teachers, nurses, office workers and independent online workers are projected purchasers. Further potential Buyers would include price sensitive retirees and pre-retirees appreciating pedestrian access to grocery shopping, dining and drug stores. We believe that a quality housing option at an attainable price more than mitigates any disturbance caused living adjacent to the existing shopping center and propose expansion thereof.

### **PREVIOUS PLANS**

On April 15, 2015, the City Council of the City of Indio conditionally approved Tentative tract Mao. No. 36830, Change of Zone from CE to CET and General Plan Amendment 15-3-116 creating 39 single family residential lots (13000 sf min.). Tentative tract No. 36830 as since expired on April 15, 2019.

### **PROJECT SETTING**

Surrounding Land Uses and Development

The project site is located in the Coachella Valley within the City of Indio. The project site is located approximately 4.2 miles south of Interstate 10 and approximately 1.5 miles south of Highway 111 along Avenue 50, 600' east of Jefferson Street. (See Exhibit 1).

The project area is in transition. Present uses include a vacant property with existing walls and foundations form a prior residence. The perimeter of the property is surrounded by the existing Ralphs Center and Proposed Citrus Plaza II commercial to the west, existing Desert River (1/2

## **Tentative Tract No. 37899 – The Crossings**

lot private residential development and large lots and residences to the east and south. Major development projects in the area are underway or have been approved, which will significantly alter the area's land use characteristics. In addition, a concert venue 1.0 east of The Crossings along Avenue 50 now hosts the largest concert festivals in the world, Coachella Fest and Stagecoach.

### **Site Conditions**

The site is generally flat and varies in elevation from a high point from an old residence of 45 feet above sea level at the in the northerly portion of the property to an elevation of 29 feet above sea level at the southwest corner of the property along Avenue 50. Please note the aerial of the project site noting existing development surrounding the property. (See Exhibit 2)

### **Development Concerns**

The proposed project does not have any concerns based on all environmental reports provided for this project

Existing topography (sloping northwest to southeast) indicates negligible offsite flows to the project due to existing developments along the west and north that have intercepted any minimal flows

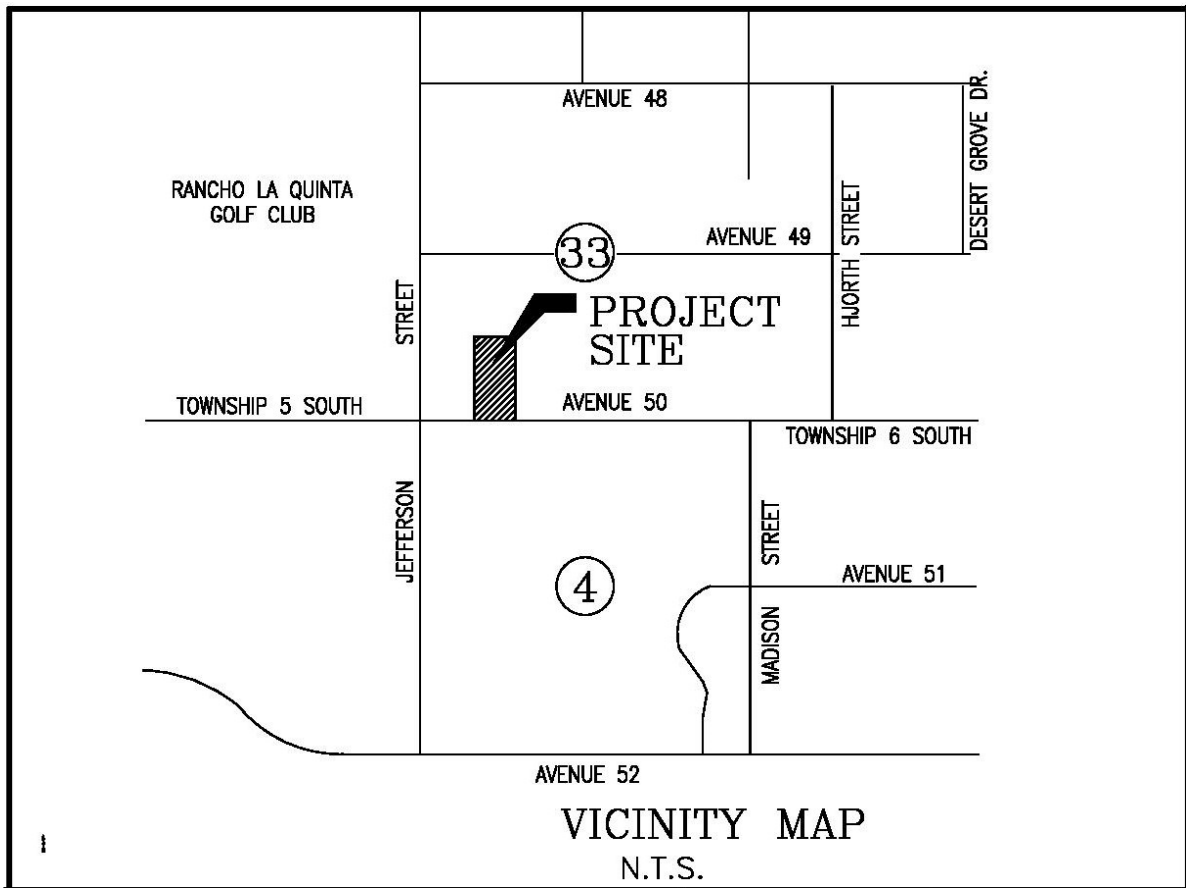
An updated traffic study was prepared by Ganddini for the proposed 103 unit project (TTM 37899). The Ganddini Traffic Analysis was required due to the increase of units from the previously approved TTM 36830. The TTM 37899 Traffic report indicates similar recommendations from the prior report although Avenue 50 is now required by the City of Indio to be 50 foot wide Right of Way. The final traffic configuration shall be as follows:

- a) Two eastbound through lanes
- b) One westbound through lane
- c) Two way left turn median

The City of Indio General Plan 2040, approved September 18, 2019, sets forth policies and several implementation measures for providing water service throughout the City. The Indio Water Authority (IWA) shall provide Domestic Water to the project and the Coachella Valley Water District (CVWD) is shall provide sewer to the project. Both IWA and CVWD have provided will serve letters to the city regarding this project.

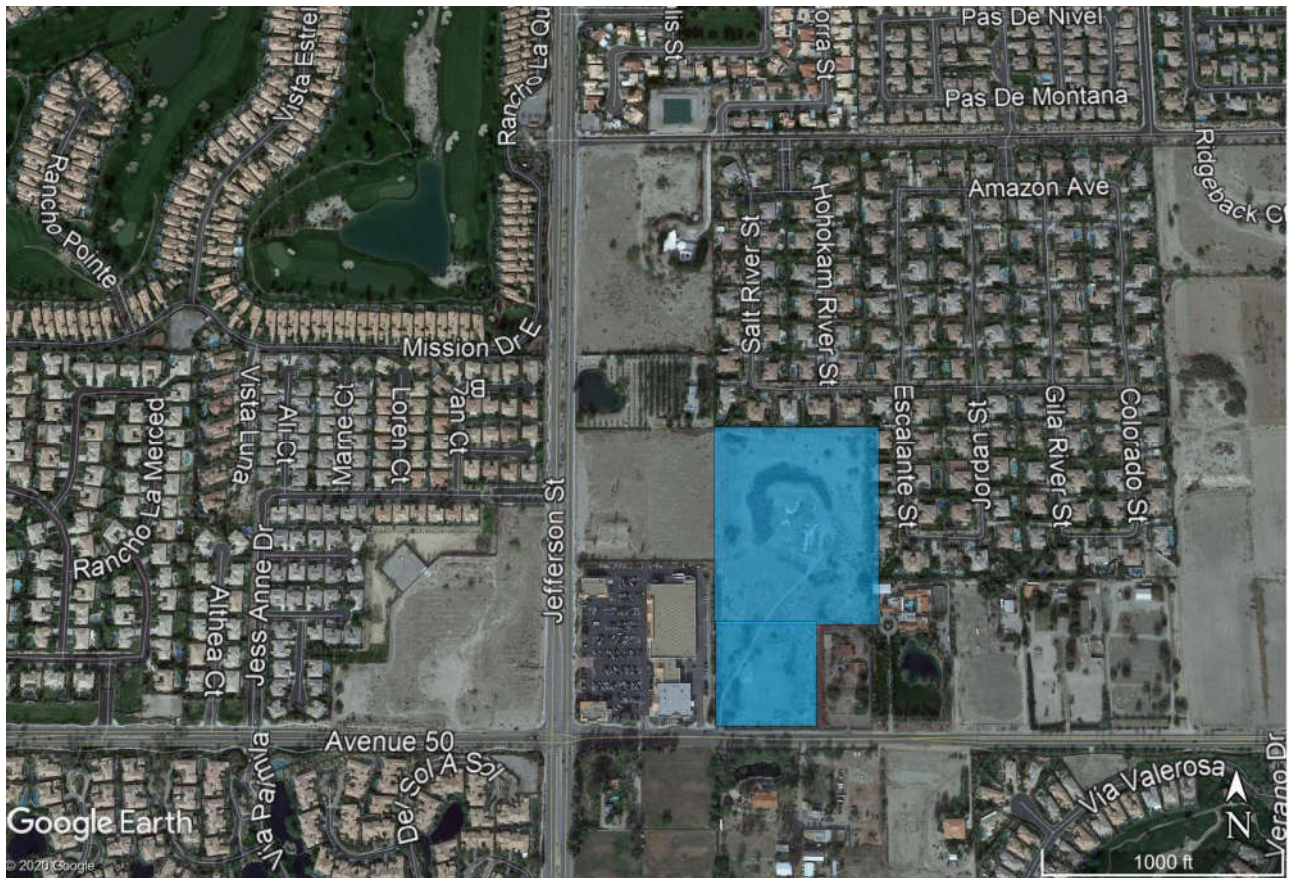
# Exhibit 1

## VICINITY MAP



## Exhibit 2

### PROJECT AERIAL



## **II. General Plan & Zoning**

### **Entitlements Required**

The City of Indio applications requested for the project entitlement are:

- a) Initial Study – Environmental Determination
- b) Adoption of the Amendments to the Conceptual Specific Plan
- c) Approval of the Tentative Tract map for Condominium Purposes.
- d) Architectural Design Guidelines.

### **Conceptual Specific Plan**

The Conceptual Specific Plan is required for this project in order to create a zoning for TTM 37899 – The Crossings that is consistent with the General Plan 2040 designation of **Suburban Residential**.

Definition:

Suburban Residential - Provides low intensity neighborhood development that features a limited variety of housing choices. Uses are primarily single-family houses with small low intensity multi-family dwelling groupings organized along walkable streetscapes with commercial/retail activity nearby.

Density: Up to 8 du/ac.

The following implementation excerpt from the Introduction portion of the City of Indio General Plan is an important thought when considering the connectivity, amenities and density of The Crossings:

“This plan should be interpreted with the following concepts in mind when making subsequent General Plan consistency conclusions and implementation decisions. As discussed by the Supreme Court in *Leshar Communications, Inc. v. City of Walnut Creek* (1990) 52 Cal.3d 531, a general plan is “simply a statement of policy to govern future regulations.” “General plans ordinarily do not state specific mandates or prohibitions. Rather, they state policies, and set forth goals.” (*Napa Citizens v. Citizens for Honest Government v. Napa County Board of Supervisors* (2001) 91Cal.App.4th 342,378.) As also discussed in the Governor’s Office of Planning and Research (OPR) General Plan Guidelines, “given the long-term nature of a general plan, its diagrams and text should be general enough to allow a degree of flexibility in decision-making as times change.” (Office of Planning and Research 2017, page 380.) This General Plan attempts to balance a range of competing interests. It follows that it is nearly, if not absolutely impossible for a project to be in perfect conformity with each and every policy set

## **Tentative Tract No. 37899 – The Crossings**

forth in this General Plan. The City's decision-making bodies will have discretion to approve a project even if it is not consistent with every individual goal, policy, or implementation measure contained herein."

This Conceptual Specific Plan was prepared to address the use and mix of residential units proposed by The Crossings. We believe this project fills a vacuum for potential homeowners desiring attractive and functional housing at an attainable price. These homeowners would be comprised of a diverse group of individuals. Young professional first-time buyers such as school teachers, nurses, office workers and independent online workers are projected purchasers. Further potential buyers would include price-sensitive retirees and pre-retirees appreciating pedestrian access to grocery shopping, dining and drug stores. We believe that a quality housing option at an attainable price more than mitigates any disturbance caused by living adjacent to the existing shopping center and proposed expansion thereof. Connectivity of this project with existing adjacent commercial and future commercial creates an opportunity for families and friends to "walk" safely to retail and dining options while never requiring the need for major thoroughfares and vehicles.

The Suburban Neighborhood Land Use criteria shall be utilized to regulate development of this site.

The Crossings proposes an array of residential options for its future residents:

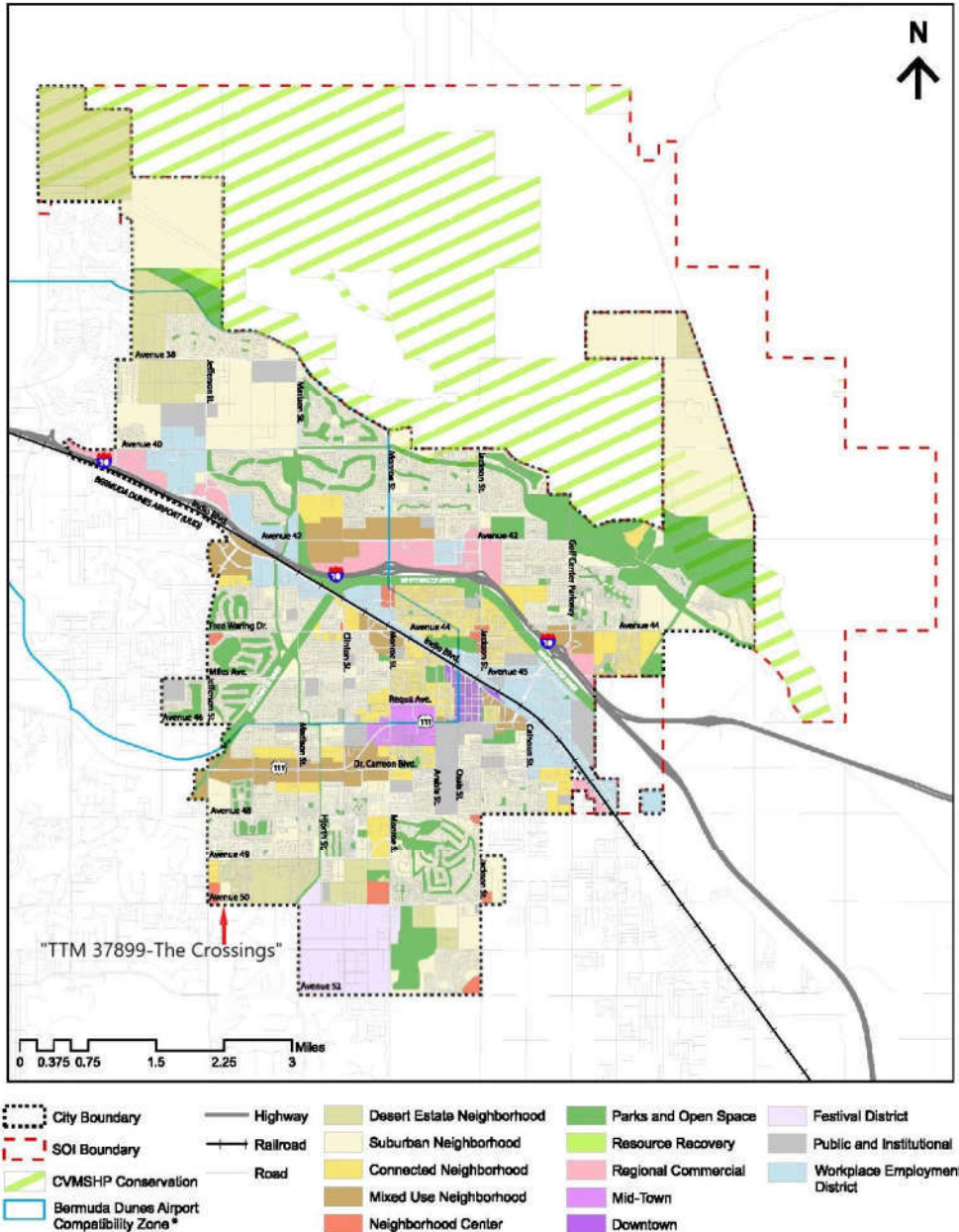
- a) Two Story Fourplexes
- b) One Story Duplexes
- c) Two Story Duplexes
- d) Single Family Detached Residences.

Please note the project location as it refers to the City of Indio General Plan 2040. (See Exhibit 3)



# Exhibit 3

## General Plan 2040



\*Density, form, and prohibited uses shall be consistent with criteria of the Bermuda Dunes Airport Land Use Compatibility Plan, including applicable Countywide criteria as may exist at the time of project review. If the project is located in the Bermuda Dunes Airport Compatibility zone, please see ALLCP and India City Planning Staff for the most up-to-date regulations.

# Tentative Tract No. 37899 – The Crossings

## Density Provision

TTM 37899 – The Crossings does not require a change to the General Plan 2040. Land Use Density for this project is consistent with General plan 2040 of **Suburban Neighborhood**. The current density designation for Suburban Neighborhood is 1-8 du/ac. The Crossings consists of 16.60 acres and therefore has a maximum density allotment of 132 units. The Crossings is proposing 103 units or 6.20 du/ac.

The minimum lot size at The Crossings is 4717 square feet and the largest lot is 19264 square feet. The average lot size is 9828 square feet.

## Lot Size Ranges

Four Plexes –	8198 sf to 9446 sf
One Story Duplexes -	10360 sf to 15749 sf
Two Story Duplexes -	4717 sf to 6835 sf
Single Family Detached -	9582 sf to 19264 sf

### **III. Environmental**

Special Studies have been completed for the development and are specific to this development:

#### **Biological Assessment**

The findings of the Biological Assessment determine that the project site is not currently occupied by any endangered species. There are no species or subsequent mitigation required other than participation in the Coachella Valley Multi Species Habitat Conservation Plan.

The project shall have no adverse environmental impacts on Biological Resources.

#### **Cultural Resources Assessment**

The findings of the Cultural Resources determine that the project site has “No Impact” regarding cultural resources with the condition that any buries cultural materials unearthed during earth moving activities be examined and evaluate by a qualified archaeologist prior to further disturbances.

#### **Paleontological Assessment**

The findings of the Paleontological Assessment determine that the project has a high potential to impact significant nonrenewable fossil resources. Therefore, a qualified vertebrate paleontologist must therefore develop a program to mitigate impacts to nonrenewable paleontologic resources. Monitoring and reporting per the Paleontologic Assessment during all construction activities must be followed per said report.

#### **Geotechnical and Seismic Assessment**

The Geotechnical Assessment notes that the project site consists of primarily silty fine-grained sand, silty sand and silts to the total depth explored. No Free Groundwater was not encountered in the borings during exploration. Best management practices for grading and earthmoving operations are recommended.

Although seismic faults do not exist within the project area, nor is the project in an Alquist-Priolo Earthquake Zone, the project site may experience significant shaking during a seismic event (seismic Zone 4). Liquefaction is low or negligible.

Construction methods as it pertains to soil preparation should be followed per the Project Geotechnical Report.

## **Tentative Tract No. 37899 – The Crossings**

### **Hydrological Analysis**

The Hydrology Report prepared for this project indicate that all flows shall terminate in a series of 96" Contech Underground Stormwater Retention Systems. All storm flows shall be contained in a series of gutter, catch basins and storm drain lines prior to entering the Contech System. Therefore, The Crossings shall contain 100% of Pre and Post Storm flows on site and meet City of Indio Stormwater ordinance of 100% containment. Storm flows within 50<sup>th</sup> Avenue shall travers westerly in the proposed 6" northerly curb and gutter.

### **Phase 1 Environmental Assessment**

The prior use of the property was a main residence, swimming pool, tennis court, golf holes and landscaping and a couple of out structures. Although the subject site had been inhabited and used for many years it appears no hazardous materials were disbursed on the site. Due to the age of the site as existing pipelines are removed and any are found to be AC pipes removal shall be conducted by a licensed asbestos contractor.

### **Traffic, Noise and Air Analysis**

The development of any type of project on the subject site will generate traffic in excess of the current volumes today it is noted that the existing city public road network can accommodate The Crossings traffic without any modifications to the existing City system. The impacts to the local street network. The Crossings internal street network as well as blending to the local city street network has been followed per General Plan Update 2040.

The Crossings shall make payment through the Transportation Uniform Mitigation Fees (TUMF) and the City of Indio Traffic Signal Mitigation Fees in its fair portion to improve the City of Indio's Circulation and Regional system.

Air quality impacts shall be mitigated through the development of a fugitive dust control and mitigation plan (PM10). The report states that the thresholds set by the Air Quality Management District can be maintained during and after construction of this project. The use of connectivity withing The Crossings is an asset to help curb air impacts.

Noise impacts for the project pertain to normal construction mitigation and construction operations during normal hours per City of Indio Municipal code.

Mitigation measure should be followed for six foot high barrier walls on Lot 1 and 46 though 50 for Avenue 50 and Lots 2-12 for Jefferson Street for noise mitigation. Upgrade windows with

## **Tentative Tract No. 37899 – The Crossings**

and STC of at least 27 on Lots 46-50 and at least an STC of 24 on lots 1-12. Please refer to page 33 of the Noise Report prepared by Ganddini.

## Tentative Tract No. 37899 – The Crossings

### IV. Land Use Plan

The Crossings project will, upon completion contain 103 units and 1.28 acres of private amenities and 2.20 acres of open space/common space and underground stormwater retention system. Section IX provides a summary of land uses and the development standards.

#### LOT SUMMARY AND ACREAGE:

<u>DESCR.</u>	<u>LOTS</u>	<u>UNITS</u>	<u>AREA</u>	<u>% AREA</u>	<u>IMP. AREA</u>	<u>% IMP.</u>
SF DETACHED	12-26	15	4.23 AC.	25.48	1.38	32.56
SINGLE STORY DUPLEX	27-36	20	2.79 AC.	16.81	1.59	58.24
TWO STORY DUPLEX	37-48	24	1.61 AC.	9.70	1.07	66.46
FOUR PLEX	1-11	44	2.26 AC.	13.61	1.59	70.35
PUBLIC R/W DEDICATION	A		0.21 AC.	1.26	0.19	90.00
PUBLIC LANDSCAPE LOTS	B-D		0.16 AC.	0.96	0.01	2.00
PRIVATE STREET	E-F		2.65 AC.	15.96	2.64	100.00
PRIVATE DRIVE ALLEYS	G-N		0.65 AC.	3.92	0.67	100.00
PRIVATE COMMON LOTS	O-V, X-Z, AA-DD		1.93 AC.	11.63	0.41	20.60
PRIVATE COMMON LOT (PASEO)	W		0.11 AC.	0.66	0.03	27.27
TOTAL		103	16.60 AC.	100.00	9.58	57.71

DENSITY GROSS: 6.20 DU/AC

PROPOSED MINIMUM LOT SIZE: 4717 SF

PROPOSED LARGEST LOT SIZE: 19264 SF

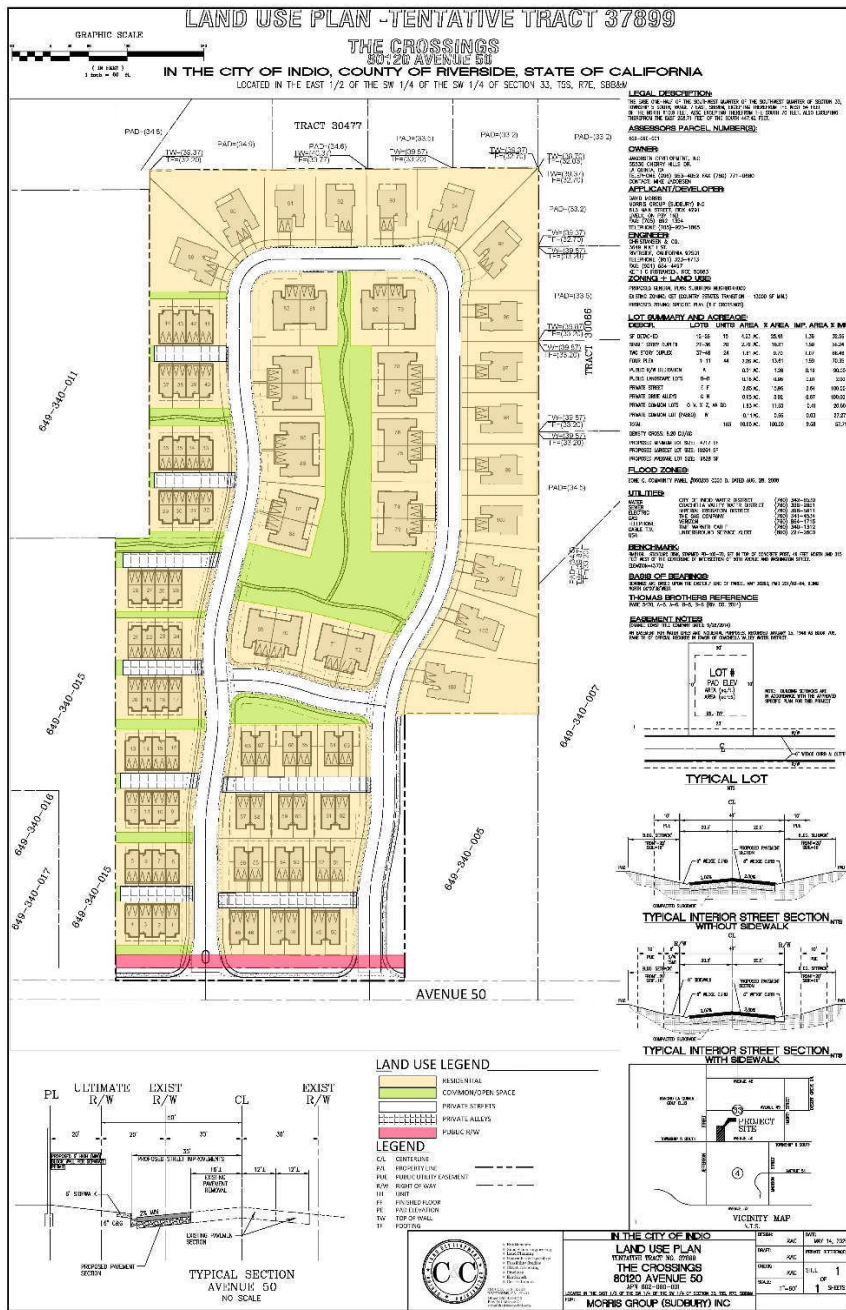
PROPOSED AVERAGE LOT SIZE: 9828 SF

Please see Exhibit 4 for Land Use Plan.

# Tentative Tract No. 37899 – The Crossings

## Exhibit 4

### Land Use Plan



## Tentative Tract No. 37899 – The Crossings

### Residential Component

The Crossings has a series of diverse product types located within the 16.60 acre project. Product noted below:

- 1) **Four Plex Units** – A building comprised of four (4) two story units ranging in size from 1485 sf to 1520 sf. 4-Plex unit buildings are positioned in clusters of 3 (when possible) to ease mobility from driveways to units. All 4-Plex buildings shall be positioned no closer than 32 feet per building. All 4-plex buildings are proposed along the westerly boundary line (Lots 1-11) of Tentative Tract No. 37899 to parallel the existing adjacent commercial development and future commercial development. Total number of 4 Plex buildings is eleven (11) or 44 units.
- 2) **Single Story Duplex** – Buildings comprised of two (2) single story units with average size of 1950 sf each. All single story duplexes shall be located in the center of the project (Lots 27-36) and have access from the Private 41' Wide City of Indio Private Street Section. Total number of single-story duplexes is ten (10) or 20 units.
- 3) **Two Story Duplex** – Buildings comprised of two (2) two story units with average size of 1600 sf each. All two-story duplexes shall be located in the southerly center of the project (Lots 37-48) and have access from a proposed 24' alley or 41' Wide City of Indio Private Street Section. The alley access design allows for an increase in landscaping corridors as traversing along the main street and a reduction in visible concrete driveways. Total number of two story duplexes is twelve (12) or 24 units.
- 4) **Single Family Detached** – The Single Family Detached Residential product shall all be single story and range from 2000 sf to 2500 sf on lot sizes from a minimum of 9547 sf and minimum depth of 120 feet (Lots 12-26). All proposed residences shall be located towards the required front setback of 20' from interior street right of way to create a "buffer" from the existing Desert River Development to the north and east of this project. Total number of Single Family Detached Residences is fifteen (15).

See Exhibit 5 for Tentative Tract Map.

See Exhibit 6 for Product Plan

See Architectural Section for Floorplans and Elevations.

Overall acreage of residential lots is 10.89 acres. Density for the project is 6.20 du/ac.

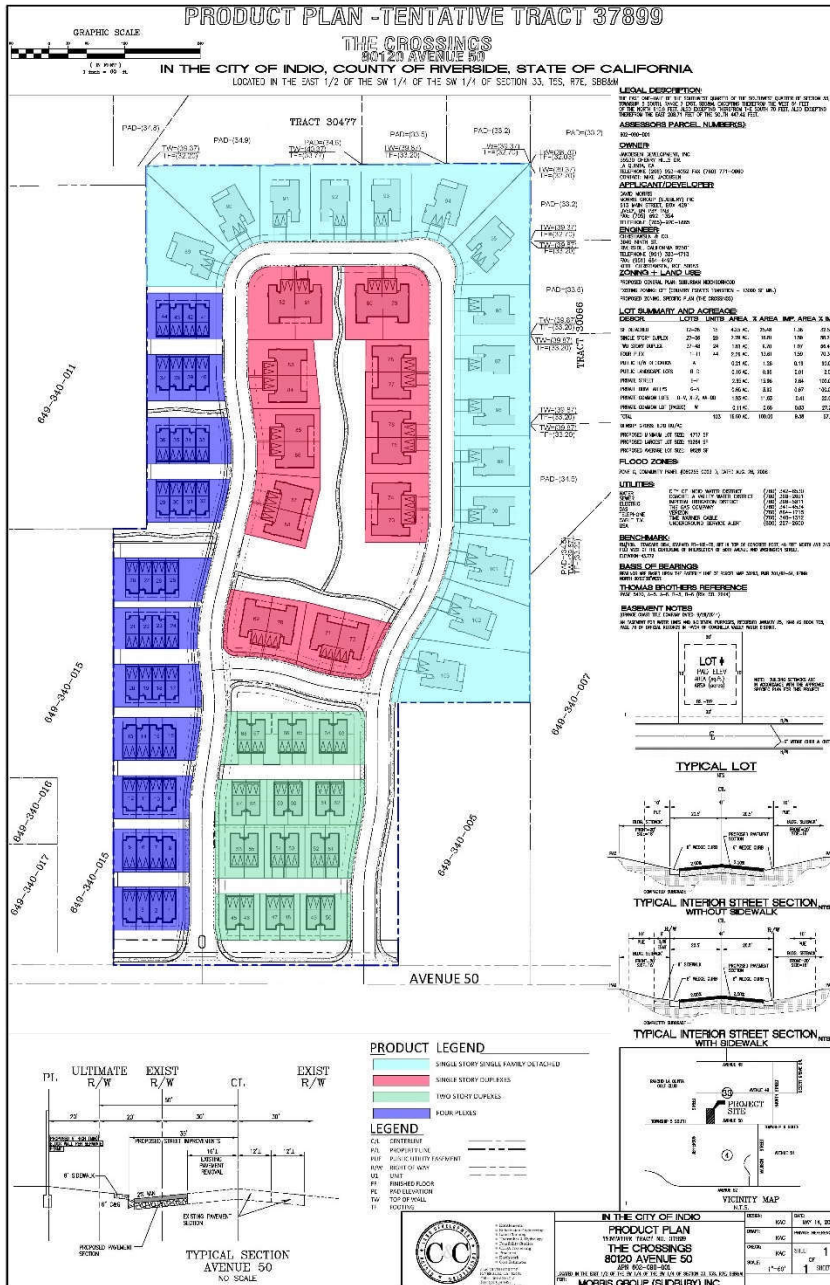




# Tentative Tract No. 37899 – The Crossings

## Exhibit 6

### Product Plan



## **Tentative Tract No. 37899 – The Crossings**

### **Recreational Facilities and Open Space**

The Crossings has several common space areas for landscape amenities and recreational uses. Lot CC is a 1.280 acre park area with pool, restrooms, bbq area, splash pad and tot lot. Lot BB is a Dog Park. Lots W and Y provide pedestrian walkability from The Crossings to the existing Ralph's Shopping center and the future Citrus Plaza II commercial area. In addition, sidewalks are provided on all amenities areas and run north/south through project highlighting the projects connectivity.

The Crossings shall establish Conditions, Covenants and Restrictions (C, C & R's) and a property owner's association for maintenance of all amenities and common areas.

See Exhibit 4 for Land Use Exhibit.

### **Public Utilities and Maintenance Facilities**

The Crossings shall be required to connect to an Existing 12" Ductile Iron Pipe Water Main located just west of the existing retention basin within the Ralph's Commercial Center. Connection to the 12" main shall be in the northeast corner of the Ralph's Center, then traversing easterly through Lot Y and Lot E to Avenue 50 for connection to the existing 18" Water Main in Avenue 50. Landscaping internally shall be maintained by The Crossings HOA. Landscaping along Avenue 50 shall be offered for dedication to the City of Indio for maintenance by a Lighting, Landscape and Maintenance District (LMD).

### **Streets and Trails**

The Crossings shall be required improve Avenue 50 with a new half width 35' side street section with 6" curb and Gutter, 6' wide sidewalk and 20' wide public landscape area within a 50' right of way. The additional R/W dedication for Avenue 50 is 0.21 acres and Public Landscaping of 0.16 acres.

The internal circulation street for The Crossings is by City of Indio 41' wide Private Street Section. Portions of the Private Street Section shall have 6' sidewalk and all shall have 10' Wide Public Utility Easements (PUE). All PUE's shall commence at back of 6" Wedge Curb & Gutter or Sidewalk. The internal 41' wide street section shall comprise 2.65 acres.

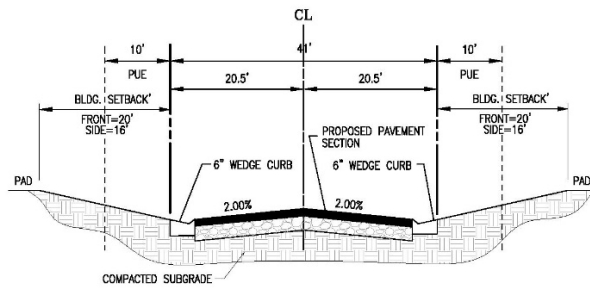
The Crossings shall also introduce an "alley loaded" product for the proposed fourplexes and two story duplexes. The alley shall be a 24' wide ac pavement section with wedge curb. All garages shall be perpendicular to this product. All alleys meet City of Indio Fire Requirements. Alley Streets comprise 0.65 acres.

Please note that all internal streets shall be constructed with "speed humps" per Fire Department suggestion.

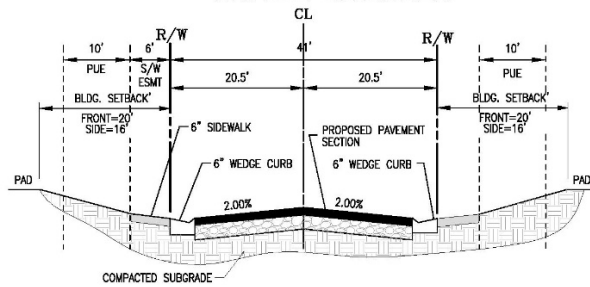
See Exhibit 7 and 7A for Proposed Streets Sections.

# Exhibit 7

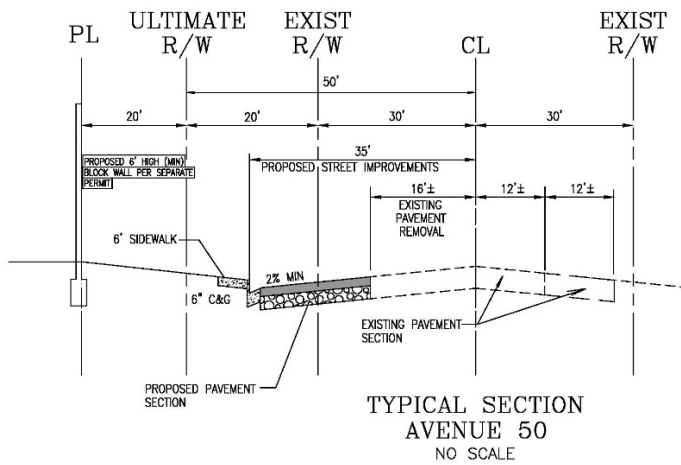
## Proposed Street Sections



**TYPICAL INTERIOR STREET SECTION**  
WITHOUT SIDEWALK NTS

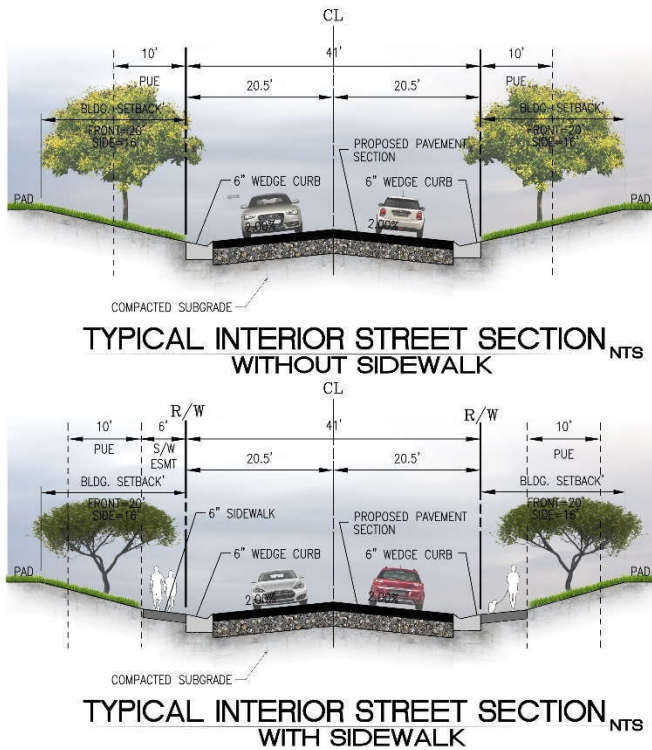


**TYPICAL INTERIOR STREET SECTION**  
WITH SIDEWALK NTS



# Exhibit 7A

## Proposed Street Sections - Colored



## **V. Circulation Plan**

### **Overall Circulation Plan Concept**

The circulation system is designed to provide efficient access to all portions of the project site. Off-site circulation improvements recommended in the traffic study include the half width street improvements along the site's 452 lineal feet of frontage along Avenue 50 in accordance with the General Plan 2040.

### **Off-Site Circulation System**

The site is bounded by Avenue 50 on the south side, which is the only paved street currently bordering the site. The Crossings will ultimately provide half street improvements to Avenue 50 in accordance with the City's Collector street standard (50 foot right-of-way). See Exhibit 5. The south one half of Avenue 50 street improvements will be made by others. In additional 20' wide Landscape Lot shall parallel the Avenue 50 Right of Way. Since the existing right of way is 30', The Crossing will be required to dedicate an additional 20' of Right of Way and 20' of Landscape lot for a total of 40 feet.

### **On-Site Circulation System**

The on-site circulation system will consist of private streets Lots D and E. See Exhibits 5 and 6. The Crossings the street sections will be a 41-foot right of way; with forty (38) feet of pavement. A six (6) inch wedge curb is proposed on each side.

The main circulation street will not be gated through the project, but there are two entry's. The westerly entry is a full turn ingress and egress. The easterly entry is right in and right out only.

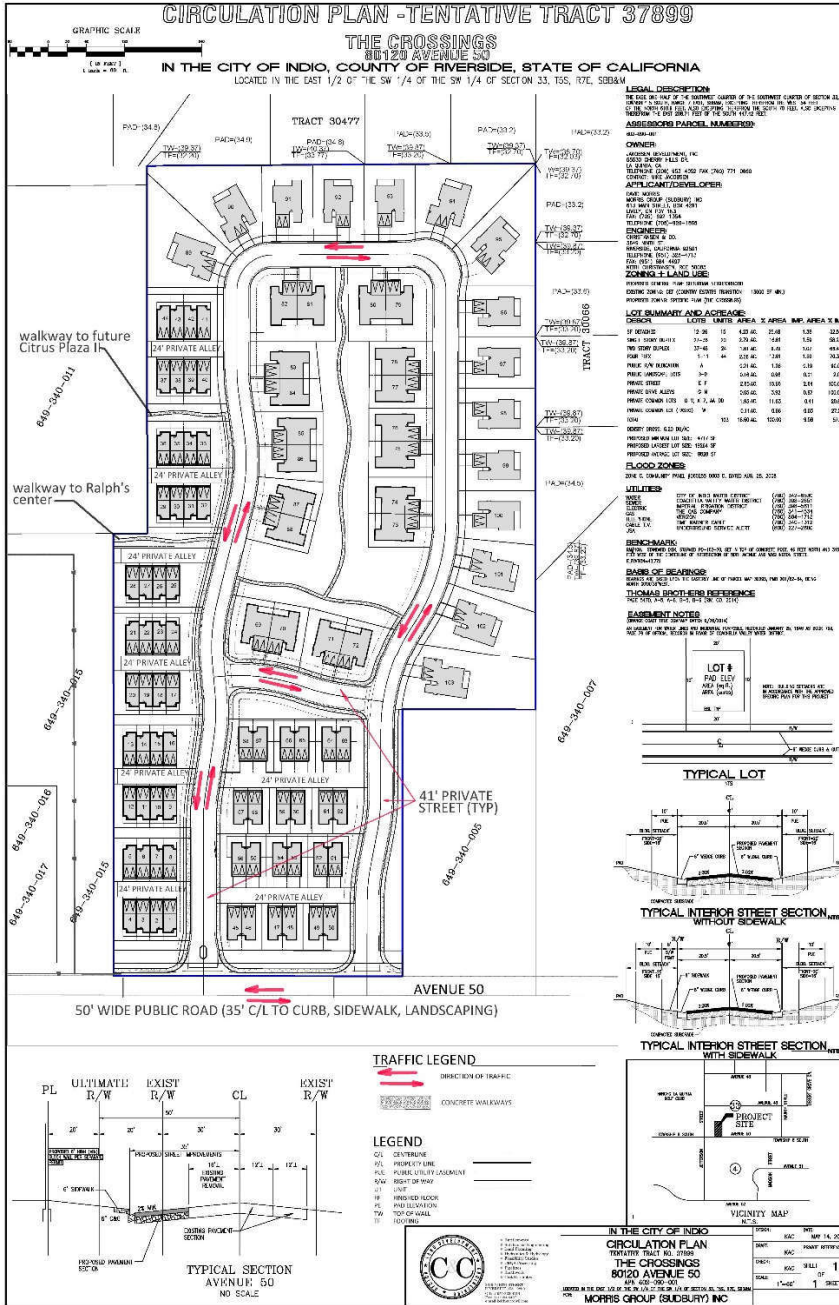
Lastly, all fourplex and two story duplex products shall be access by 24' wide private alley's. All alleys are ac pavement.

See Exhibit 8 for The Crossings Circulation Plan.

# Tentative Tract No. 37899 – The Crossings

## Exhibit 8

### Circulation Plan



## **VI. PRELIMINARY GRADING & DRAINAGE PLAN**

### **Overall Design Concept**

The proposed on-site grading of The Crossings is to create a gradual terracing on mild high points and low points within the street profiles. All high and low points within 0.75 feet of the prior point to allow for cascading emergency exit flow of water through the streets and existing to the southwest entry on Avenue 50. Therefore, all finished floors are protected from potential of flooding. Minimum slopes on streets are 0.52% and minimum lots swale grades are 0.50%. All single family detached lots along the north and east boundary lines are within 0.5' of the adjacent existing pad elevation of Desert River. Many pad elevations within The Crossings are lower than the suggested 0.5 feet differential from the Desert River development. Overall, The Crossings grading operations and final result shall be mild and pleasing to the eye. A small amount of import may be required for the project. See Exhibit 9.

### **Flood Control**

The Crossings has been designed with City of Indio and Riverside Flood Control standards. All storm runoff shall be contained in twelve (12) 4' wide City of Indio Std. 300 catch basins located through the development. All catch basins are connected to 18" RCP (within the private street) and 18" ADS (within common areas) to transport all runoff to the Project Underground Stormwater Retention System (3 parallel 310 foot long 96" Contech Perforated Pipe (aluminized). The Contech System was designed to retain 100% of the 100yr critical storm event. Therefore, Pre-Development and Post Development volumes are retained on site per the City of Indio Public Works requirements. In addition, 30" ADS Clarifiers are utilized to confluence all storm water prior to entering the chambers in an effort to trap all sediments and trash prior to entering the stormwater chambers. Access manholes shall be provided on both ends of the chambers for maintenance after every storm event. In closing, the Crossings has been design for 100% stormwater retention, minimal ponding and a drainage system with a process of maintenance.

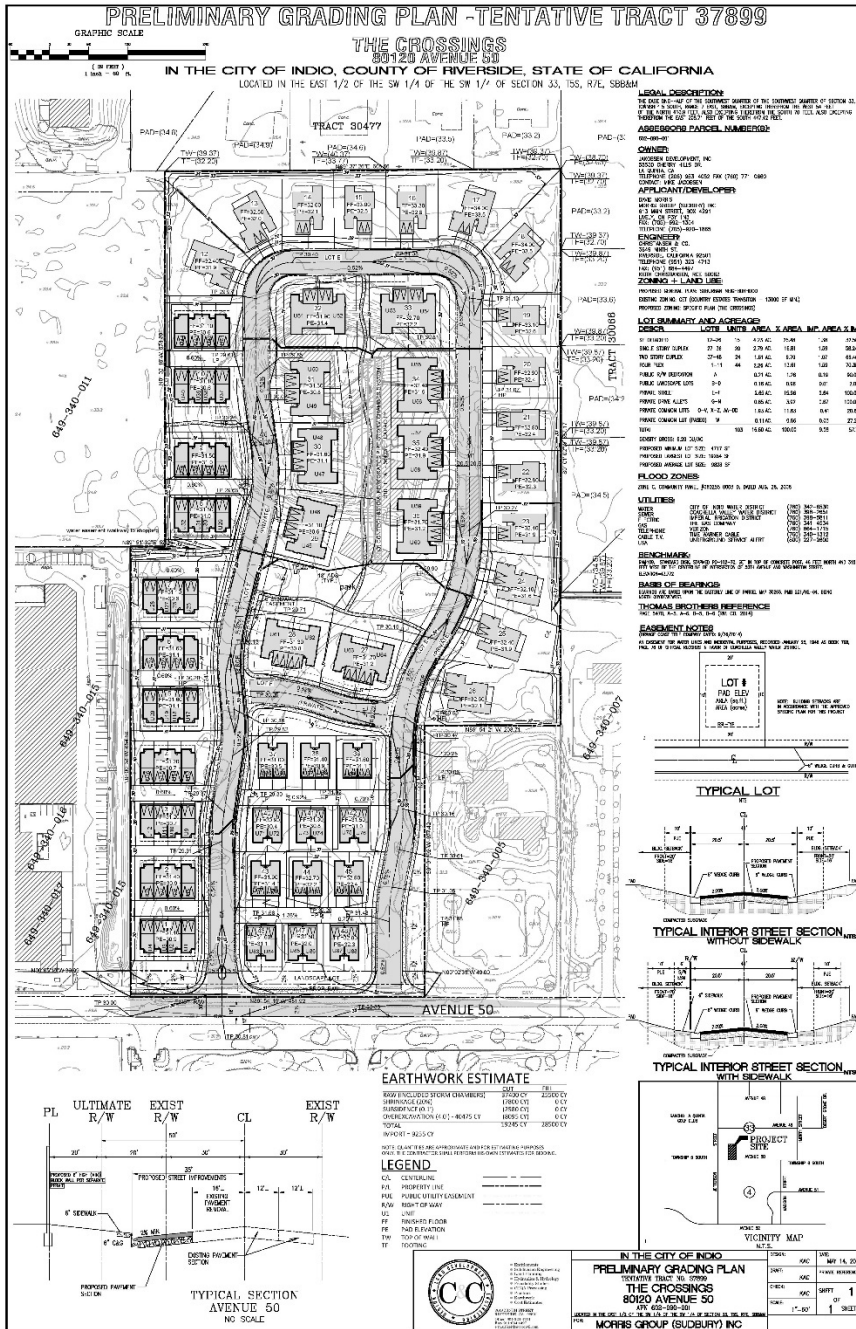
See Exhibit 10 for Hydrology Map.



Tentative Tract No. 37899 – The Crossings

# Exhibit 9

## Preliminary Grading Plan





## **VII. SITE SERVICING PLAN**

### **Water Service Plan**

Indio Water Authority (IWA) shall service the water requirements of The Crossing Project. It is confirmed through meetings with IWA that The Crossings shall be required to connect the a proposed 8" Ductile Iron Pipe Water Main to the existing 12" Ductile Iron Pipe located at the northeast corner of the Ralph's Center and traverse through Lot E of The Crossings and connect to the Proposed 16" Ductile Iron Pipe Water Main in avenue 50. Said connection shall be at the southwest corner of The Crossings and extended easterly along the length of the frontage of the project along Avenue 50. Completing a "looped system" for the proposed project. All other Proposed Water Mains within The Crossings shall be 8" Ductile Iron Pipe.

See Exhibit 11

### **Water Service Plan**

Coachella Valley Water District shall service the water requirements of The Crossing Project. All internal proposed sewer mains for the project shall be 8" VCP (minimum slope=0.0033 and average depth of 8.0 feet) and have sewer laterals servicing residents. The Proposed 8" VCP Sewer shall connect to the Existing 18" Sewer main located in Avenue 50. Said Existing 8" Sewer is sloping at 0.0020 and flows easterly towards the Coachella Valley Water District facility located on Hwy 111 and Avenue 52.

See Exhibit 11

### **Electrical Power Plan**

Imperial Irrigation District shall provide electrical service to The Crossings. All existing power poles shall be required to be undergrounded as well as all proposed electrical systems. The Crossings shall be utilizing Solar as a renewable energy alternative. Solar shall be integrated into the proposed residences. The level of solar implementation shall be decided during the construction document phase.

### **Natural Gas Plan**

Natural Gas is not "fronting" the property at this time. Although, the Ralph's Center has natural gas to the property. Therefore, application made to Southern California gas and extension of approximately 600 feet could provide natural to the property.

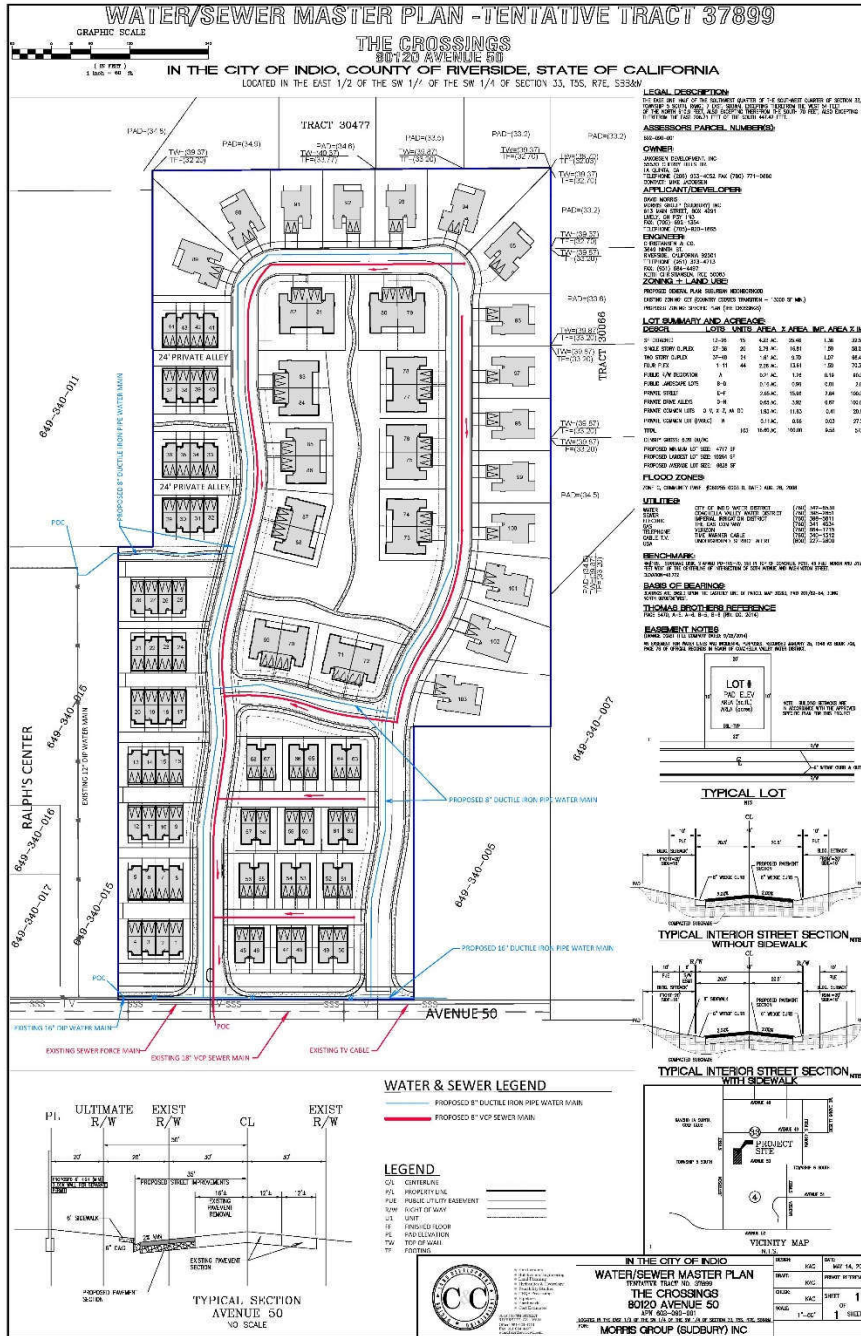
## **Tentative Tract No. 37899 – The Crossings**

### **Cable Television**

Cable television is available to the site and is provided by Time Warner Cable.

# Exhibit 11

## Water and Sewer Master Plan



## **VIII. PUBLIC FACILITY AND PHASING**

### **Project Phasing Description**

The Crossings shall be constructed in one phase. Anticipated timeline is site construction commencing in fall of 2020 and project completion by summer 2022. Due to the normal fluctuation of residential markets timelines are subject to change.

## **IX. DEVELOPMENT STANDARDS**

### **LAND USES**

Pursuant to section 65450 et.seq, of the California Government Code relative to Specific Plans, this project master Plan is hereby adopted by Ordinance and shall serve as the "Specific Plan" for the subject site to the extent the City Code of ordinances relative to zoning, land use and development standards are hereby supplanted by the like provisions of this Specific Plan. Where a question arises due to an omission in the Specific Plan the provisions of the City of Indio Code of Ordinances shall prevail.

### **RESIDENTIAL LAND USE**

#### **PERMITTED USES**

1. Single family dwellings, detached.
2. One story duplexes, attached
3. Two Story duplexes, attached
4. Fourplexes, attached
5. Recreational areas including swimming pool, passive and active recreational areas.

#### **PROHIBITED USES**

1. Any uses not permitted by city code.

<b>DEVELOPMENT STANDARDS</b>	
<b>MINIMUM LOT AREA</b>	4700 SF
<b>MINIMUM WIDTH*</b>	
INTERIOR LOTS	64 FT
CORNER LOTS	80 FT
KNUCKLE LOTS	50 FT
<b>MINIMUM DEPTH</b>	68 FT
<b>MINIMUM DWELING SIZE</b>	1500 SF
<b>MINIMUM SETBACKS**</b>	
FRONT (SINGLE FAMILY DETACHED-ALL STRUCTURES INCL. GARAGES)	20 FT
FRONT (4-PLEX, TWO STORY DUPLEX) FROM ALLEY LOT	4 FT
SIDE YARD WITHOUT SIDEWALK	15 FT
SIDEYARD WITH SIDEWALK	16 FT
INTERIOR	5 FT
REAR (SINGLE FAMILY DETACHED)	20 FT
REAR (4 PLEX AND TWO STORY DUPLEX)	5 FT

# Tentative Tract No. 37899 – The Crossings

<b>DEVELOPMENT STANDARDS</b>	
<b>MAXIMUM LOT COVERAGE</b>	75%
<b>MAXIMUM BUILDING HEIGHT</b> ONE STORY TWO STORY	18 FEET 29 FEET
<b>GARAGES</b> INTERIOR STORAGE	20' X 20' 160 CF
<b>PARKING</b>	2 per unit in a garage
<b>ACCESSORY STRUCTURES</b> FRONT YARD SIDE YARD  REAR YARD	Not permitted May encroach, but in no event shall be closer than 3 feet to side property line May encroach, but in no event shall be closer than 3 feet to rear property line
<b>SWIMMING POOL/SPA SETBACKS</b> FRONT SIDE  INTERIOR CORNER  REAR STRUCTURES	Not permitted  5 FT 10 FT 5 FT 5 FT
<b>FENCING</b>  MAXIMUM HEIGHT FRONT ALL OTHERS  SETBACKS FRONT SIDE  INTERIOR CORNER LOT WITH SIDEWALK CORNER LOT WITHOUT SIDEWALK REAR	  4 FT 6 FT  20 FT  16 FT 10 FT On Property Line
<b>MECHANICAL SETBACKS</b>	3 FT

\* - Minimum width and depths are measured from setback lines

\*\* - Setbacks are measured from the property lines or ultimate street or alley right of way lines, front yard setbacks are applicable to main structures and garages.

\*\*\* - Lot coverage of structures is including main dwellings, accessory structures and garages



# **Tentative Tract No. 37899 – The Crossings**

## **ADDITIONAL PROVISIONS**

### **FENCING**

No wood fencing materials or chain link shall be permitted in the residential areas. Open fencing (decorative metal) the front yards up to a maximum of four feet (4.) in height. The choices of acceptable wall materials are as follows; slump stone, split face block or cinder blocks with stucco coating and wrought iron fencing.

### **ACCESSORY STRUCTURES AND USES**

Accessory structures include personal storage buildings, gazebos and patio covers. Accessory structures are permitted in the side and rear yards. Buildings shall not exceed one story or twelve (12) feet in height. Exterior building materials shall be compatible with the main structure if visible from a street.

Satellite dishes and antennas shall not be visible from any street.

### **MECHANICAL EQUIPMENT**

Mechanical equipment shall be screened from view from any adjacent property or right of way whether public or private. Acceptable screening materials shall be compatible with the adjacent structures and shall consist of masonry or mature landscaping.

### **LIGHTING**

Lighting in all areas shall be low and unobtrusive while providing maximum safety. Lighting in the recreation areas shall be focused down and away from adjacent uses and shall contain light shields to direct light onto the site and avoid spill-over effects.

### **ACCESSORY VEHICLE STORAGE**

Open storage of recreational vehicles, boats or trailers shall not be permitted within the development.

### **HOME OCCUPATIONS**

Home Occupations shall be permitted provided that they are wholly contained within a residence and may only consist of office type uses. No deliveries, manufacturing or storage of vehicles, products for sale or service or any materials related to the use shall be permitted. Approval of a home occupation shall first receive the approval of the property owner's association and shall be subject to City of Indio permit and business license procedures.

## **Tentative Tract No. 37899 – The Crossings**

### **LANDSCAPING IRRIGATION**

Irrigation systems shall be installed within parkway areas. The irrigation system shall be an automatic system with an irrigation timer and two drip or bubbler heads per tree to provide adequate deep root irrigation.

### **LANDSCAPING MAINTENANCE**

Lawn and ground cover shall be trimmed or mowed regularly. All planting areas shall be kept free of weeds and debris.

All plantings shall be kept in a healthy and growing condition. Fertilization, cultivation, and tree pruning shall be a part of regular maintenance. Good horticultural practices shall be practiced in all instances.

Irrigation systems shall be kept in working condition. Adjustments, replacements, repairs and cleaning shall be a part of regular maintenance

Trees shall be staked and tied with lodge poles. Stakes and ties on trees shall be checked regularly for correct functions. Ties shall be adjusted to avoid creating abrasions or girdling on trunks or branches.

### **SIGNS**

All signs shall be permitted in accordance with the provisions of Chapter 150 of the Indio Municipal Code. All signs unless otherwise stated shall require review and approval by the City. A sign permit and or building permit are required unless otherwise exempted.

### **REVIEW AND AMENDMENT PROCEDURES**

Individual development applications will be processed under normal City requirements at the time of the application for Design Review (architecture, landscape architecture, signage, final grading, etc.) Design Review shall not be required if followed within this document.

Substantial amendments to the land use plan or permitted uses of the PMP shall be done in accordance with City procedures, basically following the adoption procedures of the original document. Planning Commission and City Council review shall be required.

## **X. DESIGN GUIDELINES**

The focal points of The Crossings are the lush parkways landscaped amenities, a variety of residential units for first time and first-time move up buyers.

### **ARCHITECTURAL FEATURES**

The intent of The Crossings architectural design concept is to create a casual and harmonious community. The homes will have a "village like" appearance with a cluster of roofs and a human scale. Architectural diversity is to be created by manipulating building materials, colors and textures in conjunction with architectural features, i.e., roofs, windows, doors, parapets, trim and walls, rather than by designing buildings that vary greatly in architecture styles.

It is the architectural intent of the design to be of such a style, massing and color as to complement and enhance the natural desert environment. It is important to note that the architectural graphics included herein are merely examples of possible architectural designs that contain the type of characteristics the project hopes to engender. As such, these examples will act as guidelines, which should be utilized to guide the development of actual design drawings.

The project design theme will be characteristic of a Contemporary Soft Modern. The theme will rely heavily on the use of stucco, siding, and stone veneer materials with soft natural colors such as tan, beige and shades of terra cotta complemented by accent colors.

### **BUILDING MASS, FORM AND HEIGHT**

The scale is strongly associated with building height. The intended height of residential buildings is one-story and two story buildings comprised of 1-story single-family detached, 1-story duplex, 2-plex and 4-plex 2-story townhomes. If appropriate, residential buildings may be broken up with private yards to increase light and decrease the visual building mass.

### **BUILDING RELIEF**

The architecture proposed for the residential products is intended to create a blend of strong, solid materials (such as brick and tile) and warm colors typically indigenous to the desert. The exterior of each structure will include basic contemporary modern architectural features such as clean lines, simple massing and recessed windows or doors, but ornate or extravagant characteristics will be prohibited. Some elements would contrast but some elements would have a harmonizing effect, which is a common approach in this style of architectural design.

## **Tentative Tract No. 37899 – The Crossings**

### **Materials**

The building materials and colors proposed for the project are intended to complement the natural desert environment. All materials are durable and require little maintenance. While large expanses of flat, windowless wall planes, which are not articulated by materials or color, are discouraged, simple massing with accent materials and colors will be encouraged. Use of widely varying and contrasting materials should be limited. Contrasting materials, textures, and colors may be employed in areas in which special emphasis is desired, such as building entrances, patios, and other areas where special architectural emphasis is appropriate. Architectural features such as masonry and siding may be used to provide vertical and horizontal accents on buildings.

Paints and stucco shall be subdued and limited to neutral colors and light to medium earth tones with selected contemporary accent colors limited selected accent wall planes.

Acceptable building materials include, but are not limited to:

- Stucco or plaster finish
- Fiber cementitious siding
- Ledge stone veneer
- Accent metal trellis

Materials that are discouraged include:

- Tiled roofs that are monochromatic or hues other than terra cotta, or earth tones
- Painted brick and stone, covered masonry and painted concrete block or slump block walls
- Mirrored glass
- Aluminum or vinyl/plastic siding
- Rock roofs

### **ROOF FORM AND MATERIALS**

Roofs serve as a major structural and architectural design element. A variety of roof types and materials are discouraged. Ample roof overhangs are encouraged, due to their ability to provide shading and therefore affect cooling. Solar panels and skylights can be a responsible and practical element to reduce utility costs and utilize the natural attributes of the desert. Therefore, solar panels and skylights are permitted, provided they are designed as an integral part of the roof form to the extent possible.

## **Tentative Tract No. 37899 – The Crossings**

- A variety of roof types, pitches, and overhangs are encouraged.
- Mansard and Gambrel roofs are not permitted.
- Elevations and material should vary between adjoining units to create diversity.
- Accessory detached structures over 100 square feet in size, shall have roofs of similar and/or compatible materials as the main building. There is no minimum roof pitch required for accessory structures.
- Acceptable roofing materials Thermoplastic polyolefin single-ply membrane. Covered patios with wood members are permitted.
- Composition wood and plastic roofing materials are prohibited. Roof vents and appurtenances shall be painted to match the roof color.

### **ACCESSORY STRUCTURES**

For the purpose of this section, accessory structures shall be defined primarily as structures detached from the main residential building. Accessory structures can include cabanas, storage units, and garages, which are not physically attached to the main living unit. Once an otherwise accessory structure is attached to the main building (living unit) it is no longer an accessory structure and must comply with the criteria established for the main building.

Accessory structures are permitted, but are regulated based upon appropriate Building Codes, applicable development standards referred to earlier and the City of Indio Zoning regulations.

### **PERIMETER FENCING/WALLS AND GATES**

The perimeter of the development will contain walls. A solid masonry wall will be provided along the perimeter. The masonry walls will be six (6) feet in height in minimum with pilasters for relief. The spacing will be as approved by the Planning Commission through the Design Review process.

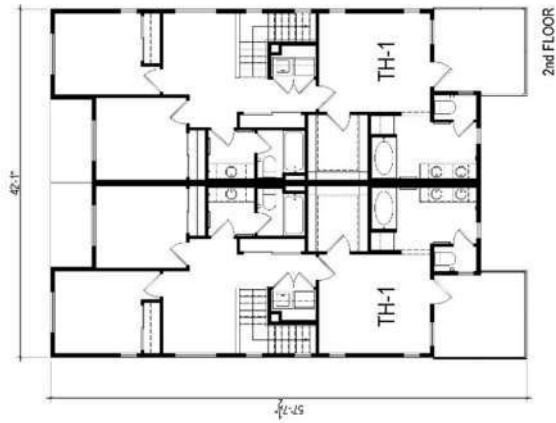
The primary purpose of all walls or fencing adjoining the individual residential units is to create private open space. As with the perimeter wall and fence design it is envisioned that a combination of both solid and open designs will be utilized. Open design and materials will be employed for entry gates and front yard fencing.

## **XI. ARCHITECTURAL PLANS**

The following are Preliminary Architectural Floor Plans, Elevations (Building & Site 3D) and Colorboard that shall be part of the Entitlement package for The Crossings. In an effort to create a theme and product for The Crossing the attached plans shall serve as the proposed architectural design. Understanding that changes to a preliminary design may occur, any changes shall be required to substantially conform per City of Indio requirements. The attached plans shall serve as Architectural Design Review. Any changes that the city of Indio deems to not substantially conform may result in the Architectural Design Package requiring City of Indio Planning Commission and Council Approval.

**FLOOR PLANS**

# Tentative Tract No. 37899 – The Crossings



2-PLEX TOWNHOME 1  
BLDG PLANS

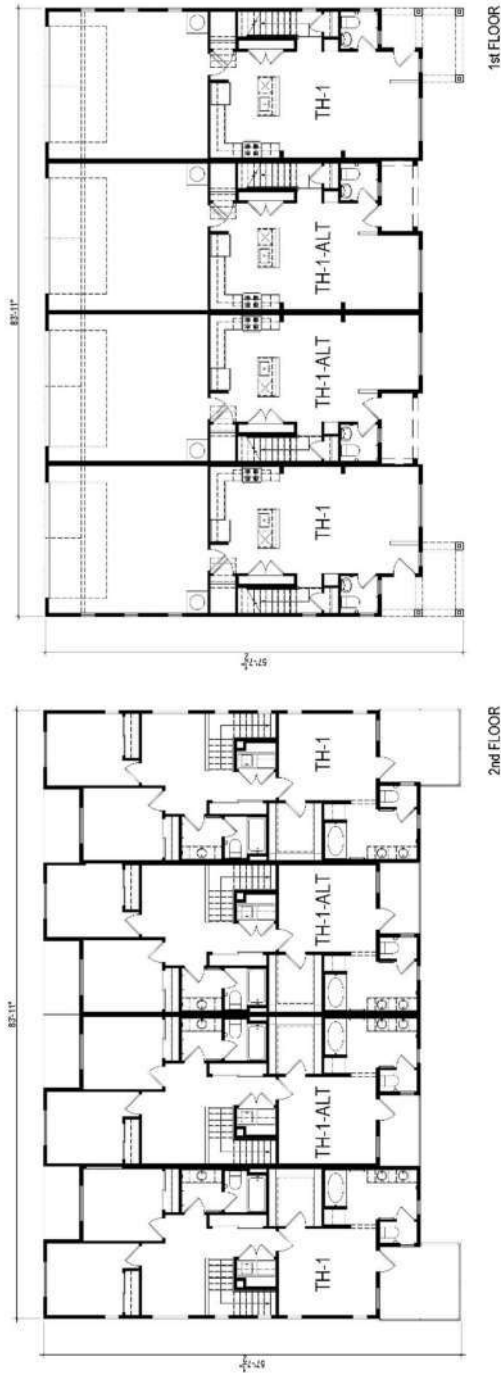
April 29, 2020

www.skarch.com

The Crossings at Indio - Indio  
Morris Group of Companies



# Tentative Tract No. 37899 – The Crossings



4-PLEX TOWNHOME  
BLDG PLANS

April 22, 2020

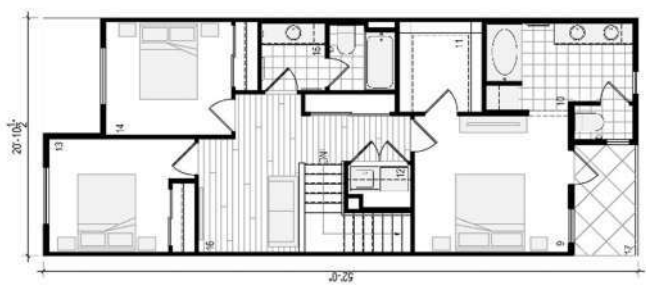
The Crossings at Indio - Indio  
Morris Group of Companies

# Tentative Tract No. 37899 – The Crossings

- 1. PORCH
- 2. ENTRY
- 3. LIVING ROOM (10'-4" x 10'-5")
- 4. POWDER ROOM (10'-4" x 6'-0")
- 5. DINING ROOM
- 6. KITCHEN
- 7. PANTRY
- 8. GARAGE (20'-4" x 22'-0")
- 9. MASTER BEDROOM (12'-0" x 13'-6")
- 10. MASTER BATHROOM
- 11. W.C.
- 12. LAUNDRY
- 13. BEDROOM 2 (10'-0" x 10'-6")
- 14. BEDROOM 3 (10'-0" x 11'-0")
- 15. BATHROOM
- 16. LOFT (10'-0" x 8'-10")
- 17. BALCONY (9'-8" x 9'-8")

<b>TH-1-ALT</b>	
NET	1,415 S.F.
GROSS	1,514 S.F.
GARAGE	469 S.F.
BALCONY	55 S.F.
<b>TOTAL</b>	<b>2,037 S.F.</b>

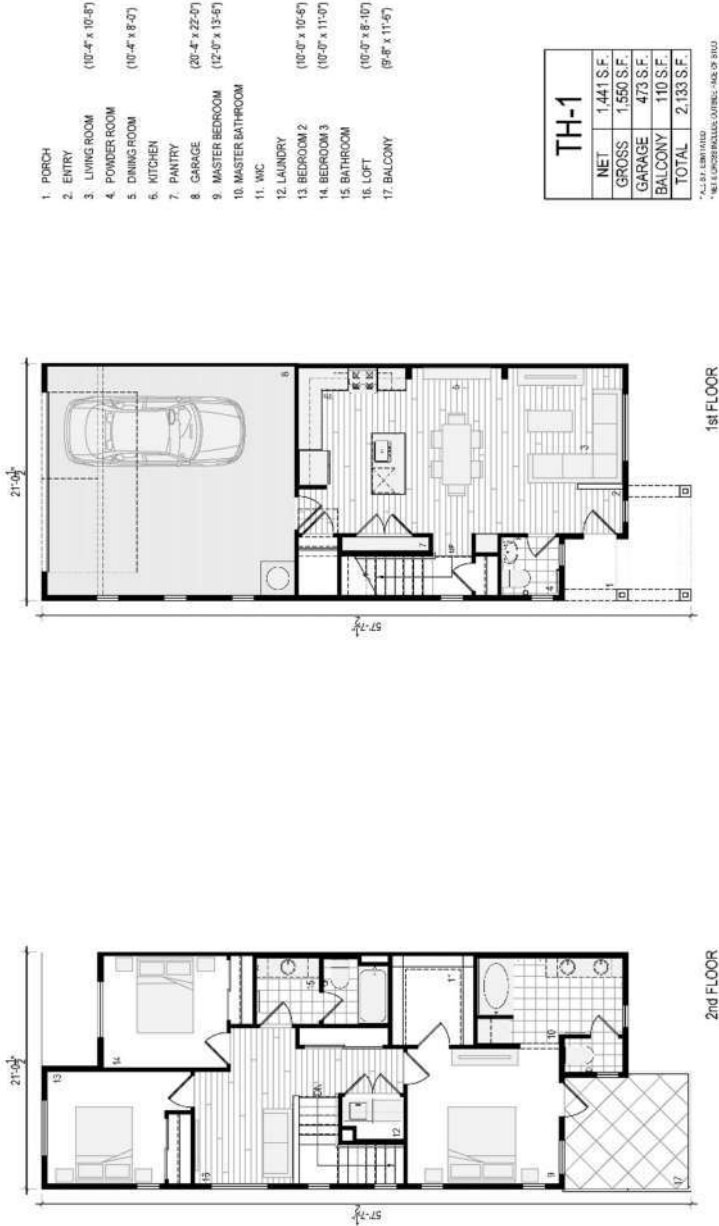
\* ALL S.F. SHOWN ARE NET  
 \*\* NET S.F. DOES NOT INCLUDE OUT THE FAÇE OF BEAR



UNIT PLANS  
 SCALE: 1/8" = 1'-0" OR 1/11" = 1'-0"  
 April 25, 2020

The Crossings at Indio - Indio  
 Morris Group of Companies

# Tentative Tract No. 37899 – The Crossings

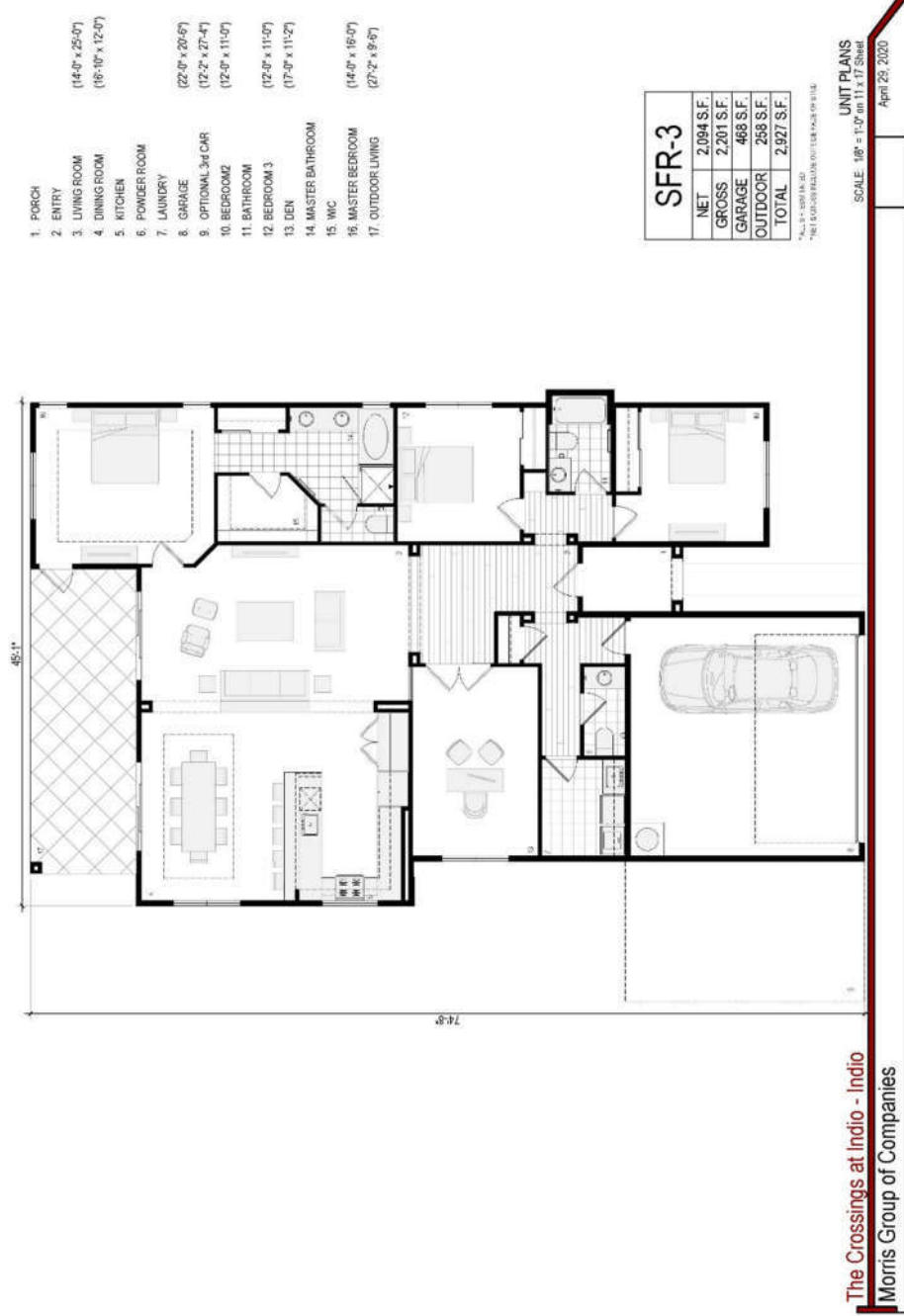


**SK**  
www.skinc23.com

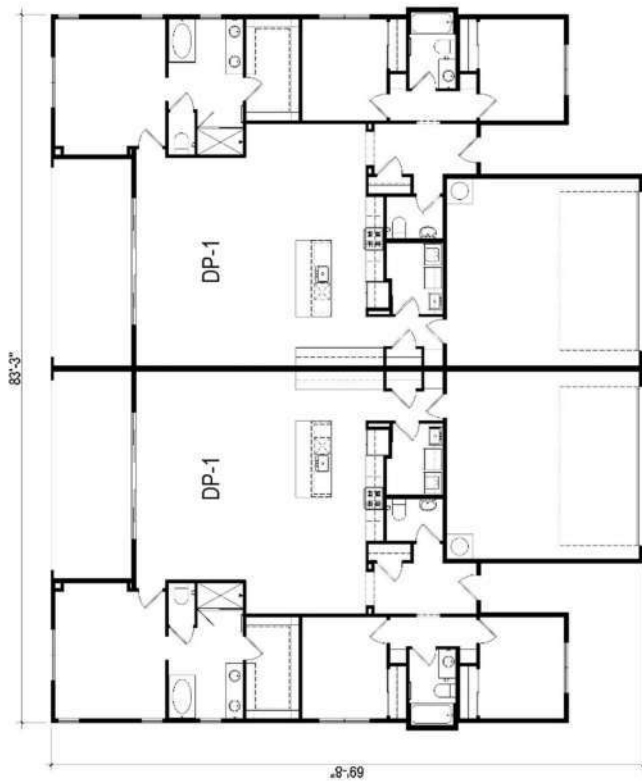
UNIT PLANS  
SCALE: 1/8" = 1'-0" OR 1/16" = 1'-0"  
APRIL 29, 2020

The Crossings at Indio - Indio  
Morris Group of Companies

# Tentative Tract No. 37899 – The Crossings



# Tentative Tract No. 37899 – The Crossings



1-STORY DUPLEX  
BLDG PLANS  
April 23, 2020  
www.stk.com

The Crossings at Indio - Indio  
Morris Group of Companies

# Tentative Tract No. 37899 – The Crossings

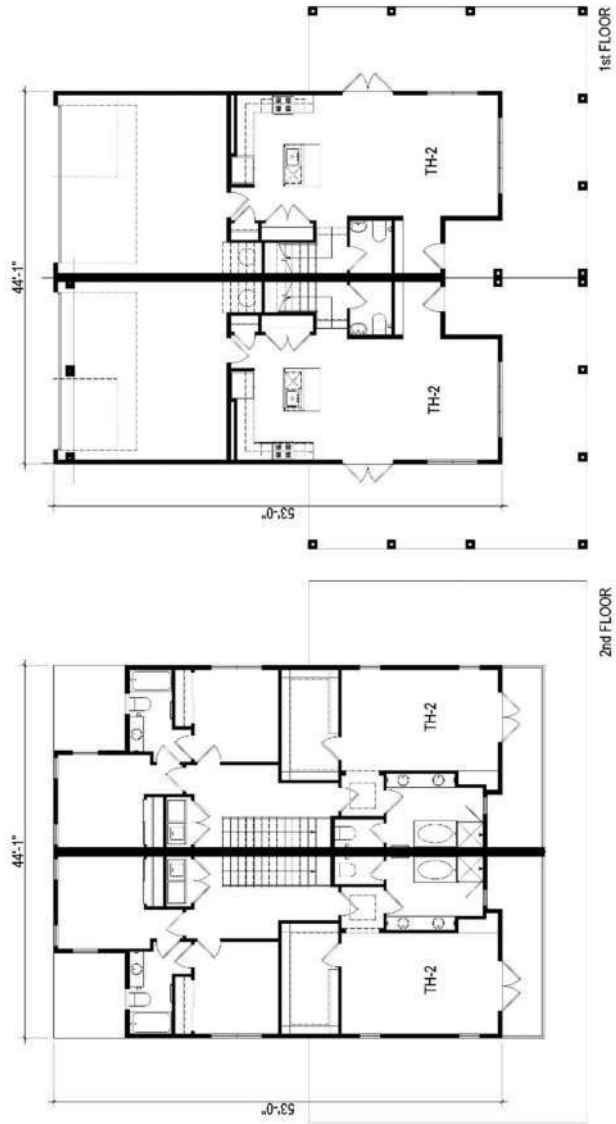


**STK**  
www.stkarch.com

**UNIT PLANS**  
April 29, 2020

The Crossings at Indio - Indio  
Morris Group of Companies

# Tentative Tract No. 37899 – The Crossings



2-PLEX TOWNHOME 2  
BLDG PLANS

April 28, 2020

The Crossings at Indio - Indio  
Morris Group of Companies

# Tentative Tract No. 37899 – The Crossings



**STK**  
www.stk.com

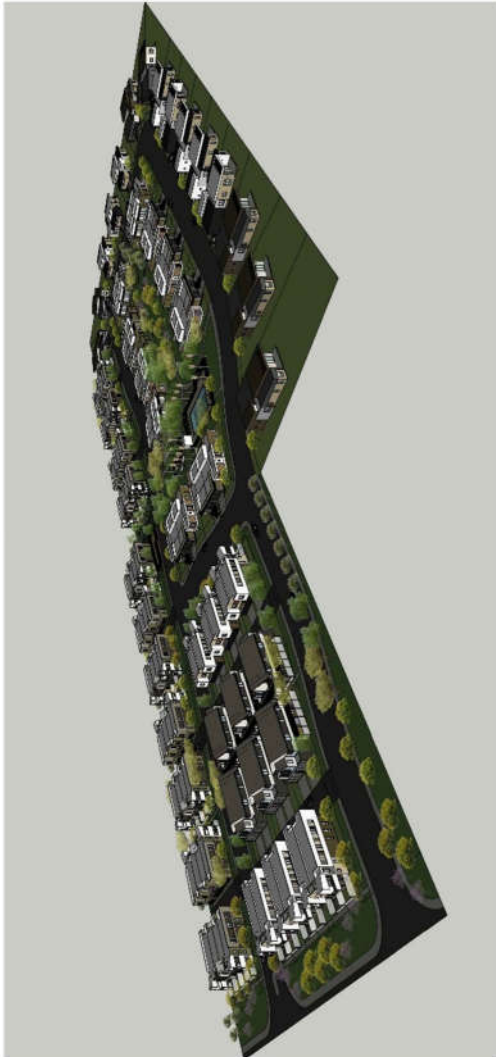
UNIT PLANS  
 SCALE: 1/8" = 1'-0" on 11 x 17 Sheet  
 April 29, 2020

The Crossings at Indio - Indio  
 Morris Group of Companies



**SITE 3D ELEVATIONS**

The Crossings  
Indio, CA



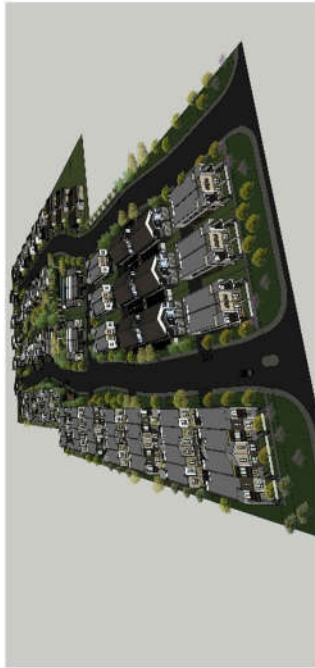
May 18, 2020

The Crossings at Indio - Indio  
Keith Christiansen

# Tentative Tract No. 37899 – The Crossings



CONCEPTUAL OPEN SPACE VIEW



CONCEPTUAL AERIAL VIEW 2



CONCEPTUAL AERIAL VIEW 1



CONCEPTUAL STREET VIEW

The Crossings at Indio - Indio  
Keith Christiansen

STK  
www.stkct.com

May 19, 2020

**BUILDING ELEVATIONS**

# Tentative Tract No. 37899 – The Crossings



# Tentative Tract No. 37899 – The Crossings



# Tentative Tract No. 37899 – The Crossings



The Crossings - Indio  
Morris Group

2-PLEX TH-1  
ELEVATIONS  
May 18, 2020

REAR VIEW

FRONT VIEW

www.skidri.com

# Tentative Tract No. 37899 – The Crossings



# Tentative Tract No. 37899 – The Crossings




REAR VIEW

FRONT VIEW

The Crossings - Indio  
Morris Group

SINGLE FAMILY RESIDENCE 3  
ELEVATIONS  
May 19, 2020



www.skk.com



# Tentative Tract No. 37899 – The Crossings



**MATERIAL & COLORBOARD**

# Tentative Tract No. 37899 – The Crossings

**MATERIAL & COLOR BOARD**

May 18, 2020

www.5k.com

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The Crossings - Indio  
Morris Group

# Tentative Tract No. 37899 – The Crossings

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MATERIAL & COLOR BOARD  
May 18, 2020  
www.thecrossings.com

1- STORY DUPLEX  
SINGLE FAMILY RESIDENCE 9  
SINGLE FAMILY RESIDENCE 3-ALT

2 8 12 15 17 18

8 13 9 17 7

5 6 17 8

The Crossings - Indio  
Morris Group

## **XII. LANDSCAPE PLAN**

### **LANDSCAPING CONCEPT**

This section of the Specific Plan provides a general description of the design and planting guidelines for The Crossings project. A predominate landscape feature of the site is the both the main street and park, although the landscaping associated with each residential product type will help to create a character and identity for the individual areas of the project.

The landscape design for this project will attempt to provide an attractive and lush landscape setting while pursuing a commitment to water conservation. These goals will be implemented through the use of water efficient plant materials and an appropriate irrigation system.

The Villages at Andreas Ranch has been designed to compatibly interact with the existing environment to the greatest extent possible. Dense tree, shrub and groundcover massings, consisting of water efficient and native plant species. The following concept should be followed:

### **GENERAL LANDSCAPING**

1. Landscape treatments should maximize the use of native desert and compatible drought tolerant plant materials. Species must comply with City of Indio and Indio Water Authority water conservation ordinance requirements.
2. Landscape plans must address wind and water erosion issues and demonstrate the water efficiency gained from plant and irrigation systems.
3. All areas not covered by structures, drives, parking or hardscape should be appropriately landscaped.
4. The use of turf should be limited to functional play and active use areas.
5. Landscaping should provide shade where needed, including within parking areas, park seating areas, and pedestrian paths/trails.
6. Where appropriate, organic and inorganic groundcovers are recommended in place of asphalt or concrete.

### **WALLS AND FENCES**

1. Walls and fences should be an integral part of site design, especially in areas of public visibility. Careful consideration must be given to their placement so as to assure a natural transition between land uses.
2. Windbreak walls, berms, and fences may be constructed in areas that warrant protection from prevailing winds.

### **OPEN SPACE**

1. Common open space should be conveniently located for the majority of units.
2. Private open spaces should be contiguous to the units they serve and at least partially screened from view.
3. Open space areas should be designed and oriented to take advantage of available sunlight and sheltered from wind, traffic, and noise to the greatest extent practical.

## **Tentative Tract No. 37899 – The Crossings**

4. Adequate and safe pedestrian and non-motorized access to open spaces should be provided.
5. Outdoor areas associated with multi-family developments should provide attractive spaces that are carefully planned and not simply leftover areas between structures. Pedestrian amenities, such as tables, benches, and shade structures, should be provided. Streets must comply with the City's Outdoor Lighting requirements.

### **LANDSCAPE DEVELOPMENT STANDARDS**

Prior to issuing permits the City will review landscaping programs that have been prepared by a qualified landscape architect. The developer shall be responsible for maintenance and upkeep of all common landscaped areas and irrigation systems within its ownership parcels until such time as these operations are transferred to the property owners association.

Prior to issuance of a building permit, plans for any associated landscaped areas shall be submitted to the City for approval. The improvement plans shall include, but not be limited to the following:

- Final grading plan

- Irrigation plans prepared by a landscape architect

- A landscaping plan with specifications for mulching and staking methods, locations, type, size and quantity of plantings

- Fence plans

### **PLANTING GUIDELINES**

The landscape theme and plant materials are appropriate to create an attractively landscaped project that is suitable to the desert climate and is water efficient. Shrubbery will be selected for a full season look, with an eye towards ease of maintenance. Maintenance specifications will orient pruning of shrubs towards a natural, non-sheared appearance.

Where appropriate, flowering vines such as Bougainvillea, Cape Honeysuckle and Lady Banks Rose will be utilized to provide color accent to the landscape. Perennial ground cover planting will be minimized. Annual flowerbeds will be provided in key accent locations to provide a sharp color accent, particularly at the project entrances.

### **PROJECT PERIMETER AND STREETSCAPES**

Canopy trees such as Sweet Acacia, Palo Verde, Rain Tree Gold and Mesquite will be grouped along the perimeter to provide shade for the sidewalk as well as a buffer. The turf areas will be accented with colorful groundcovers and drip irrigation. A twenty (20) foot landscaped setback is proposed along the public street frontages of the project. The trees will be grouped and varied in placement to provide a more natural appearance. A rigid formal landscaped is not desired. The setback areas will be fully landscaped at project onset. Perimeter fencing will be installed at the project onset. See Exhibit 12.

## **Tentative Tract No. 37899 – The Crossings**

### **RESIDENTIAL**

The plant palette for the residential components of the project will include sub-tropical plant types that are more native to the Coachella valley. This will include Sweet Acacia, Mesquite, Rain Tree Gold and annual color.

### **ENTRIES**

Entry areas will receive special attention both to overall landscape design and intensity of materials, and application of color, both seasonal and perennial. These areas will incorporate seasonal bedding plants and perennial color.

### **WIND PROTECTION/VISUAL BUFFER**

Trees and shrubs will be planted, where appropriate to provide both wind protection and a visual buffer.

### **IRRIGATION SYSTEM**

The irrigation design will complement the diversity of landscape features with spray heads used judiciously. Water applied directly to the plant roots wherever possible will not only minimize the use of water, but also greatly reduces the amount of shrub bed weeding associated with over spray from sprinkler systems.

The landscape plan will be designed such that plants with similar water needs will be grouped together. The irrigation system will also be designed to minimize the maintenance and repairs.

### **PLANT SELECTION LIST**

Plant material for public areas, private homes, recreational areas, windbreaks will be selected from the palette shown on Exhibit 12.

# Exhibit 12

## Preliminary Landscape Plan

