

CITY OF INDIO

Tentative Tract 30606

COUNTRY ESTATES

VISTA MONTAÑA ESTATES

AN 11 LOT RESIDENTIAL COMMUNITY

PROJECT MASTER PLAN (PMP)

APPLICANT:

Henry & Magdalena Holster

DESIGN TEAM:

WATSON & WATSON ENGINEERING, INC.

July 2003

Revised September 2003

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EXECUTIVE SUMMARY

The project will be an 11 Lot Private Residential Community located on 9.77 acres. All of the lots have been reserved and will be developed by each lot owner/builder. The development will be a single phase project. Once the improvements are completed, each owner/builder will grade and build their own custom home.

INTRODUCTION

A. AUTHORITY

Section 65450 of the California Government Code grants local planning agencies the authority to prepare a specific plan of development over a given piece of property. Consistent with this authority and in accordance with the Indio General Plan Goals and Policies for implementing development in Residential Planned Development (RPD) planning areas. A Conceptual Specific Plan has been approved for RPD-7. The approved Specific Plan for RPD-7 (CSP Indio Ranchos • Polo Estates) addresses the Vista Montaña Estates project site. The City of Indio General Plan further identifies the Project Master Plan (PMP) as a vehicle to further delineate and qualify the development within the Conceptual Specific Plan-RPD.

B. PURPOSE AND INTENT

The purpose of this Project Master Plan document is to set the use regulations, development standards and design guidelines for the Vista Montaña Estates Project, a portion of the Conceptual Specific Plan-RPD 7. The Conceptual Specific Plan notes the subsequent developments within the RPD-7 planning area will submit a Project Master Plan for review and approval by the City of Indio and they shall conform to the guidelines as set forth in the Specific Plan. This Project Master Plan will describe a private, residential community on 9.77 acres consistent with the densities described in the Specific Plan. In this way, the Project Master Plan will serve to implement the City of Indio General Plan and Zoning by specifying appropriate land uses, intensity of use, and development standards which are consistent with General Plan goals, objectives, and policies and protocols of the City of Indio.

The project is designed at a slightly higher density than that allowed by the General Plan 2020, Specific Plan 94-10-4 and related Zoning Ordinance. Currently, the project Specific Plan allows for a threshold density of 1.0 dwelling units per acre with a maximum of 3.0 dwelling units under an approved project master plan. This PMP proposes a threshold density of 1.12 dwelling units per acre. The development shall create a custom residential use in the Indio Ranchos • Polo Estates Area and help continue the tone for future development in the area. Located within the same square mile as the Plantation Golf Club, Vista Montaña Estates is compatible with the high-end residential uses envisioned in the area.

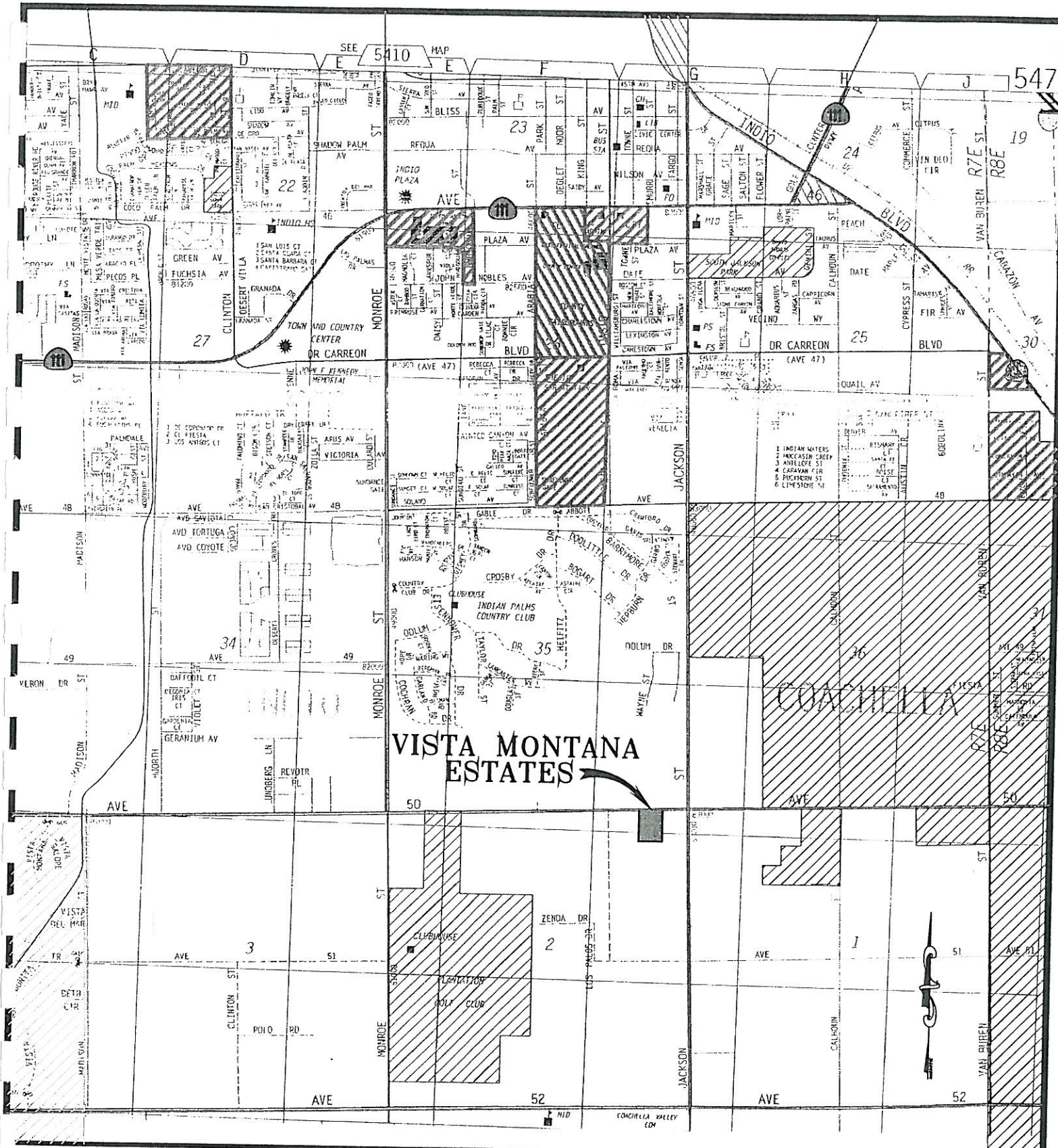
LEGAL DESCRIPTION

The legal description is as follows:

9.77 Acres in the NE 1/4 of Section 2, T5S, R7E, San Bernardino Meridian in the County of Riverside. Assessors Parcel Number 767-090-002.

PROJECT SETTING AND ZONING DESIGNATION

Located in the Indio Ranchos • Polo Estates and part of the Conceptual Specific Plan 94-10-4, the project site is located on 9.77 acres of undeveloped agricultural land. Bounded by Monroe Street on the west and Jackson Street on the east, the property is located on Avenue 50. The project is currently zoned RVCE, Residential Village Country Estate, with a maximum density of 3.5 du/ac. It is further zoned RVPD in the Indio Ranchos • Polo Estates Conceptual Specific Plan with a the same maximum density of 3.5 du/ac. Utilizing a slightly higher density of 1.12 dwelling unit per acre, the project shall include 11 lots. Ten of which will be approximately $\frac{3}{4}$ acre and One which will be approximately $\frac{1}{2}$ acre.




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VICINITY MAP
VISTA MONTANA ESTATES
MASTER PLAN

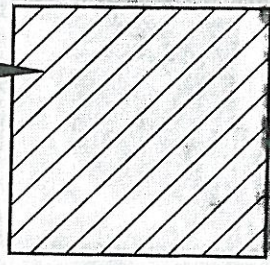
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SCALE NTS		INDIO PARTNERS	SHEET 4	OF 29

THE INDIAN
SPRING COUNTRY CLUB

35 36
2 1

AVENUE 50

VISTA
MONTANA
ESTATES



JACKSON STREET

THE PLANTATION
GOLF COURSE

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AERIAL VIEW

VISTA MONTANA ESTATES
MASTER PLAN

REV.

SIZE	FILE NO.	DWG NO.	REV
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SCALE 1" = 1000' | INDIO PARTNERS | SHEET 5 OF 29

AREA SUMMARY

The 11 lots shall contain approximately 382,021 square feet (8.77 acres). The private street, including the gated entrance on Avenue 50 contains approximately 18,295 square feet (.42 acres). The common area landscape open areas contain approximately 11,325 square feet (.26 acres). The total project area is 411,641 square feet (9.45 acres) net.

LAND USE SUMMARY

Vista Montaña Estates is designed as a Private Residential Community/ Neighborhood. Access to Vista Montaña Estates will be through the landscaped, private gated entrance located on Avenue 50. The interior street shall be private with the use of wedge curbs without sidewalks, as specified in the CSP. Curbs, gutters and sidewalks, bridal trail and landscaping will be provided along Avenue 50.

The Avenue 50 perimeter of the project will be enclosed by a six foot (6') brick wall, decorative in nature and shall have numerous offsets, pilasters or other architectural treatments to create visual interest (see exhibit 9:Exterior Wall and Section.) The design of the streetscape will include landscaped tree and shrub grouping, and walkway paths including a bridal trail as called for in the Indio Ranchos Parks and Open Space plan. The project entry shall be attractively designed to create a distinctive identity for the development. The streetscape shall provide a unifying theme throughout.

Entry project signage will be located on both sides of the entry road, on the interior of the perimeter wall.

INDIAN PALMS
COUNTRY CLUB

4003' ± TO MONROE STREET

AVENUE 50

819' ± TO JACKSON STREET

VISTA
MONTANA
ESTATES

(SFR)

(SFR)




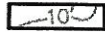
VACANT

VACANT

JACKSON STREET

AGRICULTURE

LEGEND

-  AGRICULTURE
-  VACANT
-  SINGLE FAMILY RESIDENTIAL (SFR)
-  EXISTING CONTOURS



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SITE CONDITIONS

**VISTA MONTANA ESTATES
MASTER PLAN**

REV.

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FILE NO.

9812.00

DWG NO.

EXHIBIT 3

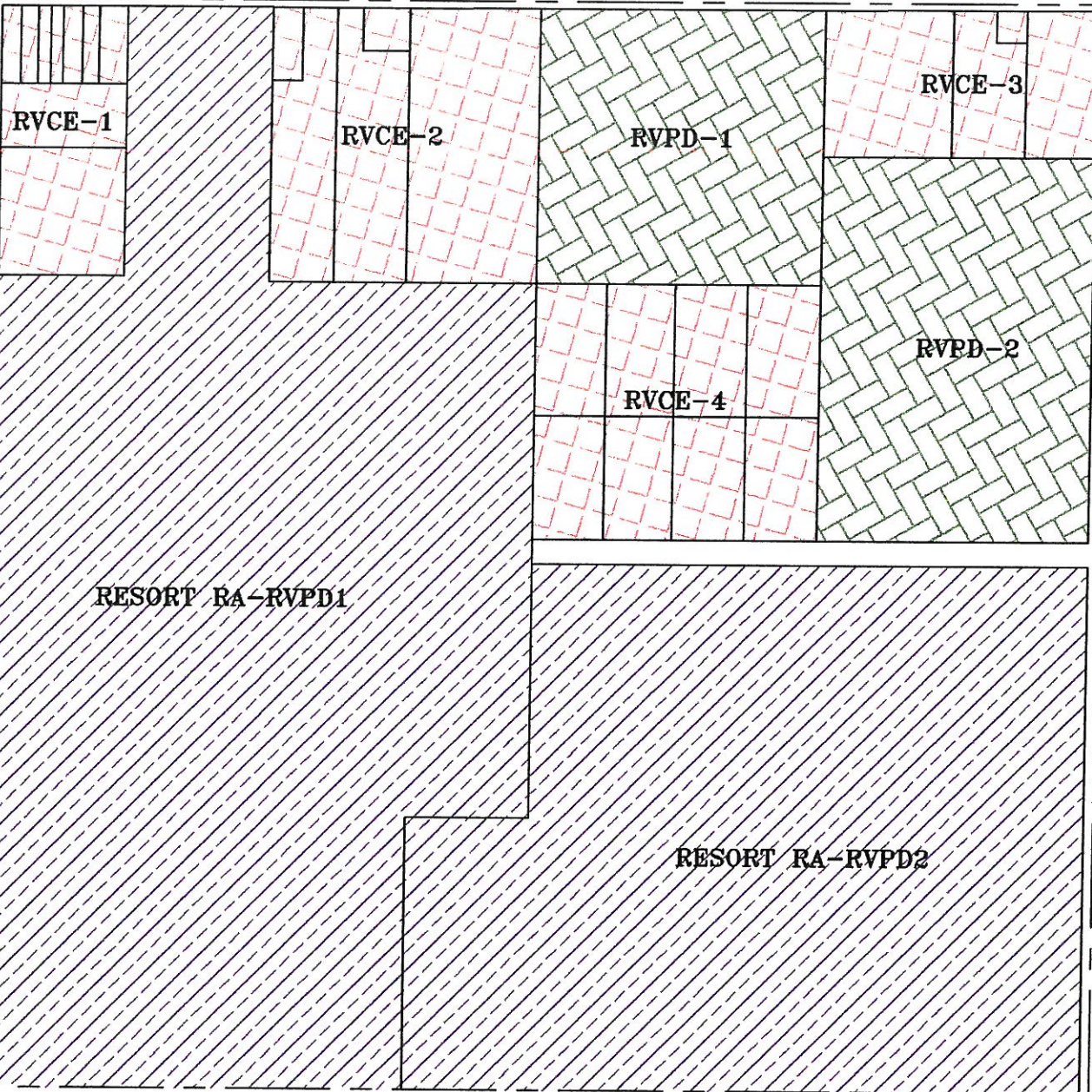
REV

AVENUE 50




PROPOSED PROJECT

MONROE STREET

JACKSON STREET



LAND USE LEGEND

-  RESORT (RA-RVPD)
-  RESIDENTIAL VILLAGE COUNTRY ESTATES (RVCE)
-  RESIDENTIAL VILLAGE PLANNED DEVELOPMENT (RVPD)

52ND AVENUE



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SPECIFIC PLAN LAND USE PLAN

**VISTA MONTANA ESTATES
MASTER PLAN**

REV.

SIZE

FILE NO.

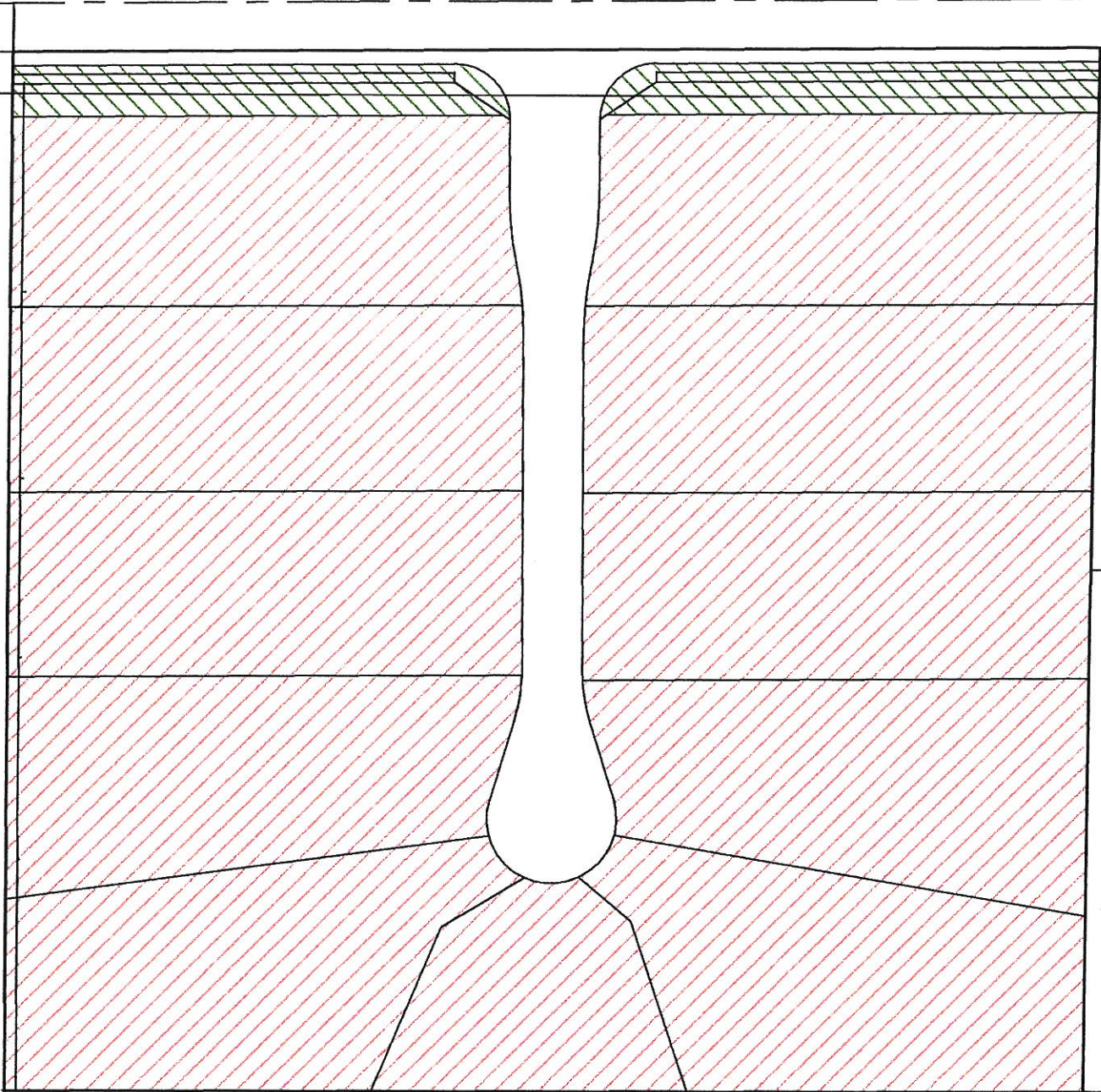
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EXHIBIT 4

REV

AVENUE 50



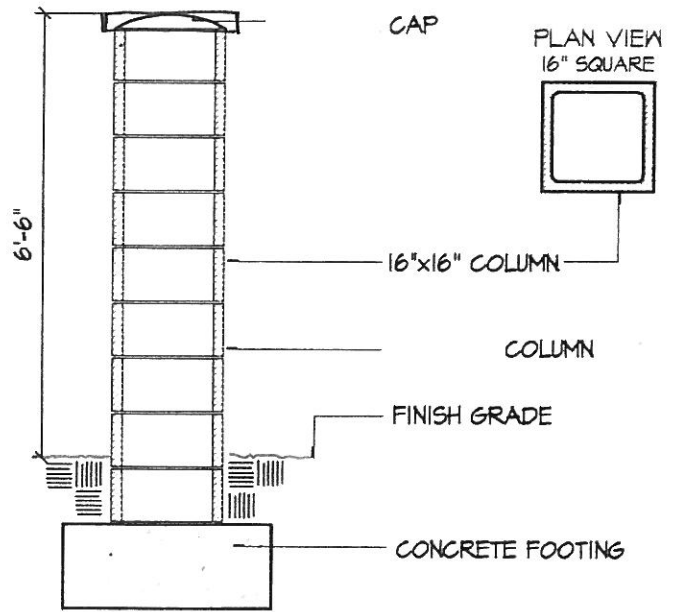
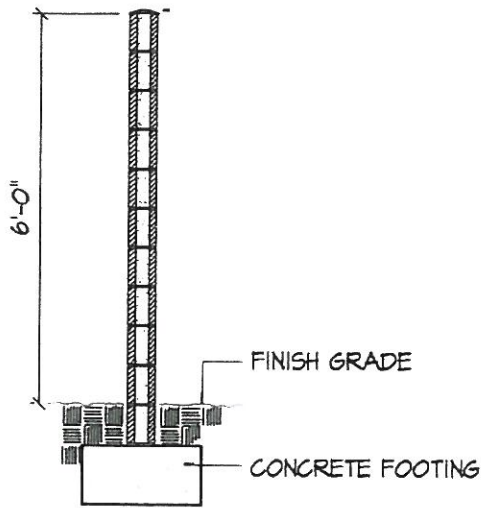
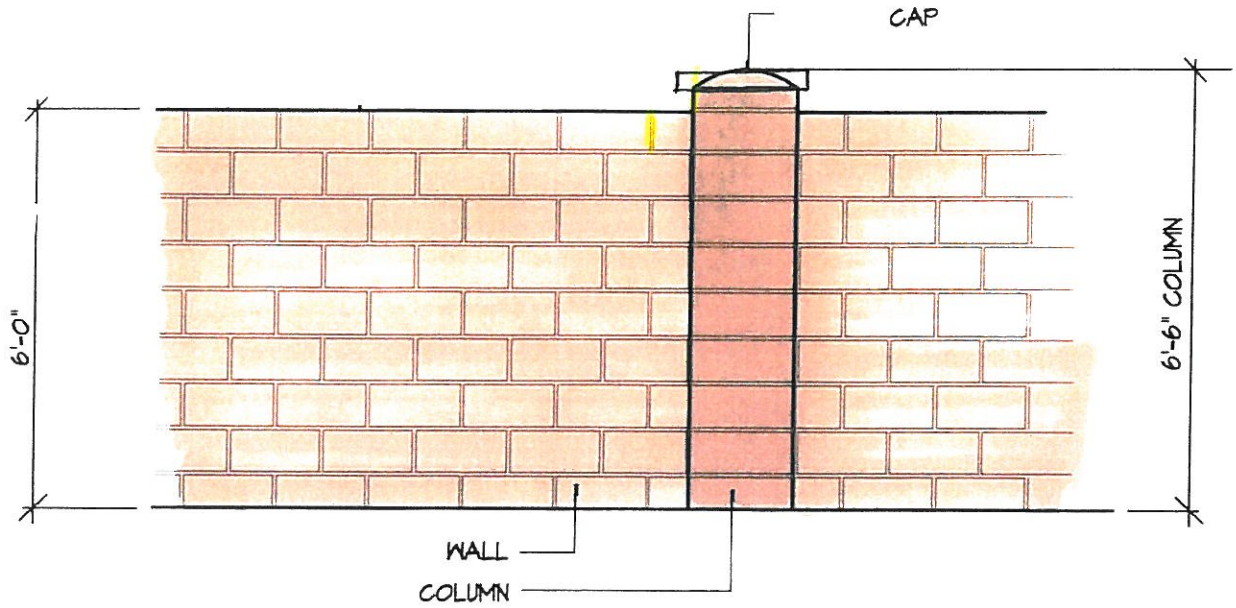
-  OPEN SPACE
-  SINGLE FAMILY RESIDENTIAL (11 LOTS)
- * PLANING AREA SITE TO BE REFINED DURING SUBSEQUENT DEVELOPMENT REVIEW.

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SITE DEVELOPMENT PLAN

**VISTA MONTANA ESTATES
MASTER PLAN**

REV.	SIZE	FILE NO. 9812.00	DWG NO. EXHIBIT 5	REV
	SCALE 1"=100'		INDIO PARTNERS	SHEET 9 OF 29



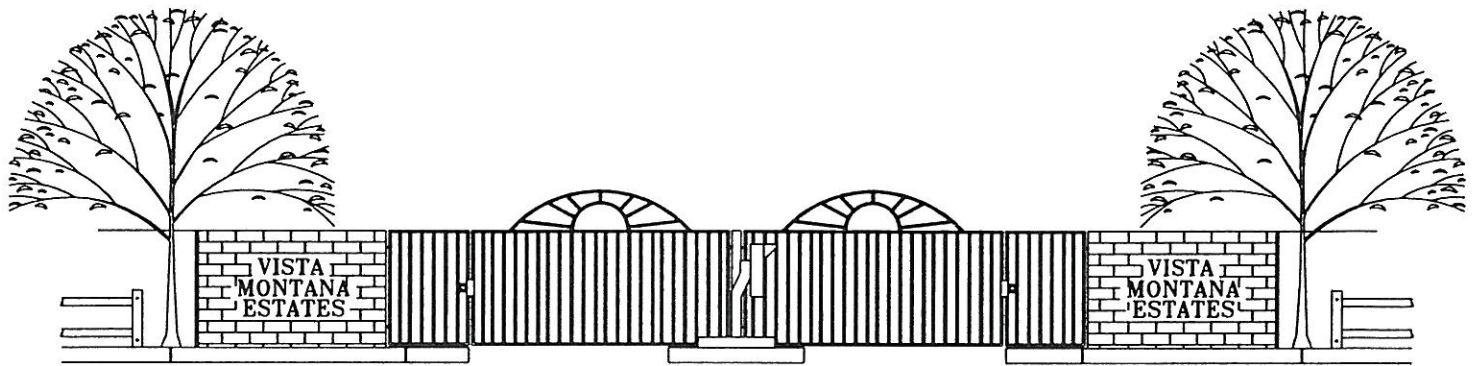
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EXTERIOR WALL & SECTION

**VISTA MONTANA ESTATES
 MASTER PLAN**

REV.

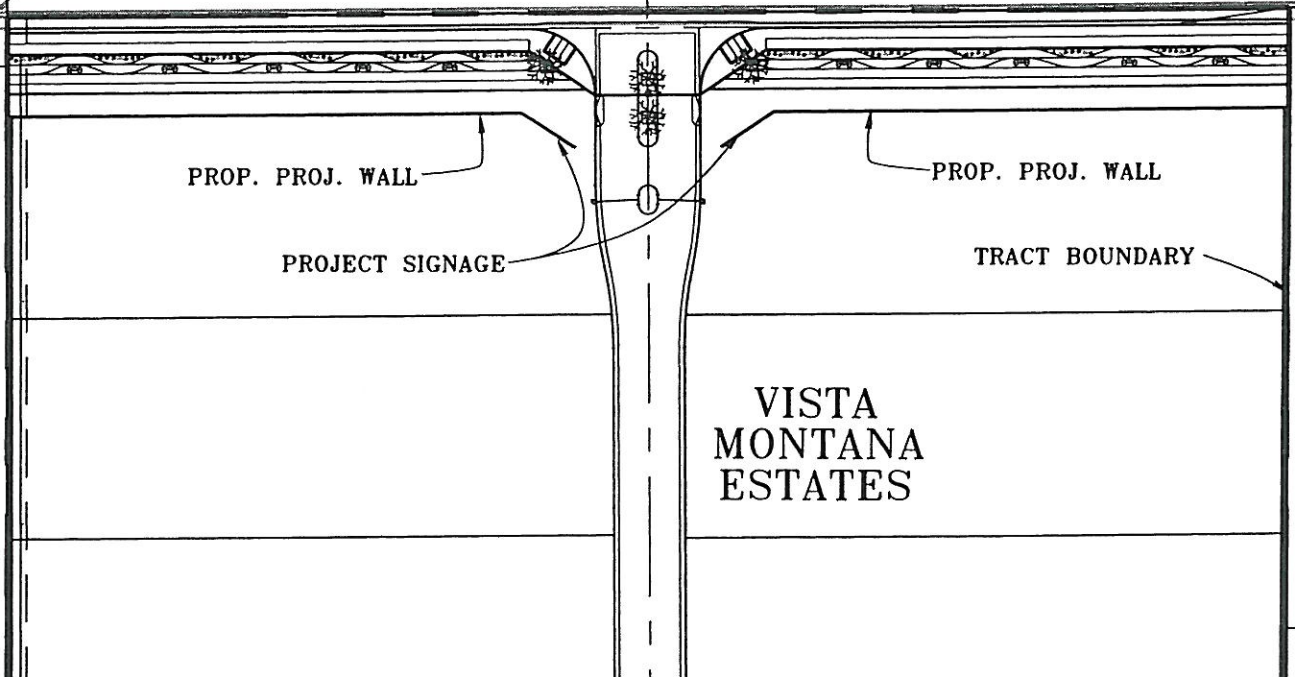
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AVENUE 50
ENTRY SIGNAGE DETAIL
NTS

INDIAN PALMS
COUNTRY CLUB

AVENUE 50



W
W
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ENTRY SIGNAGE

VISTA MONTANA ESTATES
MASTER PLAN

REV.	SIZE	FILE NO.	DWG NO.	REV
		9812.00	EXHIBIT 7	
SCALE 1" = 200'		INDIO PARTNERS	SHEET 11 OF 29	

USE REGULATIONS

A. PERMITTED USES

The following development regulations are intended to implement the RPD-7 overlay provisions of the General Plan and establish standards in the Vista Montaña Estates Project Master Plan. The standards are based upon the RVCE Zones subject to an overall unit cap established by the Country Estates land use designation of the General Plan. These regulations shall apply to the Residential components of the Project Master Plan.

1. Single-family detached dwellings with a minimum 2,700 square feet in living space not including patios and garages.
2. Accessory buildings, uses, or structures.
3. Home occupations (Section _____ of the recorded CC&R's of Vista Montaña Estates dated _____).
4. The keeping of domestic animals (Section _____ of the recorded CC&R's of Vista Montaña Estates dated _____).
5. Landscaped private entrance with entry gates, surveillance equipment, and associated equipment.
6. A guesthouse or casita shall be allowed either attached or detached from the main residence.
7. Granny Housing subject to the requirements of Government Code Section 65852.1.
8. Landscape Irrigation system pipes, and associated equipment.
9. Parking and storage of recreational vehicles as long as no part of said vehicle is visible from the private street.

B. PROHIBITED USES

The following uses are prohibited:

1. Keeping of Horses.
2. Air Flight take-off & landing including helipads, balloon ports, etc.
3. Commercial or entertainment.

4. Commercial communication towers and antennas.
5. Contractor's storage yard.
6. Industrial uses.
7. Roadside stands.
8. Parking or storage of commercial vehicle.

DEVELOPMENT STANDARDS

There will be no more than 11 single-family residential home sites with the following standards that shall apply:

- (1) Minimum lot size of 17,000 square feet;
- (1) The minimum dwelling unit size shall be 2,700 square feet excluding garages and miscellaneous structures;
- (2) Maximum building height is 28 feet above the existing pad height for one and two story structures;
- (3) Accessory structures shall not exceed one story height or 18 feet;
- (4) Architectural features shall not exceed one story in height or 18 feet;
- (5) Roof mounted equipment is permitted if fully screened from view;
- (6) Pitched Roof materials shall be clay or concrete tile;
- (7) Solar Collectors; Air Conditioning Units; Pool Equipment; Antennas; Satellite Dishes. Solar collectors and related equipment may not be installed on roofs of houses but may be located elsewhere on the Lots not visible from other lots, the common area or adjacent streets with prior written approval from the Committee pursuant to Article _____ of the Approved CC&R's. The Association, through the Committee, may from time to time adopt guidelines concerning the types of solar collectors and related equipment, which may be installed in the Project and acceptable means of installation therefor. All air conditioning (including heating) units shall be located on the ground and no rooftop units shall be permitted. All air conditioning units, pool or spa pumps or motors, pool equipment and similar items shall be screened in a manner approved in advance by the Committee. The installation of any antenna shall be subject to Committee approval, which may include screening requirements so that no antenna is visible from other lots, the common area or adjacent streets. Satellite dishes for the reception of television signals are permitted on individual Lots if the same are not visible from the street and do not exceed 24" in diameter, the Common Area or from other Lots, or if partially visible, if the plans for the same are reviewed in advance by the Committee and determined to be *predominantly* unobtrusive by the Committee. The Committee shall have the right to require the installation of landscaping or other screening around the satellite dish;
- (8) Architectural Design review shall be required for all projects as governed by the Home Owners Association (HOA);
- (9) Minimum side yard set backs is 15 feet; 10 feet on one side and 5' on the other;

- (10) Minimum front yard set back is 25 feet;
- (11) Minimum rear yard set back is 20 feet;
- (12) Maximum building site coverage by buildings shall not exceed 50% of the lot and does not include hardscape, swimming pools or driveways;
- (13) Minimum garage will be for 2 vehicles and will be a minimum of 24 feet by 22 feet of unobstructed interior area and shall contain an additional minimum bulk storage area of 160 cubic feet and each lot shall also provide for 2 spaces of guest parking;
- (14) Privacy walls, atriums, courtyards, swimming pool enclosures, and dog runs are allowed subject to Architectural and Landscape Committee (ALC) review. Walls constructed upon any Lot shall be maintained and repaired at the cost and expense of the Lot Owner on whose Lot it is installed. No wall shall be constructed, altered or changed in design, color, material or construction from the original installation without prior written approval of the Committee. All gates shall be no higher than the adjacent Wall. Allowed side and rear wall height shall not exceed seven feet (7'). A front yard wall shall not be placed within 10 feet (10') of the front property line;
- (15) No materials, supplies or equipment, shall be parked, displayed or stored in any areas of the project except inside a closed building or structure or behind a visual screening barrier. The location and design of storage areas shall be subject to review and approval of the Architectural and Landscape Committee (ALC);
- (16) A guesthouse or casita may be allowed either attached or detached from the main residence. The guesthouse shall be designed in the same style as the main residence continuing the same architectural theme throughout. The guesthouse may also contain a separate garage or carport. A guesthouse may not be rented, leased, or sold separate from the main residence and does not have a separate driveway entrance. The guesthouse may be used as a servant's quarters. A kitchen is not permitted;
 - a) Setbacks
 - i. Minimum front setback 75 feet;
 - ii. Minimum Side Interior 20 feet;
 - iii. Minimum Side Corner 25 feet;
 - iv. Minimum Rear setback 20 feet.
 - b) Accessory Buildings and Guesthouse are not to exceed 16 feet in height and may not occupy more than 25% of a required rear yard plus 40% of the buildable area provided that the building coverage allowed by the zone is not exceed.
 - c) Accessory building shall not be located closer than 10 feet to any main building.
- 17) Front yard pools minimum setback is 15 feet from the property line.

- 18) Mailbox facilities will be provided within the project by means of a decorative stucco finished gang box (see exhibit 13.)
- 19) Site Lighting and Landscape Standards are intended to minimize unnecessary, hazardous, and/or unwanted light pollution that diminishes the rural character of properties in the CEIR zones:
 - a) Outdoor game courts: Lighted game courts such as, but not necessarily limited to: tennis, volleyball, sport, basketball and shuffleboard may be allowed with time limits. Lighting may not be operated between the hours of 10:pm and 6:am.
 - b.) Height: building-mounted lights shall be installed below the eave line or below the top of the wall if there are no eaves. Pole or fence-mounted decorative landscape lights shall be located no more than eight feet above grade.
 - c.) Shielding: all exterior illumination devices shall be shielded fully or partially so as to minimize undesirable light into the night sky.
 - d.) Mercury vapor and metal halide fixtures, searchlights and unshielded outdoor illumination of any building, landscaping, signing is prohibited.
- 20) The City of Indio will not issue a building permit until the building plans have been approved and signed by the Vista Montaña Estates Architectural and Landscape Committee (ALC);

BOUNDARY

20' MINIMUM


RESIDENCE

5' MIN

25' MINIMUM

10' MIN

BOUNDARY

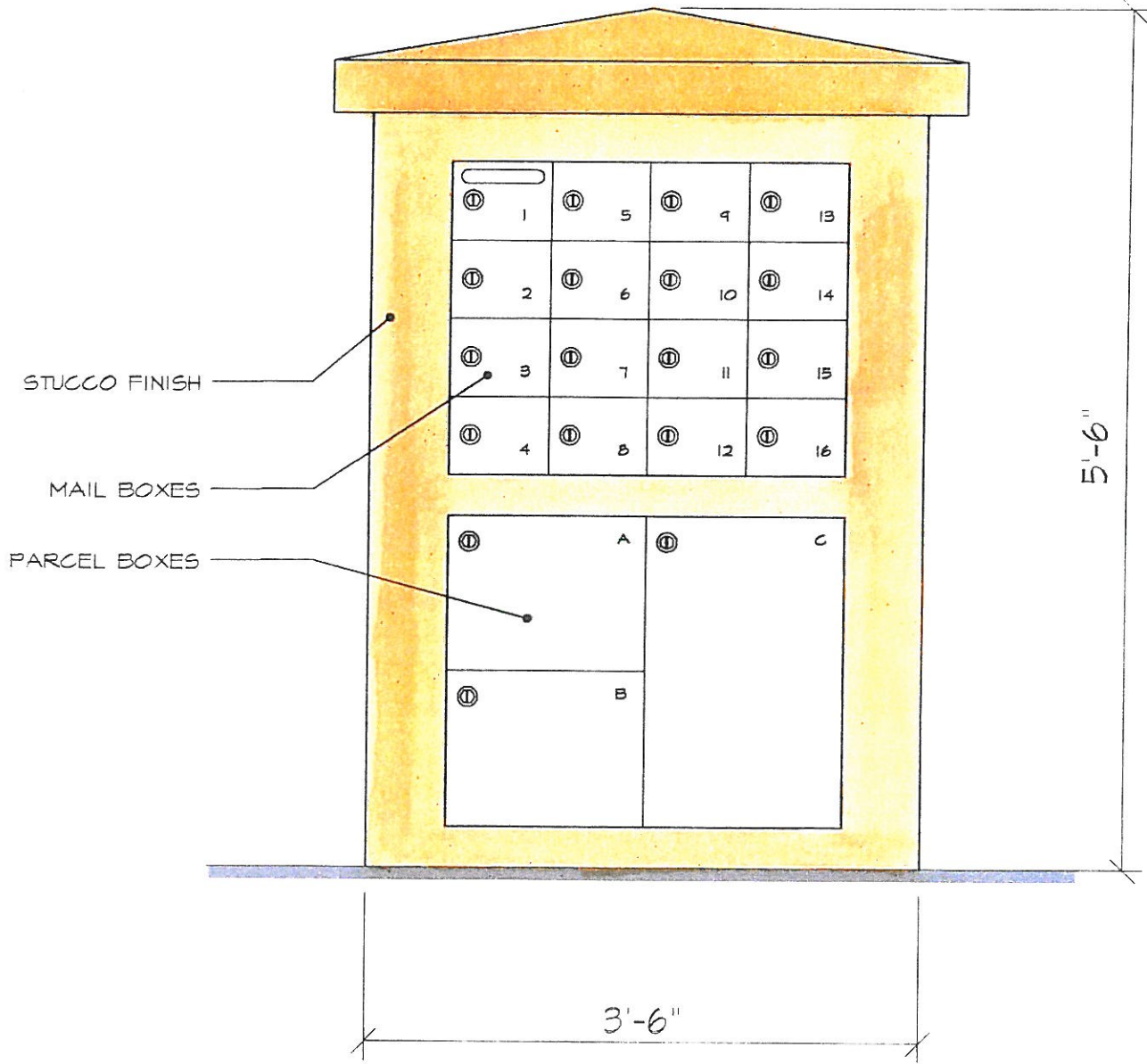


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TYPICAL PLOT PLAN

VISTA MONTANA ESTATES MASTER PLAN

REV.	SIZE	FILE NO. 9812.00	DWG NO. EXHIBIT 8	REV
	SCALE	NTS	INDIO PARTNERS	SHEET 17 OF 29



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MAILBOX

**VISTA MONTANA ESTATES
 MASTER PLAN**

REV.	SIZE	FILE NO.	DWG NO.	REV
		9812.00	EXHIBIT 9	
SCALE NTS INDIO PARTNERS SHEET 12 OF 29				

DESIGN AND LANDSCAPE GUIDELINES

- B. ARCHITECTURAL DESIGN.** The overall architectural design theme of Vista Montaña Estates shall be of an Old World Mediterranean/Early California Design. Only compatible design themes, which reflect and adapt to the unique environment of Vista Montaña Estates, shall be acceptable. Variety in design is desired, however, complimentary design, with respect to materials, colors, and landscaping is to be utilized to achieve a cohesive neighborhood. Custom home design programs are anticipated to have a greater variety in design and style, as the objective to meet the individual desires of the owners within the framework of the acceptable architecture. The specific design of each home in the project shall be clearly established through the plan submittal process, as set forth in the Architectural Design guidelines.

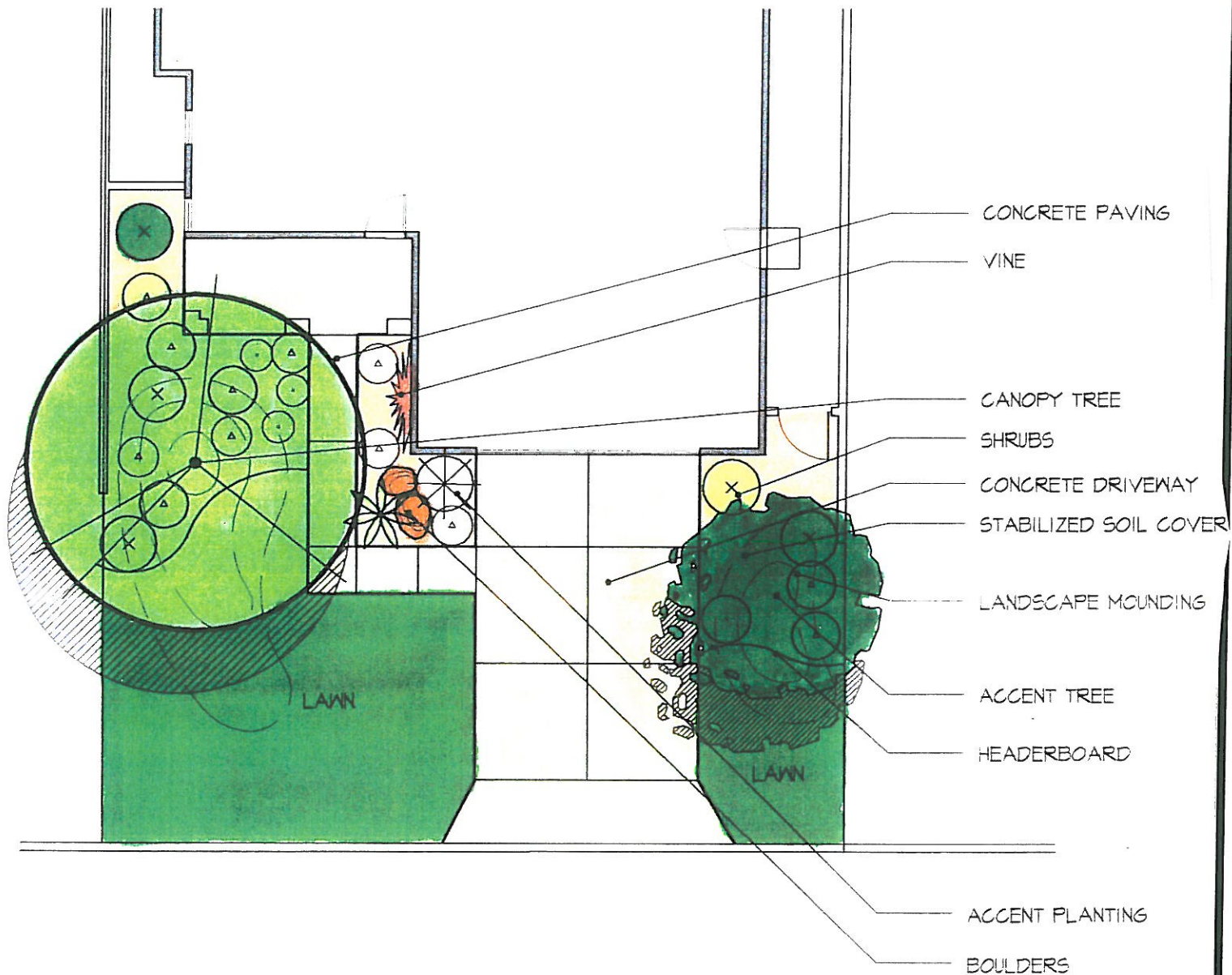
The design expression of the exterior elevations of buildings, including screening and privacy walls shall be designed to include architectural treatments such as detail or offsets, patterns, shadow lines, lighting effects, and interesting materials. Colors, materials, and finishes shall be coordinated for all exterior elevations of the building to provide total continuity of design within the project. Off sets and step-backs that create more articulated building masses, and planes that create greater architectural interest and movement shall be encouraged. The building design shall include the consideration of existing views and vistas from the project, the solar orientation, and the climate.

All roof materials exposed to view from the adjoining street or from immediately adjoining properties shall be of a finish material approved by the ALC. Acceptable materials include clay or concrete roof tile. The exterior walls of each building may be finished masonry, stucco or glass. The colors of all exterior wall materials or finishes shall be in shades of earth tones or off-whites. The use of accent colors or trim, doors, and windows is encouraged. No exterior walls of any building or structure shall be painted, repainted or resurfaced, or otherwise refinished, until the material and the colors have been submitted to, and approved in writing, by the ALC.

C. LANDSCAPE GUIDELINES

1. A Landscape Plan shall be prepared by a landscape architect, contractor or lot owner, that is consistent with the Master Landscape Plan of Vista Montaña Estates. The species of landscape materials shall be subject to review and approval of the ALC, and the City of Indio Planning Department. The Landscape Plan shall provide the following information;
 - a. Tabulations indicating the square footage of each planting area and percentage of the total site devoted to Landscaping;
 - b. Types and quantities, and container size of plant materials;
 - c. Botanical and Common Names of all plant materials.

2. Landscaping shall consist of combinations of trees, shrubs, and live ground covers with careful consideration given the eventual size and spread, susceptibility to disease and pest, durability and adaptability of existing soil and climatic conditions.
3. All planted areas shall contain a permanent automatic irrigation system, utilizing low flow drip systems wherever possible.
4. Landscape and irrigation systems shall be maintained in slightly good condition in accordance with the approved plans. All planting shall be periodically pruned, trimmed, edged, and fertilized in accordance with generally accepted horticultural practices. Landscaping shall be controlled through regular maintenance so as to not interfere with public utilities or create hazards or obstructions to pedestrians or vehicular traffic.
5. All trees and shrubs which have been planted and which due to accident, damage, disease, or other cause fail to show a healthy growth shall be replaced. Replacement plants shall conform to the same specifications that applied to the original plant installation.
6. Each residential lot will include a minimum of Two (2) 24" boxed trees in the front yard area. A minimum of 25% of the front setback or yard area must be planted with live plant material. The remainder may be rock, gravel, bark or other natural non-living material. Required driveways and walkways within the setback are not considered in the calculation of landscaped area.
7. All landscaping shall be kept in an orderly condition. Plant material shall be watered, weeded, pruned, and replaced as necessary. A permanent irrigation system shall be provided and maintained.
8. Desertscapes are acceptable designs for front yard landscapes. Rock landscapes are not to exceed 25% of the front yard.
9. See exhibit 12 for typical front yard with lawn conceptual landscape.




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TYPICAL FRONT YARD with LAWN

VISTA MONTANA ESTATES
MASTER PLAN

REV.

SIZE

FILE NO.

9812.00

DWG NO.

EXHIBIT

REV

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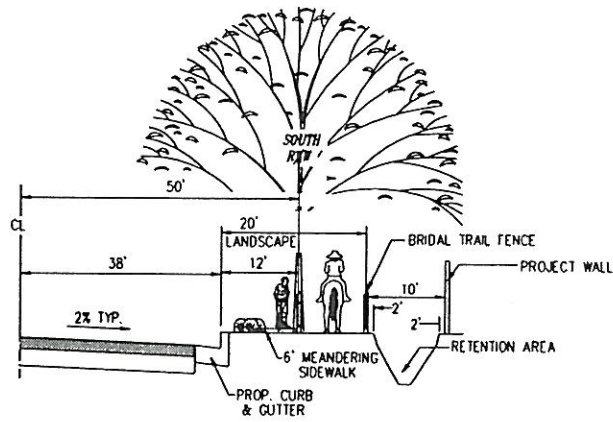
SCALE

NTS

INDIO PARTNERS

SHEET 21

OF 29



AVENUE 50
MEANDERING SIDEWALK SECTION - NTS

INDIAN PALMS
COUNTRY CLUB

RETENTION
BASIN

AVENUE 50 C/L

EX. R/W

FUTURE R/W

6' MEANDERING
SIDEWALK

BRIDAL TRAIL FENCE

BOUNDARY

10' RETENTION

50'

20' LANDSCAPE

DRIVEWAY

GATED ENTRANCE

DRIVEWAY



TYPICAL LANDSCAPE & GATE ENTRANCE
50TH AVENUE

VISTA MONTANA ESTATES
MASTER PLAN

REV.

SIZE

FILE NO.

DWG NO.

REV

9812.00

EXHIBIT 11

SCALE NTS

INDIO PARTNERS

SHEET

22 OF 29

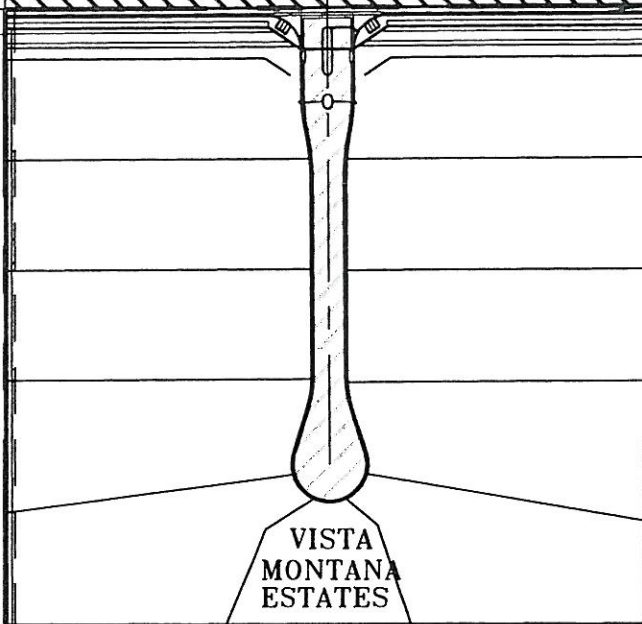
CIRCULATION PLAN

Traffic patterns have been identified which shall allow access to the project from the north from Avenue 50. Avenue 50 shall be improved to a roadway standard as per the City of Indio General Plan 2020 including meandering sidewalks, a bridal trail and lighted landscape areas.

Internal circulation shall be in accordance with the private streets standards whereby the use of private streets within the Residential Village is encouraged. A 41' travel width shall be used on the internal street. There shall be a private gated entrance on Avenue 50. The entrance design shall be for one way travel for ingress and egress with a 20-foot minimum width access. Access shall be by telephone, keypad, electronic and transponder openers.

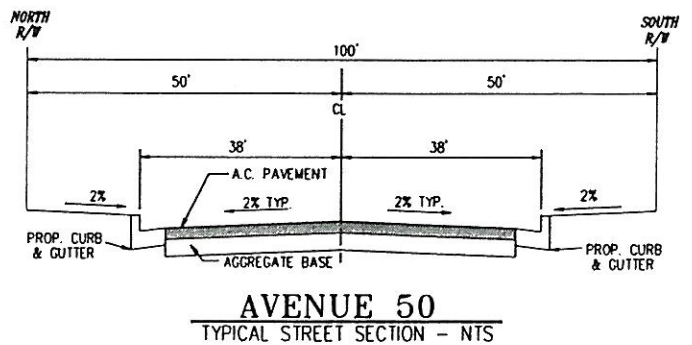
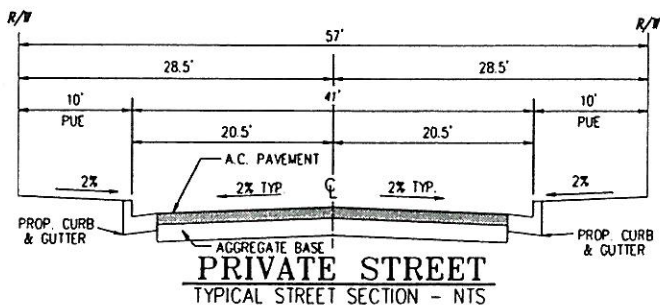
INDIAN PALMS COUNTRY CLUB

50TH AVENUE



LEGEND

-  PUBLIC STREET
-  PRIVATE STREET



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CIRCULATION PLAN

VISTA MONTANA ESTATES MASTER PLAN

REV.

SIZE

FILE NO.

9812.00

DWG NO.

EXHIBIT 12

REV

SCALE 1" = 200'

INDIO PARTNERS

SHEET 24 OF 29

UTILITIES

Domestic Water: The City of Indio shall supply water from several reservoirs and wells located within the City. There is a 16" water main in Jackson Street. An additional water main is at the intersection of Avenue 50 and Monroe Street. The project water system shall meet the City of Indio Engineering standards including a looped water system that shall provide domestic water and minimum fire flow requirements to the project and provide the Engineering Services Department and Fire Department with hydraulic calculations.

Irrigation Water: Same as above.

Sewer: The sewer service for the Vista Montaña Estates area will be facilitated by septic systems on each lot. There will be an installation of an 8" dry sewer line for future service per the Coachella Valley Water District.

Electrical: The Imperial Irrigation District (IID) shall provide the electrical service. All electrical, telephone, gas, and other cable services to the individual lots shall be buried underground.

Natural Gas: The Southern California Gas Company (SCG) shall provide natural gas service. There is a major gas line located in Jackson Street.

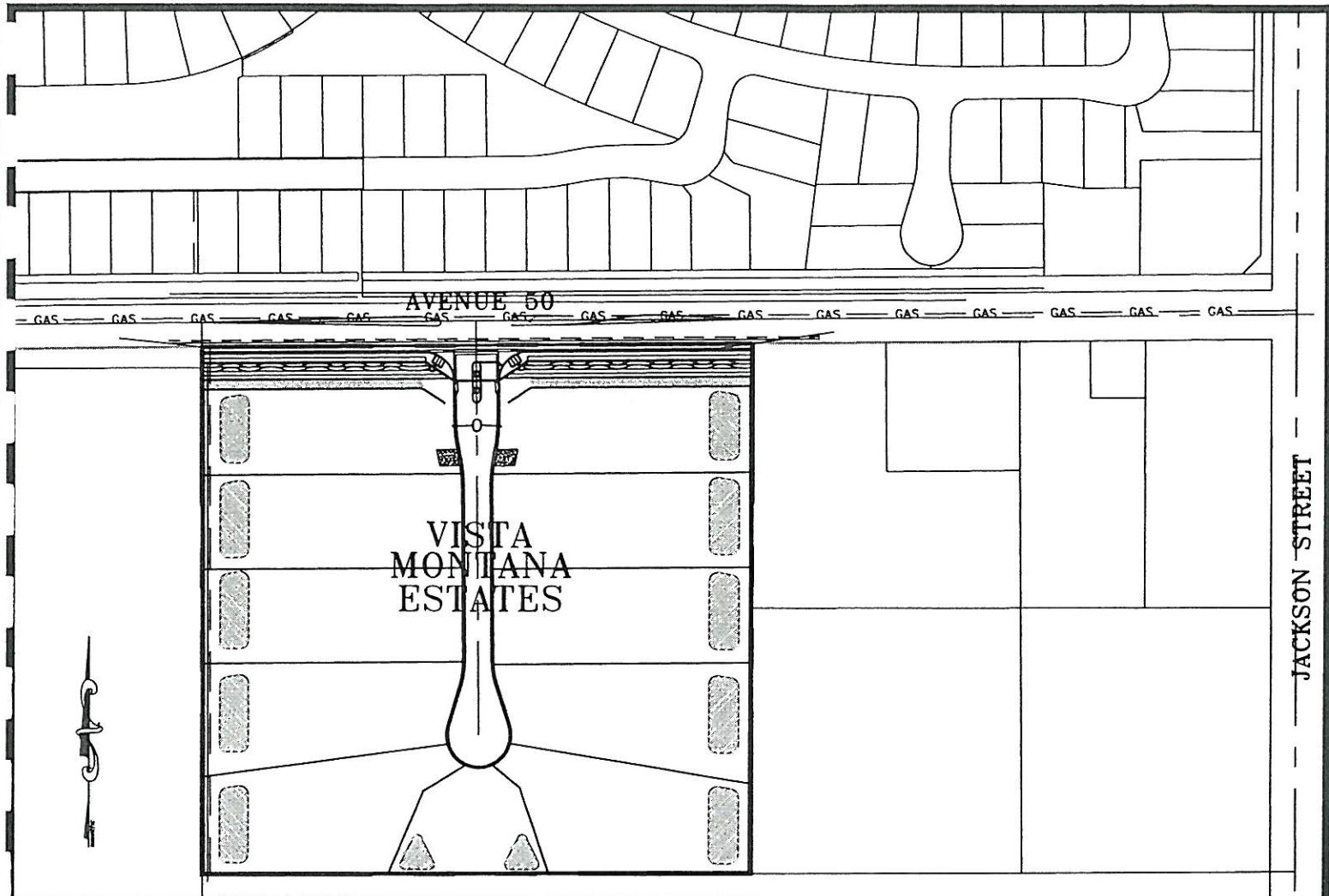
Telephone: The Verizon Telephone Company shall provide telephone service.

Cable: Time Warner Cable Company shall provide BroadBand Cable.

Drainage: The project site falls within a Flood Plain B Designation and shall be designated to retain 500 year storm water, 24 hour duration, on-site for project generated runoff (developed and undeveloped) for existing and ultimate conditions; and accept upstream in-coming runoff from adjacent properties. Developer shall submit a hydrology study for City approval.

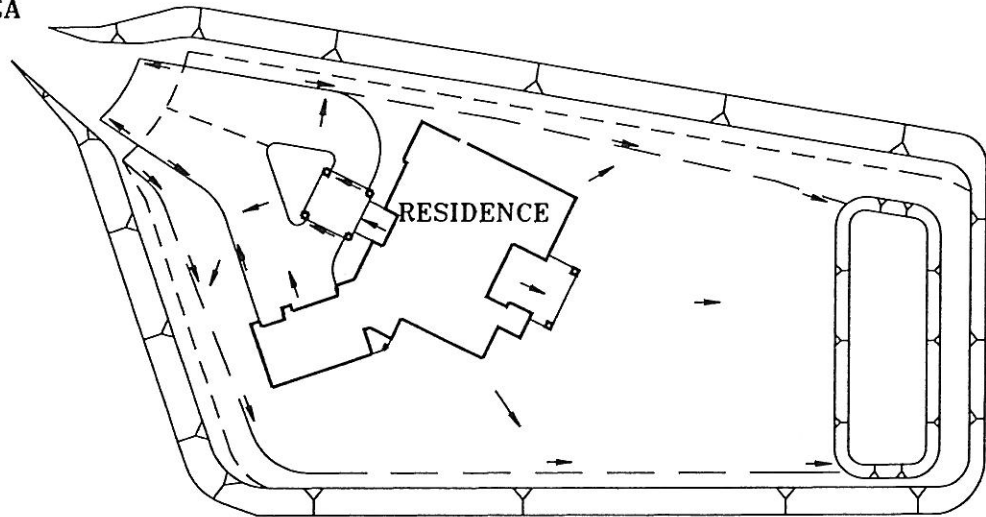
Excavation and Grading: All excavation and grading shall be performed in accordance with the regulations of the City of Indio.

Public Transit: The developer shall consult with the public transit company and the City of Indio during the Tentative Map process and incorporate into their plans any required transit traffic pull outs, transit shelters and signage which may be required to encourage the efficient running of a public transit system to serve the Gateway area.



LEGEND

 DRAINAGE AREA

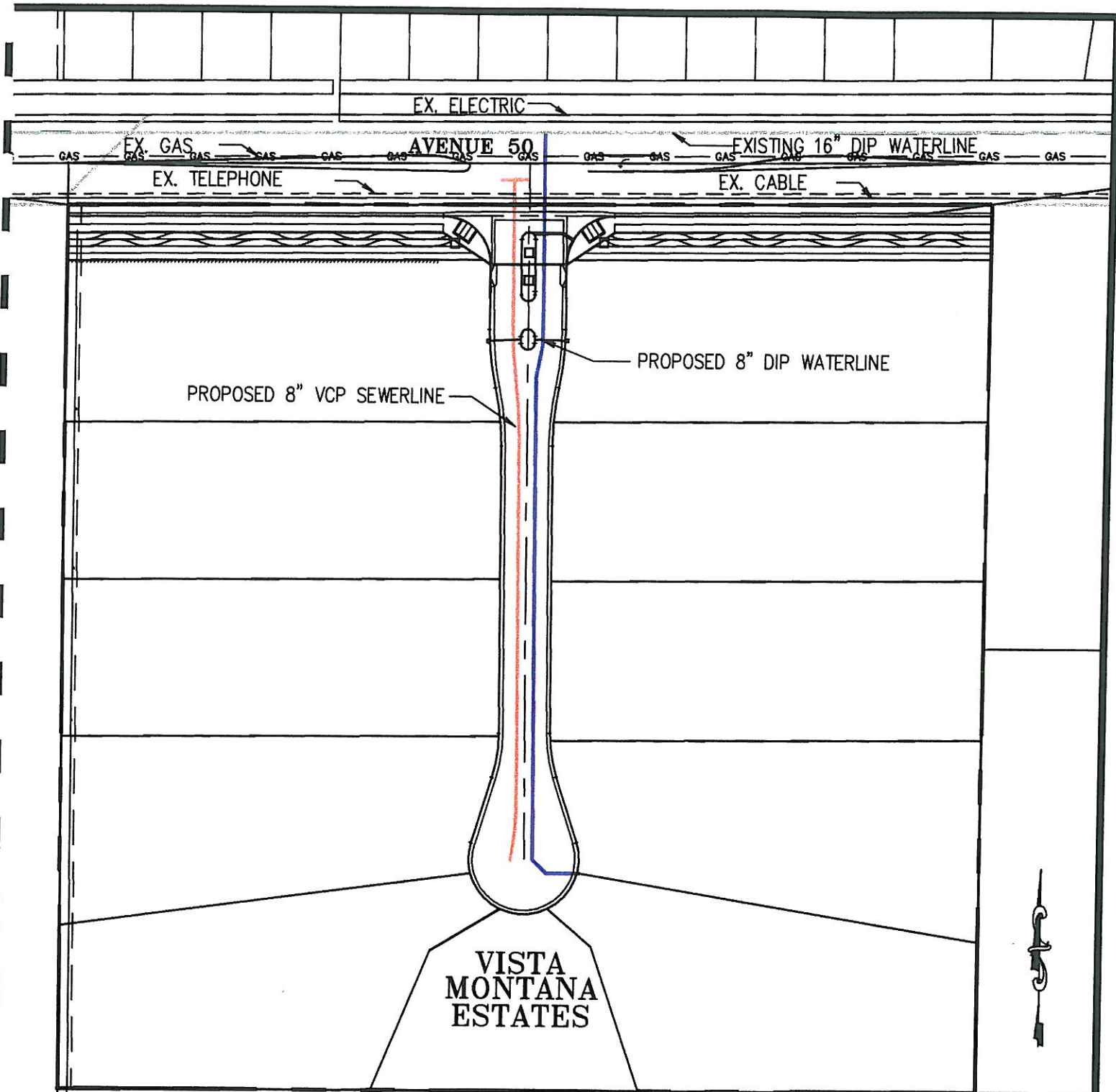


WATSON & WATSON, INC.
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DRAINAGE CONCEPT PLAN

**VISTA MONTANA ESTATES
 MASTER PLAN**

REV.	SIZE	FILE NO.	DWG NO.	REV
		9812.00	EXHIBIT 13	
SCALE 1" = 200'		INDIO PARTNERS	SHEET	26 OF 29



LEGEND

- PROPOSED 8" DIP WATERLINE
- PROPOSED 8" VCP SEWERLINE



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UTILITIES PLAN

**VISTA MONTANA ESTATES
 MASTER PLAN**

REV.

SIZE

FILE NO.

9812.00

DWG NO.

EXHIBIT 14

REV

GENERAL PROVISIONS

A. BIOLOGICAL AND CULTURAL RESOURCES

There will be no loss of any existing biological resource, whether plant or animal. Because the project site has not been used for any purpose in the past, there has been a Paleontological Study & Survey performed by the local San Bernardino Museum Paleontological team (see attached.)

B. GEOLOGICAL/SEISMIC CONDITIONS

Because of the location of the San Andreas Fault lines along the Indio Hills north of the Conceptual Specific Plan area, Vista Montaña Estates may be expected to experience some ground motion in the event of an earthquake. The planning and design of the residences must consider potential ground shaking and shall meet all current seismic engineering for ground shaking 'Zone 4' standards.

C. HAZARDOUS MATERIALS

No hazardous materials are known to exist on the site. In addition, no hazardous materials are proposed for the site. A Phase I Site Assessment has been performed (see attached.)

D. NOISE ABATEMENT

Noise will be mitigated per the City standards as outlined in the General Plan 2020 and Ordinance No. 1269. This will be accomplished by the minimum setback fulfillment from Avenue 50. The extent of any measured noise shall not exceed 60 dBA.

E. SITE LIGHTING

Site lighting should be consistent with the scale and character of the project area. Adjoining residential areas shall be protected from glare from the lighting fixtures. Lighting shall be designed to provide safety to the Vista Montaña Estates residents.

Giving careful consideration to minimize night sky illumination, adequate landscape lighting shall be used for the gated entrance and landscaped area along Avenue 50. For detailed standards please refer to page 13 item #19.

F. PHASING PLAN

Vista Montaña Estates will be developed as a single-phase project for all the off-site and on-site improvements. The homes will be constructed as each individual lot owner/builder is ready.

G. PROJECT SIGNAGE

Monument signs identifying the name of the development shall be the responsibility of the developer. These signs shall be located within the landscaped areas at the gated entrance located on Avenue 50. Sign illumination shall not interfere or distract from the adjacent properties and street traffic, and light sources shall be directed in a manner to prevent glare from being seen by passing vehicular traffic. Any ground contouring shall be limited to two feet in height above the surrounding finish grade. The Indio Planning Commission shall approve the monument sign design. No sign of a commercial nature shall be allowed in the Project, except for one "For rent" or one "For Sale" sign per Lot located on the front side of the Lot, of no more than five (5) square feet. No institution or other place for the care or treatment of the sick or disabled, physically or mentally, except as provided by applicable federal or state law, shall be placed or permitted to remain on any of the Lots.

H. ENVIRONMENTAL IMPACT CONSIDERATIONS

Per section 15168 of the California Environmental Quality Act (CEQA) Guidelines, the environmental impact associated with the proposed project has been analyzed in the program environmental impact report for the General Plan 2020. An environmental impact assessment will be required for the approval of the Tentative Tract Map.

I. CONSISTENCY WITH THE GENERAL PLAN

Tentative Tract Map 30606 is consistent with the density and minimum lot size requirements for the Residential Low (RL) density land use designated as specified by the General Plan 2020.

J. CONSISTENCY WITH THE ZONING

Tentative Tract Map 30606 is consistent with the lot size requirement for the Residential Low (RL) density land use designation of the Zoning Ordinance.

K. CONSISTENCY WITH SPECIFIC PLAN

Tentative Tract Map 30606 is consistent with the General Plan RPD-7 Overlay and the Indio Ranchos • Polo Estates and part of the Conceptual Specific Plan.