

"AVANTE"

PROJECT MASTER PLAN

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AVANTE PROJECT MASTER PLAN

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1.0 INTRODUCTION AND SUMMARY

The Avante Project Master Plan (PMP) serves as the design, development and land use standard for the proposed 54.5 acre Avante project located within the City of Indio, Riverside County, California. The PMP shall be adopted by Ordinance of the City of Indio as the Zoning and Development plan for the construction and operation of the project.

The project site is designated as Assessors Parcel Numbers 679-190-002, 003 and is generally located in the north central portion of the City of Indio, adjacent to the Interstate 10 Freeway (See Exhibits 2-1 and 2-2). The project site is bounded by Varner Road (Avenue 42) on the south and west, by the Pulte Homes Shadow Hills residential development on the north, and by the Shadow Hills project and future Burr Street on the east. The proposed development will occur on land currently under cultivation as a commercial sod farm with an on-site office (See Exhibit 2-3). The site is characterized by relatively flat, uniform topography with a slightly elevated area at the northeast corner containing a residence housing the office.

The Avante project is subject to the City of Indio General Plan-2020 which was initially adopted in October 1993. The General Plan set forth a formal vision for the future growth of the City, including the area north of the Interstate 10 Freeway, which was largely undeveloped at the time. This area was designated as the Shadow Hills Planning Sub-area, and contains the proposed project. The project is located within the I-10 Corridor portion of the Shadow Hills Sub-Area that anticipated development with commercial, office and residential land uses.

The project has a General Plan land use designation of MU(SP-200), Mixed Use Specific Plan, Area 200. This designation allows commercial and office uses as well as medium density residential development up to 8 units per acre and high density development up to 20 units per acre. Detached single family housing products are allowed by right. The SP overlay indicates that a Specific Plan may be required, however, since the adopted Gateway Specific Plan (discussed below) addresses the entire SP-200 overlay, this requirement has been accomplished for the subject site.

The Gateway Conceptual Specific Plan (GCSP), adopted with addendums on April 5, 1995 was prepared as a further refinement of the Shadow Hills Planning Sub-area. The GCSP designates the project site as MU2 (Mixed Use 2), which would allow between 339 and 1,016 residential units. Alternatively, the GCSP would allow 872,071 square feet of business park (office/light industrial) and 108,900 square feet of commercial on the site. Any combination of these uses would also be allowed.

The Avante project proposes a combination of single family residential (6,000 s.f. lot minimum), commercial and office uses. The GCSP requires that a Project Master Plan (PMP) be prepared for areas designated as Mixed Use or Planned Development Residential Village. The Avante Project Master Plan constitutes compliance with this requirement.

The Avante PMP provides an overall development concept for the project site as shown in Exhibit 3-1, Comprehensive Land Use Plan. The mixed use concept provides for the development of 159 single family detached residential dwelling units on 41.3 acres at an overall density of approximately 3.9 units per acre and 13.2 acres of land zoned for commercial and office development. Recreational elements include a central paseo that serves as a pedestrian amenity within the residential component with connectivity to the commercial/office area to the south. Vehicular access to the site is provided from Varner Road (Avenue 42) and Burr Street to both residential and commercial/office land uses.

Approval of the Avante PMP by the Indio City Council will establish development regulations, policies and standards to implement the Land Use Plan. Tentative Map 33239 and a Specific Plan Amendment to remove/redesignate portions of Burr Street accompany the PMP as concurrent entitlement actions.

This PMP is regulatory, adopted by ordinance, and upon adoption will continue to provide consistency with the City of Indio General Plan.

This PMP contains development controls to provide the City of Indio with assurances that the project will develop as planned. The PMP is intended to provide a degree of flexibility to allow future development to respond to refinements in economic conditions and the marketplace which may occur over the build out period of the project. The PMP establishes the design and development policies applicable to development within the master plan area. The design standards address project planning, landscaping, signage, lighting and development character.

2.0 PROJECT SETTING, AUTHORITY AND CONSISTENCY

2.1 ENVIRONMENTAL SETTING

The project site is located at the northwest corner of Varner Road (Avenue 42) and Burr Street (See Exhibits 2-1 and 2-2). The project is bounded by the Varner Road on the south and west, and the Pulte Homes Shadow Hills project on the north and east. The site generally drains from northwest to southeast towards the Salton Sea. Information regarding soil type, groundwater levels, earthquake faults in the region and other pertinent environmental conditions are evaluated in the project's Environmental Assessment.

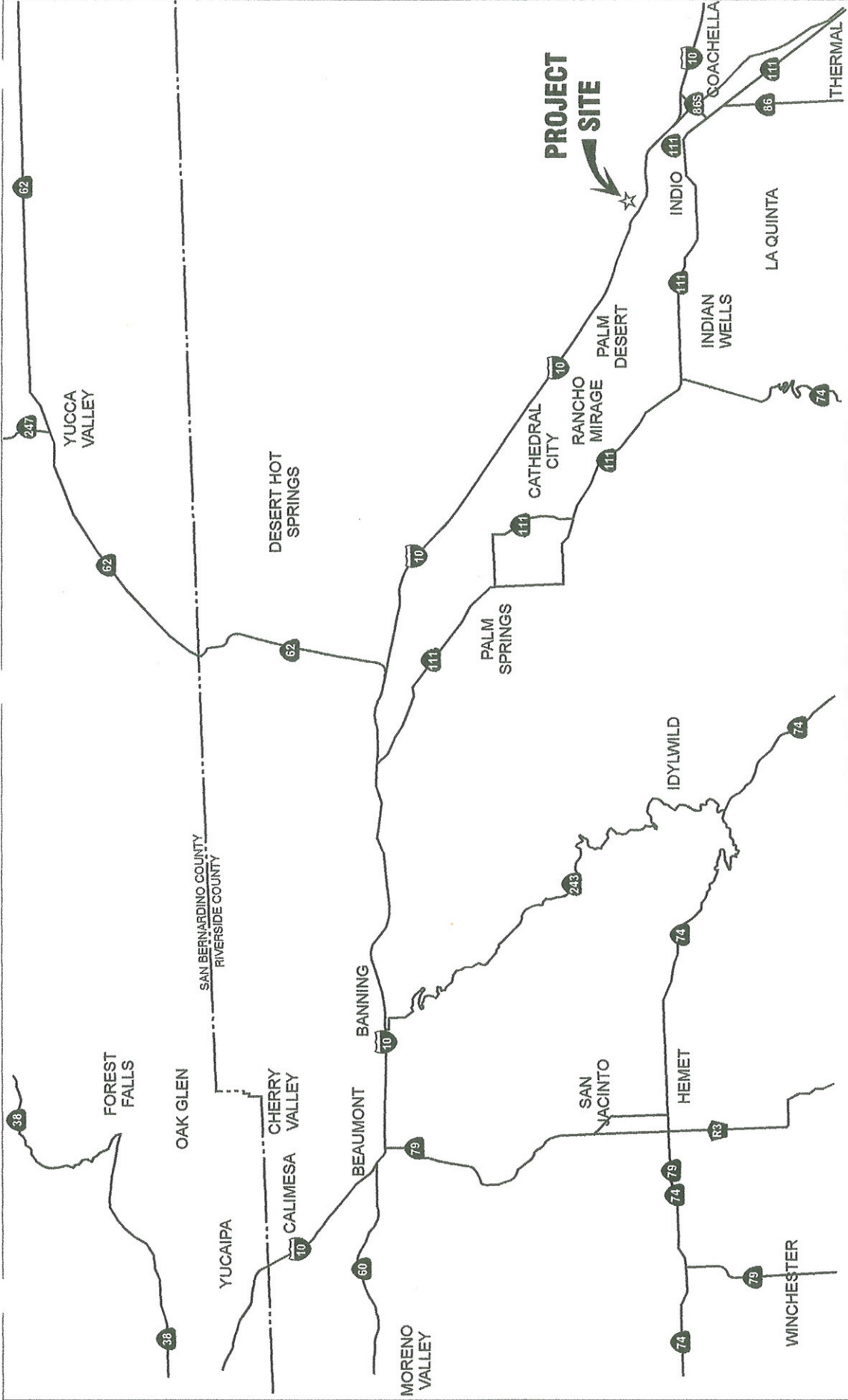
Environmental studies that have been prepared for the project include:

- *Biological Report* – James W. Cornett Ecological Consultants, November 9, 2004.
- *Historical/Archaeological Report* – CRM TECH, November 22, 2004.
- *Paleontological Report* – CRM TECH, November 22, 2004.
- *Phase 1 Environmental Site Assessment* – Dudek & Associates, 2004.
- *Phase 2 Environmental Site Assessment* – Dudek & Associates, January 2005.
- *Geotechnical Report* – Earth Systems Southwest, November 19, 2004.
- *Traffic Analysis* – Kunzman Associates, December 24, 2004
- *Air Quality Analysis* – Giroux & Associates, February 4, 2005
- *Noise Analysis* – Giroux & Associates, February 16, 2005

2.2 PROJECT OBJECTIVES

The PMP contains all components required by State law, as well as other components, design concepts, guidelines, and standards required by the City to implement the General Plan. The objectives of this PMP are to:

- Develop a comprehensive land use plan that identifies the location, arrangement and intensity of land uses, streets and recreational components appropriate for development of the property.
- Establish design guidelines, development regulations, use standards and procedures to control future project improvements and provide appropriate architectural themes for the project.
- Develop a mixed use project that includes commercial/office, single family residential (min. 6,000 square foot lot) and recreational components.

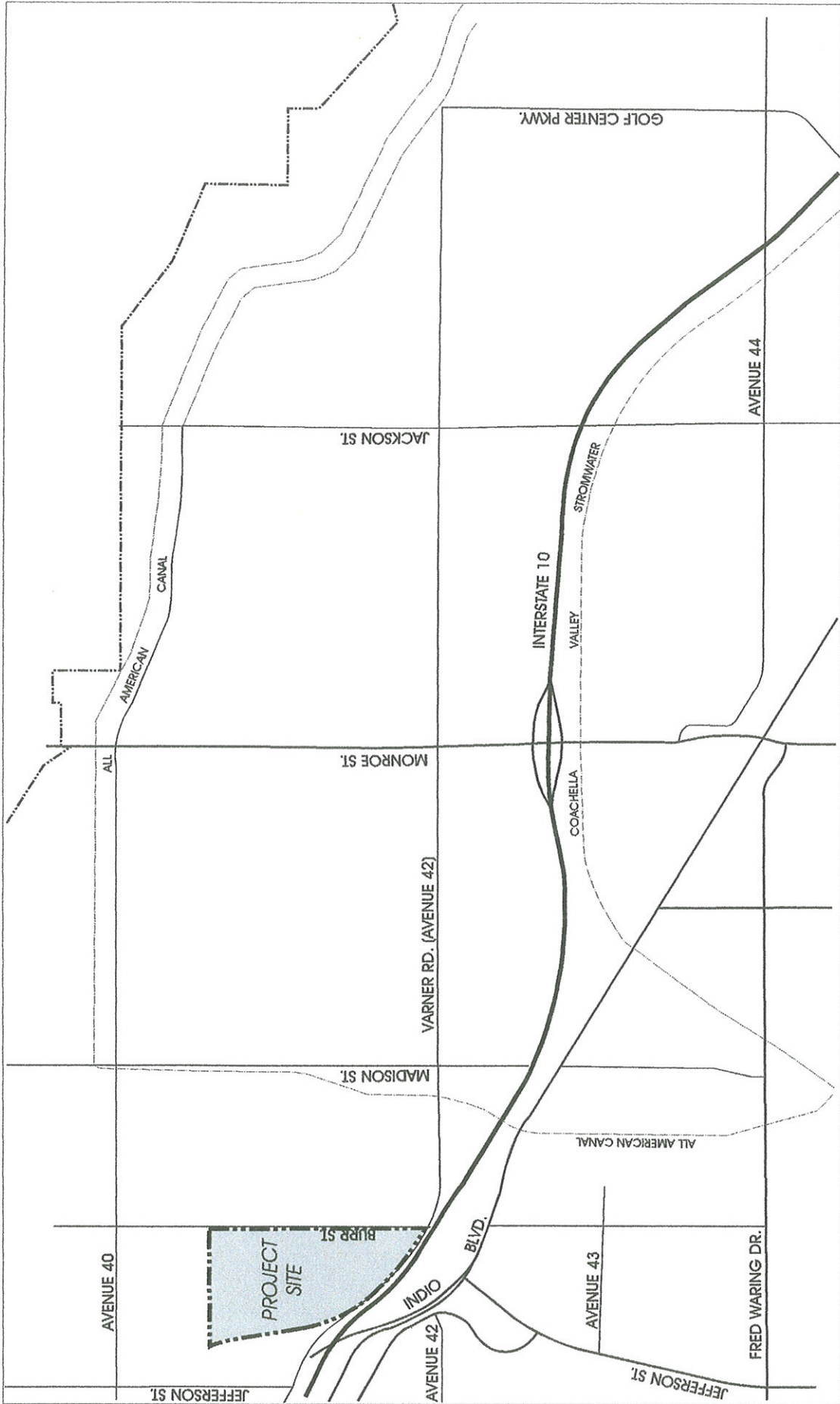


NOT TO SCALE

Regional Map
 "AVANTE" (TTM 33239) PROJECT MASTER PLAN



EXHIBIT 2-1



Vicinity Map

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE



EXHIBIT 2-2

- Develop a mixed use project that promotes the public health, safety and welfare.
- Develop a project that complies with the Land Use Compatibility Plan for the Bermuda Dunes Airport.
- Provide water, sewer, and drainage systems to adequately service the project.
- Provide a safe and efficient circulation system.
- Encourage pedestrian transportation within the project by including linear linkages and connections between residential and commercial/office land uses.

2.3 AUTHORITY AND REQUIREMENTS

2.3.1 Authority for Project Master Plans

The authority to prepare, adopt and implement Project Master Plans is granted to the City of Indio by the California Government Code (Title 7, Division I, Chapter 3, Article 8, Sections 65450 through 65457). As with General Plans, the Planning Commission must hold a public hearing before it can recommend adoption of a Project Master Plan. The City Council shall adopt a Project Master Plan by ordinance.

2.3.2 Requirements for Project Master Plans

The Avante Project Master Plan (PMP) is located within the Gateway Conceptual Specific Plan (CSP). The City of Indio General Plan requires projects proposed within a CSP to prepare a PMP illustrating the site specific implementation of CSP requirements.

In particular, General Plan policy LU-2.2 states that:

The purpose of the PMP is to provide the City with a more detailed overview of the proposed project and to demonstrate that the requirements and guidelines within the CSP are incorporated into the design of each project. In addition to the typically required submittals, (i.e. tract map, plot plan and so forth), the PMP will contain a section for each of the CSP's required plans. These sections will provide maps, graphics, and text that demonstrate each project's approach to meeting the requirements and guidelines within the CSP. . .

California Government Code Section 65451 also sets forth requirements for Project Master Plans as follows:

Project Master Plan shall include a text and/or a diagram or diagrams which specify all of the following in detail:

1) The distribution, location and extent of the uses of land, including open space, within the area covered by the plan;

2) The proposed distribution, location and extent and intensity of major components of public and private transportation and other essential facilities proposed to be located

within the area covered by the plan and needed to support the land uses described in the plan;

3) Standards and criteria by which improvements will proceed, and standards for the conservation, development and utilization of natural resources, where applicable, and

4) A statement of the relationship of the Project Master Plan to the General Plan.

2.3.3 Purpose of Project Master Plans

The PMP is a regulatory document that will establish the zoning, density/intensity, minimum lot size, setbacks, building heights, and land uses as well as design guidelines for architectural themes, common area landscaping, and community walls for the property. Proposed development plans or agreements, tentative tract or parcel maps, and any other development approval must be in substantial conformance with the PMP. Projects which are found consistent with the PMP will be deemed consistent with the City's General Plan.

2.4 CONSISTENCY WITH THE INDIO GENERAL PLAN

Development proposed by the Avante PMP must be consistent with the land uses and densities/intensities shown in the Indio General Plan. The General Plan land use designation for the subject property is MU(SP-200), Mixed Use Specific Plan, Area 200. This designation allows commercial and office uses as well as medium density residential development up to 8 units per acre and high density development up to 20 units per acre. Detached single family housing products are allowed by right. The SP overlay indicates that a Specific Plan may be required, however, since the adopted Gateway Specific Plan (discussed below) addresses the entire SP-200 overlay, this requirement has been accomplished for the subject site.

The project proposes a mixed use residential and commercial/office project in conformance with the MU designation. The inclusion of mixed use residential, commercial and office land use components is consistent with the City's vision for individual projects in the area.

General Plan density/intensity is calculated based on a modified gross acreage that excludes perimeter streets, dedicated flood control facilities and other similar features. The Avante project has a modified gross acreage of 54.5 acres. Of this, approximately 41.3 acres relates to residential land uses (43.0 gross acres - 1.7 acres of perimeter roads) while 13.2 acres relates to commercial/office land uses (14.7 gross acres - 1.5 acres of perimeter roads).

The density ceilings allowed for the residential portion of the Avante project are listed as 6-8 units per acre (Policy LU-1.7) and 10-20 units per acre (Policy LU-1.8) for areas not located in a RPD overlay. The project proposes a density of approximately 3.9 units per modified gross acre (159 units / 41.2 modified gross acre) well below the maximum densities allowed in the MU land use designation. Therefore, the residential portion of the project is consistent with the General Plan.

The intensity allowed for the commercial/office portion of the Avante project is listed as 30 percent coverage for Neighborhood, Community and Regional Commercial uses (Policies LU-

3.1, LU-3.2 and LU-3.3) and 40 percent for Commercial Office uses (Policy LU-3.5). The project proposes development standards that comply with the 30 and 40 percent coverage requirements for commercial and office uses in conformance with the maximum intensities allowed in the MU land use designation. Therefore, the commercial/office portion of the project is consistent with the General Plan.

2.5 CONSISTENCY WITH THE GATEWAY CONCEPTUAL SPECIFIC PLAN

The Avante PMP is located within the Gateway Conceptual Specific Plan (GCSP), which was adopted with addendums on April 5, 1995. The GCSP designates the project site as Mixed Use 2, which would allow between 339 and 1,016 residential units at medium and high densities. Alternatively, the GCSP would allow 872,071 square feet of business park (office/light industrial) and 108,900 square feet of commercial on the site. Any combination of these uses would also be allowed. By comparison, the Avante project proposes a mixed use project containing single family residential, commercial and office uses. This would include 159 single family residential lots with a minimum area of 6,000 square feet on 41.3 acres and 13.2 acres zoned for commercial/office uses.

The MU designation allows residential product types ranging from single family detached on lots of 3,500-6,000 square feet, Townhomes, Garden Apartments and Condominiums at densities estimated between 5.0 to 20.0 dwelling units per acre (du/ac). Avante includes single family detached homes on 6,000 square foot lots, which is consistent with the product types allowed in the GCSP.

The MU zone also requires that 20% of residential project sites and 15% of commercial/office project sites be retained in common open space. The GCSP definition of common open space is very broad and includes walkways, landscaping, plazas, patios, retention areas and other similar feature. Using the GCSP formula, 8.2 acres of common open space would be required for the residential portion of Avante while 2.5 acres would be required for the commercial office portion. Since Avante provides 8.2 acres of residential common area and contains development standards requiring that 15% common open space be provided in any future implementing commercial/office project, Avante complies with the GCSP MU common open space standards.

Because Burr Street was permanently vacated by the Sun City Shadow Hills project north of the project and is blocked by the Interstate 10 Freeway to the south, it can no longer be extended as a through street to the north or south as planned by the GCSP. Consequently, a Specific Plan Amendment (SPA) accompanies the project and addresses the remaining alignment of Burr Street along Avante's eastern boundary. The SPA would redesignate Burr Street from a Boulevard (100' ROW) to a Collector (88' ROW) adjacent to the commercial portion of the project and delete it entirely adjacent to the residential portion. Approval of this SPA will update the GCSP Circulation Element for consistency with current conditions related to Burr Street.

2.6 CONSISTENCY WITH THE RIVERSIDE COUNTY AIRPORT LAND USE COMPATIBILITY PLAN

The Avante PMP is located within the influence area for the Bermuda Dunes Airport and various airport compatibility zones overlay the property. These zones and the land use restrictions associated with them are outlined in the 2004 Riverside County Airport Land Use Compatibility Plan (RCALUCP). The RCALUCP is structured around four primary compatibility concepts: Noise, Overflight, Safety and Airspace Protection. Compatibility with the RCALUCP is described as follows.

- **Land Use Location** - Four compatibility zones affect the Avante property: the B-1, B-2, C and D zones. In regard to the Avante project, the D zone allows residential uses at urban densities. The B-1, B-2 and C zones allow commercial and office uses with site design and occupancy restrictions as appropriate.

Compatibility Analysis: The Avante project allocates land uses in accordance with the basic locational parameters stated above, showing residential uses within Zone D, retention/recreation facilities in Zone B-2 and office/commercial uses in Zones B-1 and C. Thus, the Avante project complies with RCALUCP land use location policies.

- **Land Use Density/Intensity** - The RCALUCP maximum residential density for Zone D requires an average lot size of more than 5 acres or less than 0.2 acres (8,712 square feet). It requires an average non-residential intensity of 25 persons per gross acre for Zone B-1, 100 persons per acre for Zone B-2 and 75 persons per acre for Zone C.

Compatibility Analysis: The residential component of the Avante project situates all residential lots within Zone D and complies with the average residential lot size/density requirement by proposing an average residential lot size of 8,167 square feet or less (ref. TTM 33239), which is under the 8,712 square feet (0.2 acres) maximum required.

Non-residential uses (including commercial/office and recreation/retention areas) proposed by Avante include 9.5 gross acres¹ of Zone B-1, 2.1 gross acres of Zone B-2 and 7.4 gross acres of Zone C, resulting in an allowable average of 1,010 persons on site for all zones. PMP Section 5.2.2, Commercial/Office Site Planning Guidelines, provide standards for commercial office projects which are consistent with the ALUC nonresidential intensity requirements. Guideline 7 under this section, along with Table 4-8, base maximum nonresidential building square footage on a total of 1,010 persons per acre using RCALUCP methodologies. Guideline 1 includes site planning guidelines that would place buildings in Zone C (the less restrictive zone) and parking in Zone B-1 (the more restrictive zone), consistent with ALUC guidelines. Therefore, the Avante PMP is consistent with ALUC nonresidential intensities.

¹ The RCALUCP defines gross acreage to include adjacent rights-of-way. This differs from the modified gross acreage used as a basis for calculations under the Indio General Plan.

- **Noise** - The intent of noise compatibility policies is to avoid establishment of noise sensitive land uses in the portions of airport environs that are exposed to significant levels of aircraft noise. Techniques to accomplish this include consideration of airport CNEL noise contours and building design to comply with indoor noise standards.

Compatibility Analysis: The RCALUCP indicates that the maximum CNEL considered normally acceptable for single family residential and retail commercial/office projects is 60 decibels. The Avante project lies outside the 60 decibel CNEL contour. Residential and commercial/office construction will also include air conditioning and double paned windows in compliance with building design techniques to achieve necessary interior noise levels. Thus, the Avante project complies with RCALUCP noise compatibility policies.

- **Overflight** - The intent of overflight compatibility policies is to help notify people about the presence of overflights near airports so that they can make more informed decisions regarding acquisition or lease of property in the affected areas. Overflight compatibility is particularly important with regard to residential land uses. Techniques to accomplish this include real estate transfer disclosures, aviation easements or deed notices.

Compatibility Analysis: The RCALUCP indicates that residential properties within the airport influence area should include a real estate transfer disclosure about proximity to the airport. Further, it requires that properties in the A, B-1 and B-2 zones record a deed notice to the same effect. The Avante PMP contains provisions for providing the required real estate transfer disclosure for residential land uses (B-1 and D zones) and deed notice on portions of the project within B-2 zone within the commercial/office land use. Thus, the Avante project complies with RCALUCP overflight compatibility policies.

- **Safety** - The intent of land use safety compatibility criteria is to minimize the risks associated with an off-airport aircraft accident or emergency landing both to people on the ground and in the aircraft. Techniques to accomplish this include restrictions on residential density/nonresidential intensity, building height, hazardous materials storage and critical community facilities in addition to site planning for a percentage of open land.

Compatibility Analysis: As noted under the Land Use Location analysis above, the Avante project allocates residential and commercial/office uses in compliance with basic RCALUCP compatibility zones. In addition, the Avante PMP contains site planning guidelines for the Commercial/Office area, situated within the B-1 and C zones, that would locate buildings primarily in the C zone with parking in the B-1 zone and incorporate open land (in the form of parking, landscape, sidewalk, and other non-structural features) into the final site design for implementing development projects. Further the PMP prohibits highly sensitive land uses (children's schools, day care centers, libraries, hospitals, nursing homes) in residential and commercial/office areas. In addition, Table 2A of the RCALUCP is incorporated by

reference in Appendix A of this document. Thus, the Avante project complies with RCALUCP safety compatibility policies.

- **Airspace Protection** - Tall structures, trees, and other objects, particularly when located near airports or on high terrain, may constitute hazards to aircraft in flight. The purpose of ALUC airspace protection policies is to ensure that hazardous obstructions to the navigable airspace do not occur. Techniques to accomplish this include height restrictions, aviation easements, and compliance with FAA notification requirements.

Compatibility Analysis: The RCALUCP indicates that building heights up to 35 feet in the B-1 and B-2 zone and up to 70 feet in the C and D zones are acceptable and do not require ALUC review. The Avante project locates residential uses in the D zone and limits building heights to 36 feet (two stories). The project locates commercial/office uses in the B-1 and C zones and limits building heights to 35 feet (two stories). Thus, the Avante project complies with RCALUCP airspace protection policies.

Approval of the Avante PMP by the Riverside County Airport Land Use Commission shall function as the approval of a Specific Plan in accordance with RCALUCP Section 1.5.2(b). Subsequent implementing projects that are in substantial compliance with this PMP may be approved by the City of Indio without subsequent ALUC review and approval.

2.7 RELATIONSHIP TO CALIFORNIA ENVIRONMENTAL QUALITY ACT

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, an Initial Study prepared for the Avante PMP concluded that the project will not result in significant environmental impacts and that the preparation of an Environmental Impact Report (EIR) is not required. Consequently, the City will prepare a Mitigated Negative Declaration containing an evaluation of potential environmental impacts associated with the project and appropriate mitigation measures for each potential impact. All mitigation measures identified in the Mitigated Negative Declaration shall be identified in a Mitigation Monitoring and Reporting Program (MMRP) to ensure that implementation occurs.

The Mitigated Negative Declaration for the PMP will apply to all subsequent implementing entitlements proposed within the Avante PMP. All future development projects for the project site will be reviewed with the PMP and the Mitigated Negative Declaration to determine whether additional environmental documentation must be prepared pursuant to Section 15162, 15168, and 15182 of the CEQA Guidelines.

3.0 DEVELOPMENT PLAN

3.1 PURPOSE

The purpose of this Project Master Plan (PMP) is to address the land use issues associated with the development of the project in sufficient detail to ensure that the subject site develops in a manner consistent with the intent of the General Plan; protects the public health, safety and general welfare; is compatible with zoning on adjacent properties and is suitable and appropriate for the subject property. The PMP assures a high quality, mixed use project through the application of development regulations and design guidelines. The intent of this PMP and its regulations is to provide development criteria necessary to guide the developer(s) and the City of Indio in the design of mixed use residential and commercial/office development. Descriptive text and exhibits provided herein set forth the basis for the overall master development of the project site. The components provided in this section are further defined for each land use district through the development regulations contained in Section 4.0, Development Standards.

The development plan derives from studies prepared by the applicants' civil engineer, traffic engineer, land planners, architect, landscape architect and other consultants and reviewed by City of Indio staff. As a result, the plan addresses development-related issues through proposed physical improvements, guidelines for future development, and implementation procedures and regulations.

3.2 CONCEPTUAL LAND USE PLAN

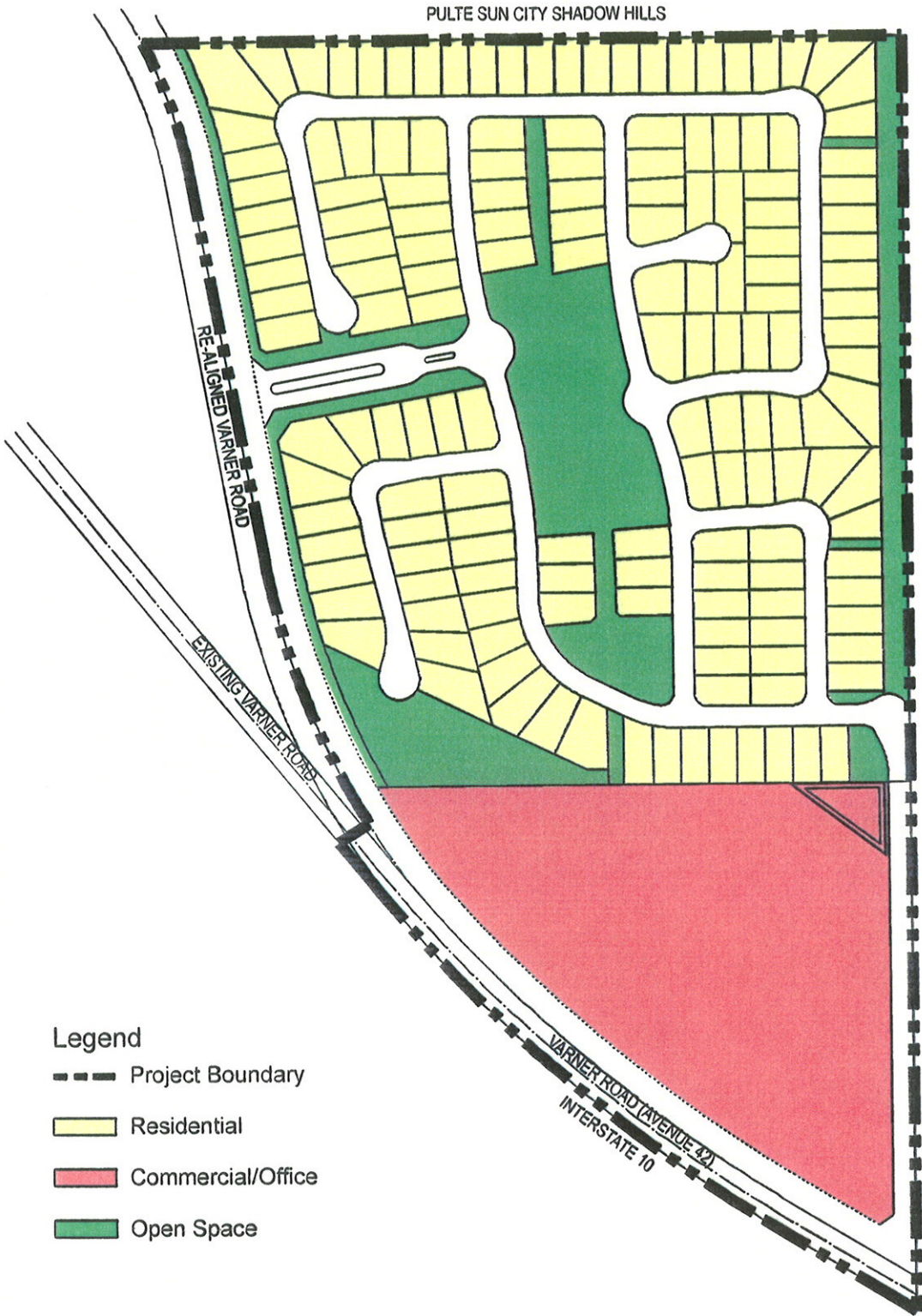
The Conceptual Land Use Plan is depicted in Exhibit 3-1 while Table 3-1 provides a summary of the land uses proposed within the project.

3.2.1 Land Use Districts

Three land use categories will be utilized within the Avante PMP, as indicated in Exhibit 3-1:

- Residential (R) – Residential uses consist of one and two story single family homes on minimum 6,000 square foot lots.
- Commercial/Office (C/O) – Retail commercial and office uses consist of one and two story commercial/office buildings, surface parking and landscape areas.
- Open Space/Recreation (OS/R) – Recreation and open space land uses consist of various open space areas including a community commons, informal play area, entry landscaping, parkways and walkways. A central paseo serves as a pedestrian amenity within the residential area with connectivity to the commercial/office complex to the south.

PULTE SUN CITY SHADOW HILLS



Legend

-  Project Boundary
-  Residential
-  Commercial/Office
-  Open Space

Conceptual Land Use Plan

"AVANTE" (TTM 33239) PROJECT MASTER PLAN



**TABLE 3-1
Conceptual Land Use Summary**

Land Use	Units	Area ¹ (Acres)	Area as % of Site
RESIDENTIAL LOTS			
• Residential	159	24.9	45.7%
RESIDENTIAL OPEN SPACE / RECREATION			
• Community Commons, Central Paseo	N/A	3.9	
• Retention Area	N/A	1.4	
• Powerline Open Space	N/A	1.5	
• Pedestrian Walkways	N/A	0.2	
• Parkway & Entry Landscape ²	N/A	1.5	
<i>TOTAL OPEN SPACE/RECREATION</i>	N/A	8.5 ²	15.6%
RESIDENTIAL STREETS			
• Interior Private Streets	N/A	7.9	14.5%
COMMERCIAL/OFFICE			
• Commercial/Office	N/A	11.9	
• Burr Street ROW	N/A	0.9	
• Parkway Landscape ²	N/A	0.4	
<i>TOTAL COMMERCIAL/OFFICE</i>		13.2 ²	24.2 %
TOTAL ADJUSTED GROSS ACREAGE		54.5³	100.0%
<p>1. Areas are approximate.</p> <p>2. Provides over 20% of residential acreage in common open space per the MU designation of the Gateway Conceptual Specific Plan. (41.3 acres x 20% = 8.2 acres)</p> <p>3. Modified Gross Acreage excludes approximately 3.2 acres of perimeter public ROW dedication for Varner Road.</p>			

3.2.2 Land Use Standards

In order to ensure the orderly development of the Avante PMP, land use regulations have been created for each land use district identified above. These specific standards are discussed in detail in Section 4.0, Development Standards. In addition to these, the following project-wide land use standards also apply:

1. The Avante PMP may be developed with a maximum of 159 residential dwelling units and approximately 13.2 acres of commercial/office uses in substantial conformance with the Conceptual Land Use Plan illustrated in Exhibit 3-1.
2. The Avante PMP shall provide approximately 20% common open space for a maximum of 8.2 acres. The community commons, central paseo, retention area, entry landscape area, powerline open space, pedestrian walkways, 20' wide Varner road landscape parkway and similar features shall contribute toward this requirement.
3. Subsequent development of residential structures, community walls, entry monuments, common area landscaping and parkway landscaping within the PMP and on perimeter public streets shall be subject to design review or administrative design review as specified in Section 6.0 of this PMP and in accordance with the design and development guidelines provided in Section 5.0 of this PMP.
4. Minor deviations to development standards, street locations, retention basin locations, finished pad elevations and other project features/components as depicted in the Avante PMP may be approved by the Director of Community Development Services.
5. In accordance with City policy, no CUP is required for two story units since the PMP identifies that two story units will be built within the project and the project is separated from other properties by streets or rights-of-way exceeding 70 feet in width. In addition, the Avante PMP is being developed concurrently with the Pulte Homes Shadow Hills PMP that abuts it on the north and east. Since this project is being newly constructed, contains similar residential product types, and is elevated above the Avante project, a CUP is not required for two story units along this common boundary. Some two story units shall be sited to overlook the powerline open space & central paseo. Two story units shall be prohibited on lots abutting Varner Road.
6. Development of the property shall be in accordance with the mandatory requirements of all City ordinances, State laws, and shall conform substantially with the Avante PMP, and its subsequent amendments as filed in the City of Indio.
7. Residential and commercial/office lots within the project boundary shall conform to the development standards of the Avante PMP as discussed in Section 4.0. If any conflicts between the development requirements of the City Municipal Code and the PMP arise, the PMP shall govern.

8. Construction of the proposed project, including recordation of final subdivision maps, may be done in phases, provided that vehicular access, public facilities, and infrastructure are constructed to adequately service the residential dwelling units and commercial/office buildings in each development phase and further provided that such phase of development conforms substantially with the intent and purpose of the PMP. Conceptual phasing is shown in Exhibit 4-1.
9. The design and location of retention basins will be submitted for review and approval to the City Public Works Department prior to recordation of the final tract map. Recreation and retention facilities may be combined if designed to adequately handle nuisance water with retention depths and side slope ratios acceptable to the City Public Works Director. See also Section 3.5.2, 9 & 10.
10. All applicable development fees and charges shall be the responsibility of the developer/builder.

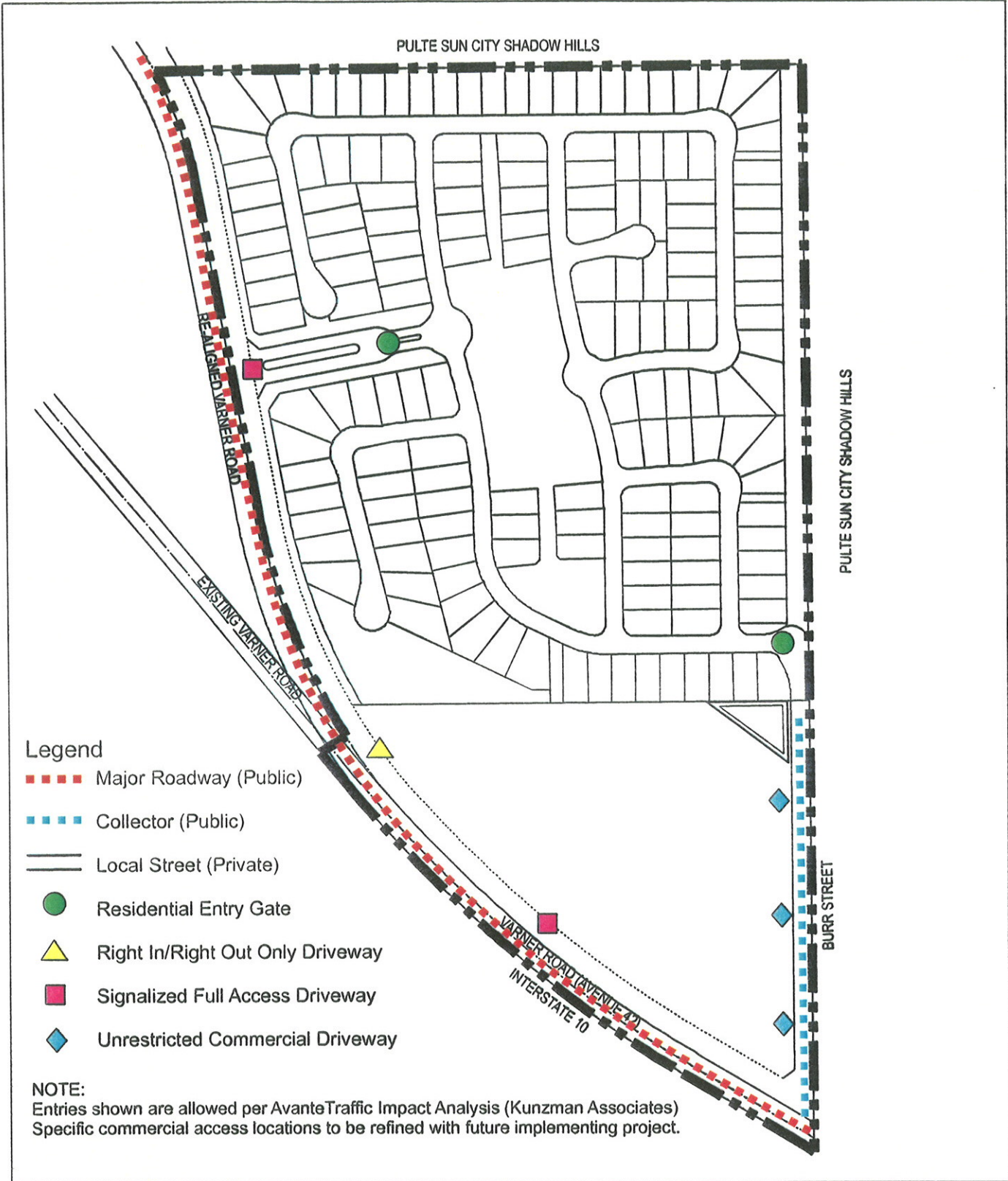
3.3 CONCEPTUAL CIRCULATION PLAN

3.3.1 Circulation Plan Description

The main objective of the Conceptual Circulation Plan is to provide direct and convenient vehicular access to residential neighborhoods through a safe and efficient roadway system. This will include half street improvements to perimeter public roads including Varner Road/Avenue 42 (Major roadway / 100' R.O.W.), Burr Street (Collector 88' ROW) along with construction of private streets including the primary project entry (60' R.O.W.) and local private streets (41' R.O.W.) interior to the project. The Conceptual Circulation Plan is illustrated in Exhibit 3-2 and Typical Street Sections are shown in Exhibit 3-3.

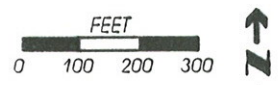
3.3.2 Circulation Plan Development Standards

1. The proposed Circulation Plan for the Avante PMP provides an efficient street pattern that meets the circulation needs of the project. The street hierarchy is shown on the Conceptual Circulation Plan (Exhibit 3-2).
2. The project shall provide two points of vehicular access to each residential lot.
3. Reduced traffic speeds will be encouraged by a combination of short residential streets, curvilinear residential streets and roundabouts as shown in Exhibit 3-2. Roundabouts are included at two locations as a traffic calming measure to break long lengths of linear streets.
4. The project shall comply with the recommendations outlined in the project traffic report as approved by the City.

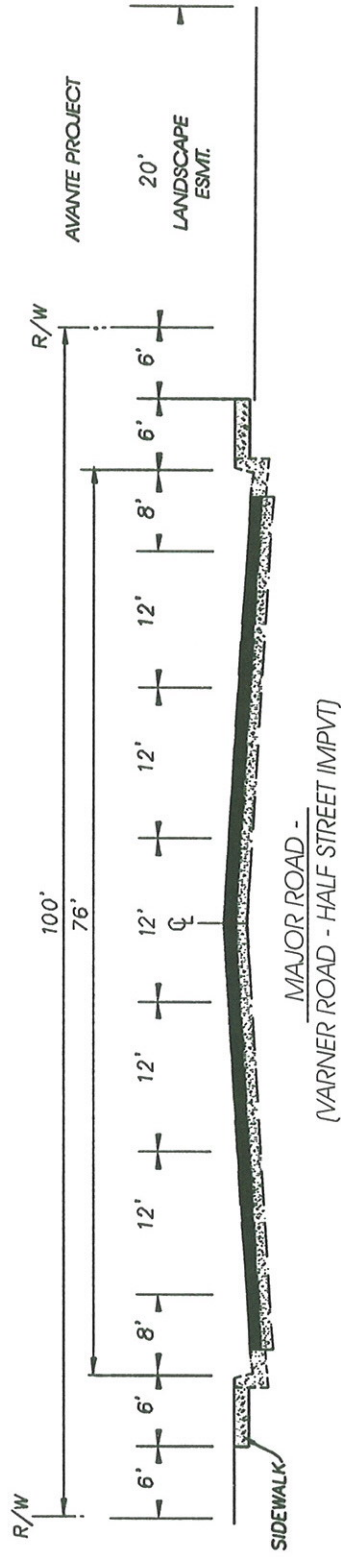
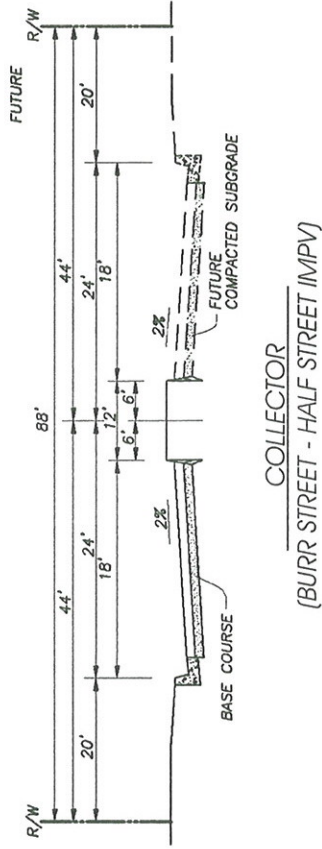
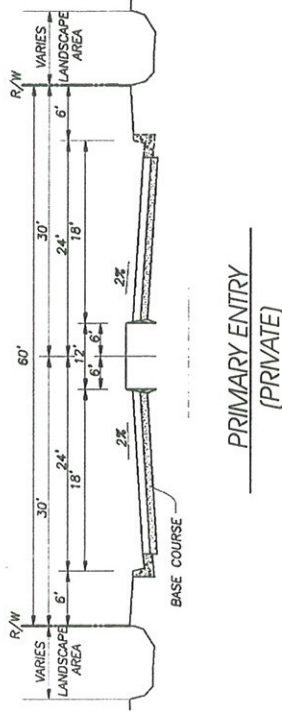
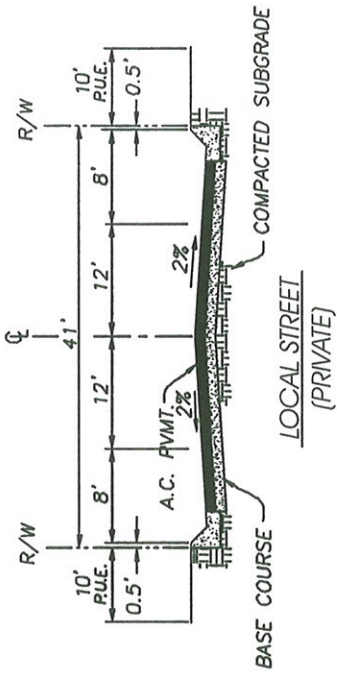


Conceptual Circulation Plan

"AVANTE" (TTM 33239) PROJECT MASTER PLAN



5. Roads will be constructed as follows:
 - Major Roads (100' R.O.W.) – Varner Road/Avenue 42 adjacent to the project boundary will be constructed as a public roadway to a half-width Major Road improvement standard as shown in Exhibit 3-3.
 - Collector Roads (88' R.O.W.) – Burr Street adjacent to the project boundary will be constructed as a public roadway to a half-width Collector Road improvement standard as shown in Exhibit 3-3.
 - Project Entry (60' R.O.W.) – The project entry road will be constructed as a private roadway to a full-width Project Entry improvement standard as shown in Exhibit 3-3.
 - Local Streets (41' R.O.W.) – Streets interior to the project that provide access to residential lots will be constructed as private roadways to a full-width Local Street improvement standard as shown in Exhibit 3-3. A 10 foot wide public utility easement will be dedicated on each side of the street.
6. Street landscaping will be consistent with the typical street sections shown in Exhibit 3-3. Detailed landscape plans will be submitted to the City for review and approval during design review as required by Section 6.0 of this PMP.
7. All required roads shall be designed in accordance with City of Indio standards or as modified by the standards contained in this PMP.
8. On-street parking shall be allowed on both sides of interior local streets and boulevards.
9. A 20-foot wide landscape area shall be provided within the project adjacent to the Varner Road/Avenue 42 right-of-way.
10. One residential and two commercial/office accesses shall be allowed onto Varner Road as shown on Exhibit 3-2. Additional accesses are allowed from Burr Street.
11. The developer shall contribute a fair share amount toward the installation of traffic signals at offsite intersections as required by the project traffic report.
12. Gated entries shall be equipped with a Knox rapid entry system or equivalent for use by fire and paramedic vehicles. Entry gates shall have a minimum unobstructed drivable width and minimum unobstructed vertical clearance in accordance with Fire Department standards. All gates shall be reviewed and approved by the City of Indio Fire Department.
13. Internally illuminated address signs shall be provided for all new buildings and positioned to be clearly visible from the street fronting the property. Internally



Typical Street Sections

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

↑
NOT TO SCALE

illuminated directories shall be provided at each primary entry gate if required during project approvals and reflected in final conditions of approval.

15. Emergency access roads shall be designed and maintained to support fire apparatus and shall be provided with an all-weather driving surface. Access routes shall have a minimum unobstructed drivable width and minimum unobstructed vertical clearance in accordance with Fire Department standards. All emergency access routes shall be reviewed and approved by the City of Indio Fire Department.

3.4 CONCEPTUAL WATER AND SEWER MASTER PLANS

3.4.1 Water Plan Description

The Avante PMP is located within the service area of the Coachella Valley Water District (CVWD) for domestic water service. The existing water system in the Pulte Shadow Hills project would be extended south on Varner Road for connection by the project. This will require the extension of an 18" waterline along Varner Road to the project. A conceptual water plan has been developed to serve the project as shown on Exhibit 3-4. The water plan includes a looped system of 8-inch water lines within the project's private street system connecting to the 18-inch Varner road waterline extension. No offsite water improvements beyond those noted above are required.

The water line in Varner Road would be extended to serve the commercial/office complex when development occurs.

3.4.2 Sewer Plan Description

The Avante PMP is located within the service area of the Coachella Valley Water District (CVWD) for sanitary sewer service. Existing sewer mains available for connection by the project include an 8-inch sewer main stubbed to the project boundary from the Pulte Shadow Hills project.

A conceptual sewer plan has been developed for the project as shown on Exhibit 3-5. The conceptual residential sewer system consists of 8-inch sewer lines located within the project's private street system. Wastewater collected at individual residential lots throughout the project will gravity flow to the southeast corner of the residential area where it will connect to an 8-inch sewer main available from the Pulte Shadow Hills project. Since sewer is at the project site, no offsite sewer improvements are required to serve the residential area.

Sewer would be extended from an existing connection point to the east on Varner Road/Avenue 42 to serve the Commercial/Office portion of the project. Since the development of the commercial/office complex is contingent on the future submittal of an implementing site plan, the length of offsite sewer line will be determined by surrounding development conditions at that time.

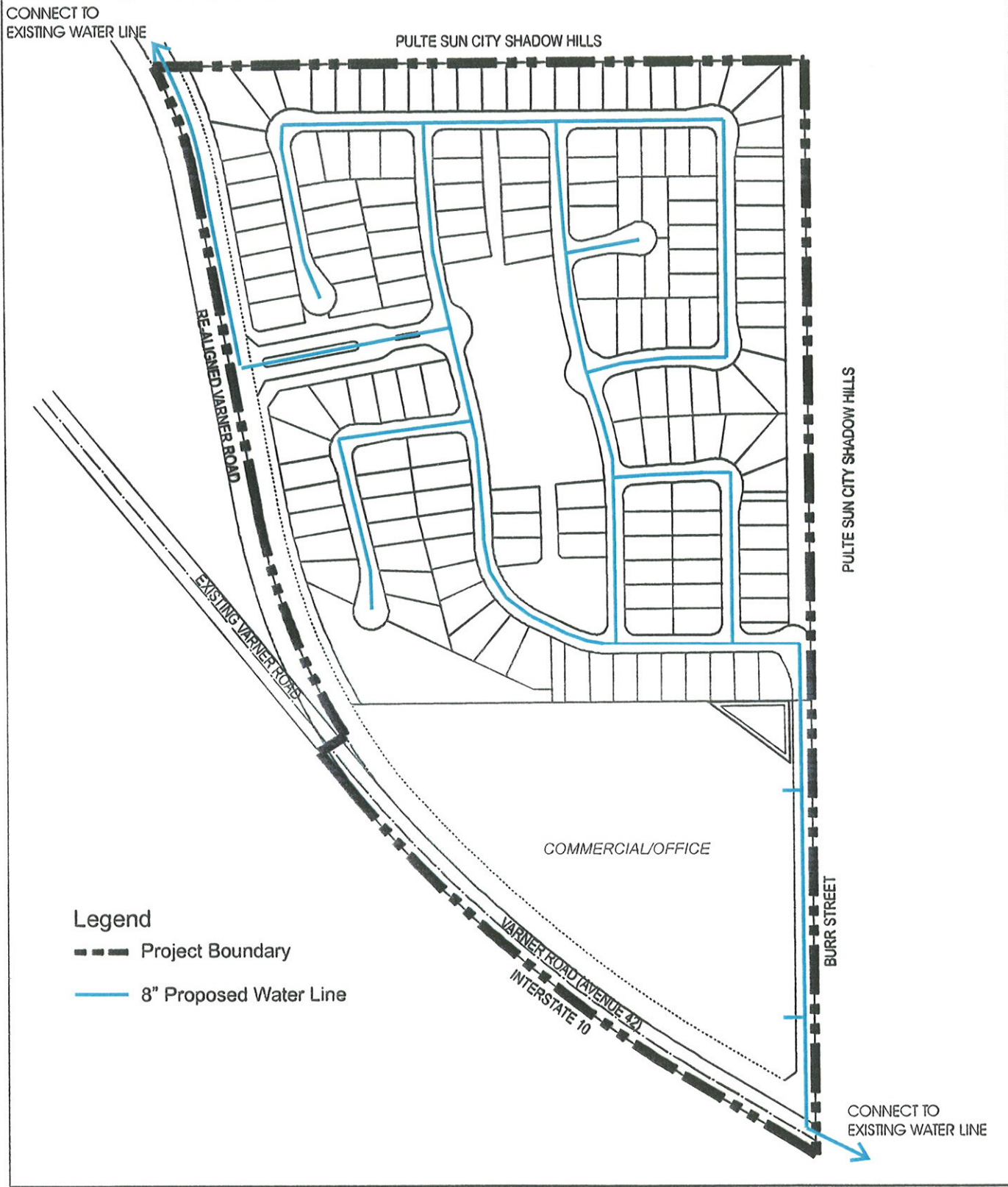
3.4.3 Water and Sewer Plan Development Standards

1. The proposed Sewer and Water Master Plans for the Avante PMP provide an efficient system of utilities to meet the needs of the project. The backbone sewer and water systems are shown on the Conceptual Water Plan (Exhibit 3-4) and the Conceptual Sewer Plan (Exhibit 3-5).
2. All water and sewer lines will be designed per CVWD requirements.
3. Water distribution and sewage collection facilities shall be installed in accordance with the requirements and specifications of the City of Indio and the Riverside County Health Department.
4. A water system adequate for fire fighting needs shall be available before any combustible material is stored on the construction site. The water system including delivery volume, duration and pressure shall be approved by the City of Indio Fire Department and the CVWD.
5. Approved fire hydrants are typically located at street intersections, with hydrant spacing and distance from residential lots per City of Indio Fire Department requirements. Fire hydrants are not required on streets that exclude residential driveways.
6. The water system shall provide domestic water service and minimum fire flow requirements to the project in compliance with City of Indio standards. The water system plan and hydraulic calculations shall be provided to the City Engineering Services Division and Fire Department for review and approval.

3.5 CONCEPTUAL GRADING MASTER PLAN

3.5.1 Grading Plan Description

The Conceptual Grading Plan for the Avante PMP is shown in Exhibit 3-6. The majority of the site contains the sod farm operation and is relatively flat with an onsite elevation difference of about seven feet from a high elevation at the northwestern property corner to a low elevation at the southeast property corner. One area of elevated terrain exists at the northeast corner of the site. This area contains the sod farm office and is situated about ten feet above the majority of the property. This area will be graded to match the balance of the site. The development approach involves grading the site to create flat building pads for development. The proposed grading will result in ground elevations, which are typically 3 to 6 feet above or below the existing grade. The building pad areas will be graded to allow positive drainage around the building to the street and then to retention basins at various locations in the project. Earthwork is estimated at approximately 113,500 cubic yards and is projected to balance on site without import or export. The Conceptual Grading Plan is designed to create building pads with positive drainage, streets within City minimum and maximum gradients and to comply with City and UBC standards for manufactured slopes.



Conceptual Water Plan
 "AVANTE" (TTM 33239) PROJECT MASTER PLAN





Legend

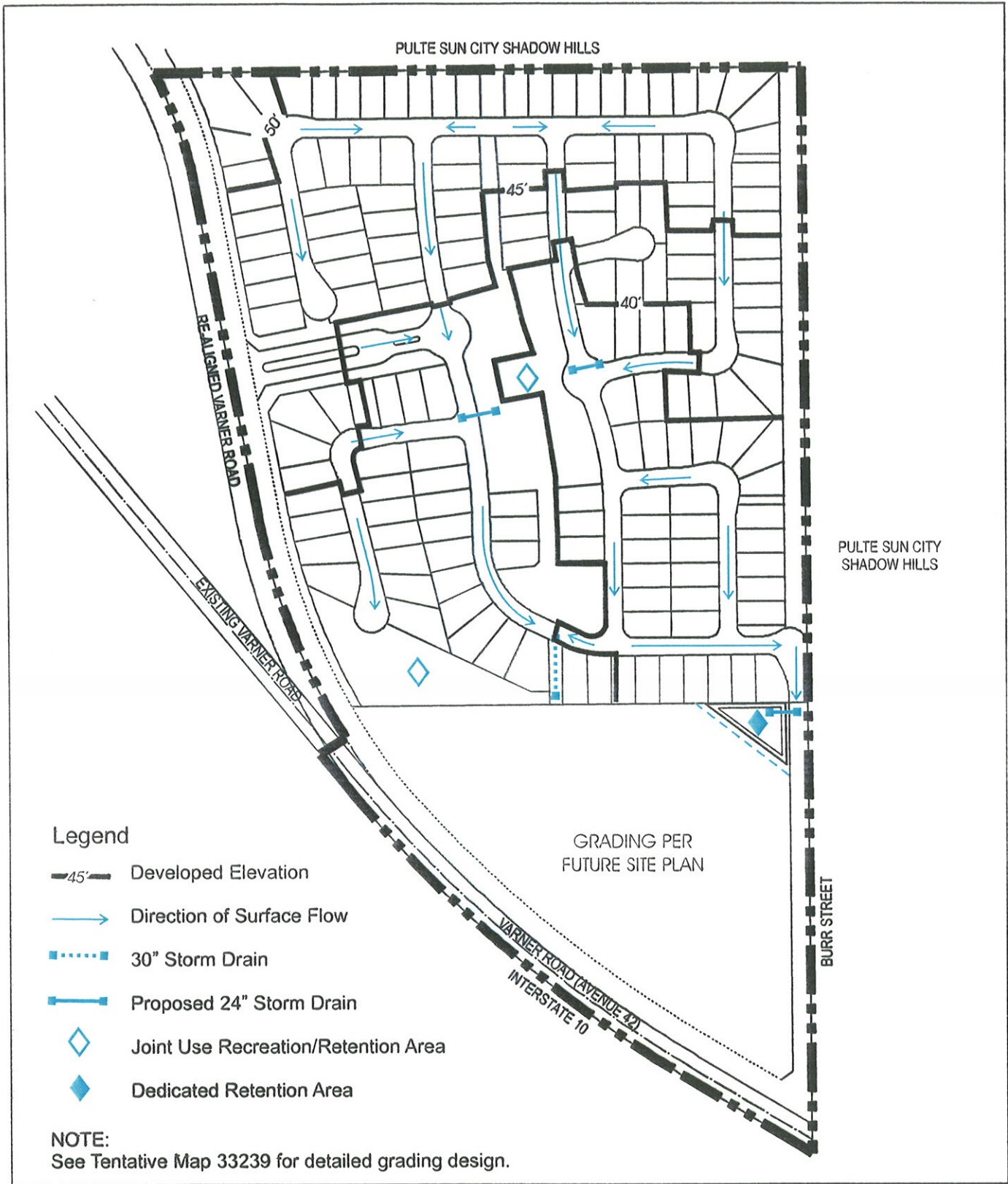
- 8" Proposed Residential Sewer Line
- 8" Existing Sewer Line
- Future Commercial Sewer Line

NOTE:: EXACT LOCATION & SIZE OF SEWER TO SERVE COMMERCIAL DEVELOPMENT WILL BE DETERMINED WITH FUTURE IMPLEMENTING DEVELOPMENT PROPOSAL.

POTENTIAL CONNECTION TO EXISTING SEWER

Conceptual Sewer Plan
 "AVANTE" (TTM 33239) PROJECT MASTER PLAN





3.5.2 Grading Plan Development Standards

1. Grading activity shall be in accordance with the grading and drainage standards of the City of Indio and the recommendations of the Geotechnical Report.
2. Building and grading plans shall be reviewed by a certified engineering geologist to ensure that recommendations of the geotechnical report have been properly incorporated into the design.
3. Observation and testing during site preparation, grading and placement of fill materials shall be performed by a certified engineering geologist as required by the CBC Sections 1701 and 3317.
4. Prior to the issuance of grading permits, the developer shall file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Stormwater Pollution Prevention Plan (SWPPP) describing proposed structural and non-structural Best Management Practices (BMPs) in accordance with the NPDES General Permit. Copies of the NOI, the Waste Discharger Identification Number and the SWPPP shall be provided to the City of Indio.
5. Prior to the issuance of grading permits, a Fugitive Dust PM-10 Plan shall be submitted to the City of Indio for review and approval.
6. Construction activities shall be limited to the hours allowed by the City's Noise Control Ordinance, Title IX, Chapter 95.C.08.
7. Prior to issuance of grading permits, the developer/builder shall hire a qualified paleontologist to develop a program to obtain a surface collection of freshwater mollusk remains prior to project commencement and to document buried paleontological resources that might be uncovered during grading operations. The program may include the use of a part-time paleontological monitor. The monitor shall be equipped to salvage fossils as they are unearthed to avoid construction delays and to remove samples of sediment which are likely to contain the remains of small fossils. The monitor shall have the authority to halt or divert grading equipment to allow for removal or documentation of abundant or large specimens.
8. If required, the applicant/developer shall pay a mitigation fee of \$600 per acre of existing vacant land to the City of Indio, as part of the habitat conservation plan for the purpose of preserving the Coachella Valley fringe-toed lizard.
9. Any joint use recreation/retention facilities shall be graded with a maximum of 4:1 side slopes and no more than two feet depth of retention. Freeboard is not required. Methods shall be employed for handle nuisance water (irrigation, street runoff, etc.) and avoid saturation of active recreation areas. Methods may include the use of underground chambers or Maxwell dry wells. Joint use recreation/retention facilities shall be developed in substantial conformance with the Avante PMP. Prior to issuance of grading permits, joint use recreation/retention facilities shall be reviewed and approved by the Director of Public Works and the Director of Community Development Services.

10. Any single use retention facilities shall be graded with a maximum of 2:1 side slopes and no more than five feet depth of retention. Methods shall be employed to handle nuisance water (irrigation, street runoff, etc.) and avoid surface ponding that may serve as a source of odors and cause vector breeding conditions. Prior to issuance of grading permits, single use retention facilities shall be reviewed and approved by the Director of Public Works.

4.0 DEVELOPMENT STANDARDS

4.1 PURPOSE

This chapter provides a description of the development standards for each of the land use districts planned within the Avante PMP. The development standards are intended to establish the regulatory framework for construction of residential homes, recreational amenities and commercial/office buildings. The project proposes 159 residential dwelling units on 41.3 modified gross acres and 13.2 modified gross acres of commercial/office uses. Typical residential products will be characterized by one to two-story, single-family detached homes. Typical commercial/office uses will involve one and two story buildings, parking areas and landscaping. Private recreation amenities affiliated with the residential areas include a community commons and central paseo that serves as a pedestrian amenity within the residential component with connectivity to the commercial/office area.

4.2 RESIDENTIAL DEVELOPMENT STANDARDS

4.2.1 Intent of Residential District

The Residential District provides a regulatory framework for developing low density residential housing within the project on minimum 6,000 square foot lots. The project proposes a total of 159 residential dwelling units at a modified gross density of approximately 3.9 dwelling units per acre. Structures will consist of one-story and two-story, single-family detached homes.

4.2.2 Permitted Residential Uses

The following uses shall be permitted in the Residential (LDR) district.

**TABLE 4-1
PERMITTED RESIDENTIAL (R) USES**

- One and two story single family dwellings (no C.U.P. required)
- Accessory buildings, uses, or structures
- Home occupations
- The keeping of domestic animals
- Swimming pools and spas
- Licensed in home day care for up to 12 children subject to §§ 159.525 through 159.531 of the Indio Zoning Code
- Flood control facilities
- Utility facilities

- Senior housing (granny flat)
- Private recreational facilities
- Guest house, casitas or servant's quarters that may not be rented or sold
- Model home complexes

Note: Residential uses which are similar in nature but not specifically listed above may be permitted at the discretion of the City of Indio Director of Community Development Services. All other uses are prohibited.

4.2.3 Residential Planning Standards

1. Residential architecture shall require design review in accordance Section 6.0 of the Avante PMP.
2. Landscaping design for joint use retention/recreation areas, common areas, parkways along public streets and typical front yards shall require design review in accordance with Section 6.0 of the Avante PMP.
3. Refer to Section 3.0 for Development Plans and Standards that apply project-wide, including:
 - 3.2 - Conceptual Land Use Plan
 - 3.3 - Conceptual Circulation Plan
 - 3.4 - Conceptual Water and Sewer Plan
 - 3.5 - Conceptual Grading Plan
4. Refer to Section 5.1 for Design Guidelines and related design criteria.

4.2.4 Residential Development Standards

The development standards described in Table 4-2 shall apply in the Residential (LDR) district.

4.2.5 Residential Phasing

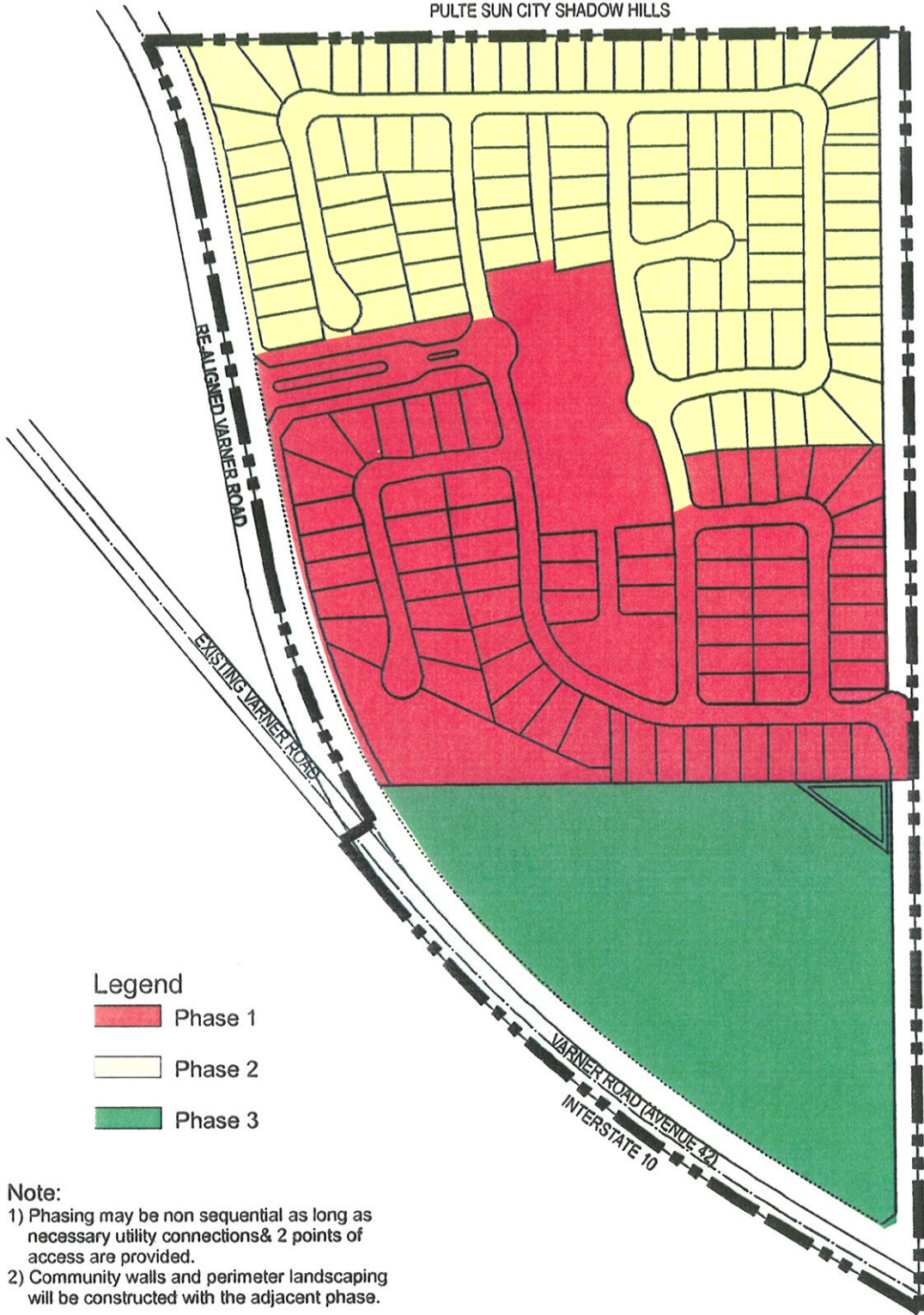
Exhibit 4-1 identifies the conceptual phasing of residential units.

**TABLE 4-2
RESIDENTIAL DEVELOPMENT STANDARDS**

MINIMUM LOT AREA	
• All Lots	6,000 s.f.
MINIMUM LOT WIDTH¹	
• Interior Lot	55 feet
• Corner Lot	60 feet
• Cul-de-sac, Knuckle Lot	35 feet
MINIMUM LOT FRONTAGE	
• Cul-de-sac Lot	35 feet
MINIMUM LOT DEPTH	
• All Lots	100 feet
MINIMUM FRONT YARD SETBACK	
• Setback to Living Area, Casita or Side-Loaded Garage ²	15 feet
• Setback to Front-Loaded Garage	20 feet
MINIMUM SIDE YARD SETBACK	
• Interior Lot	5 feet both sides
• Corner Lot	10 feet & 5 feet
MINIMUM REAR YARD SETBACK	
▪ All Lots ³	15 feet
MINIMUM BUILDING SEPARATION	
▪ Between Detached Casita and Main Structure	10 feet
BUILDING REQUIREMENTS	
▪ Maximum Lot Coverage	50%
▪ Maximum Primary Building ⁴ / Accessory Building Height ⁴	26 feet / 18 feet

1. Measured at front or rear setback.
 2. Setback may be reduced by 25% provided the average is not less than 15 feet.
 3. Patios may be within 7' and accessory buildings within 5' of a rear property line.
 4. Incidental architectural features such as cornices and chimneys may exceed the height limit.

PULTE SUN CITY SHADOW HILLS



Legend

- Phase 1
- Phase 2
- Phase 3

Note:

- 1) Phasing may be non sequential as long as necessary utility connections & 2 points of access are provided.
- 2) Community walls and perimeter landscaping will be constructed with the adjacent phase.

Conceptual Phasing Plan

"AVANTE" (TTM 33239) PROJECT MASTER PLAN



Encroachments into Required Yards

Encroachments into required yards shall be allowed according to the City of Indio Zoning Ordinance, Municipal Code Title XV, Chapter 159, modified as follows:

- Ground mounted air conditioners, swimming pool pumps, heaters, filters and fans may be located in a required side or rear yard provided that such structures or equipment does not exceed a height of 42-inches measured from the base of the unit. Such equipment will be screened from adjacent property or street by a solid fence or wall designed to match the material, color and design of the approved fencing/walls for the property.
- Pools/Spas may be within 3 feet of any side or rear property line and within 3 feet of any main structure. If proposed in the front yard, they shall be enclosed by a masonry wall not to exceed 5 feet in height and no portion of the pool/spa or wall shall be located closer than 10 feet to the back of curb.

4.3 OPEN SPACE DEVELOPMENT STANDARDS

4.3.1 Intent of Open Space District

The recreational district provides a regulatory framework for developing a system of recreational amenities to serve the needs of project residents. Recreation amenities include a central paseo that serves as a pedestrian amenity within the residential component with connectivity to the commercial/office area to the south. Storm water retention will also be provided for within some of the open space and park areas.

4.3.2 Permitted Open Space Uses

The following uses shall be permitted in the Open Space (OS) district.

TABLE 4-3 PERMITTED OPEN SPACE (OS) USES
<ul style="list-style-type: none"> • Children’s play equipment (tot lots) • Entry monuments and signage • Landscaping • Outdoor recreational courts and fields • Parking as an accessory use • Parks • Picnic facilities • Storm water retention facilities • Swimming pools & spas

- Walkways/Trails
- Utility facilities

Note: Recreational uses which are similar or accessory in nature but not specifically listed above may be permitted at the discretion of the City of Indio Director Community Development Services. All other uses are prohibited.

4.3.3 Open Space Planning Standards

Project Entries

1. A primary entry treatment will be provided at the main entry off Varner Road (Avenue 42) as illustrated in Exhibit 5-2 and as discussed in Section 5.5.1.
2. A secondary entry treatment will be provided at the entry off of Burr Street as illustrated in Exhibit 5-3 and as discussed in Section 5.5.1

Streetscapes

2. Representative streetscape treatments, as illustrated in Exhibits 5-4 and 5-19 shall be used along Varner Road (Avenue 42).
3. Representative streetscape treatments, as illustrated in Exhibits 5-5 and 5-6, shall be used along interior residential streets

Recreation Amenities

4. The community commons will serve as a central meeting place for the community. Pathways, park benches and cluster tree groupings for shade will be provided within the community commons with tree up-lighting.
5. A central paseo provides a north-south pedestrian linkage within the project. This is intended to provide an enhanced experience for pedestrians linking with the commercial area on the south. The central paseo concept is illustrated in Figure 5-10.
6. A passive open space/retention area provides an opportunity for a visual amenity for the community. The passive open space/retention concept is illustrated in Exhibit 5-11.

Wall and Fences

7. Community frontage walls, block walls and view fencing will be used throughout the project as illustrated in Exhibit 5-8 and 5-9.

Miscellaneous Standards

- 8. Refer to Section 3.0 for Development Plans and Standards that apply project-wide, including:
 - 3.2 - Conceptual Land Use Plan
 - 3.3 - Conceptual Circulation Plan
 - 3.4 - Conceptual Water and Sewer Plan
 - 3.5 - Conceptual Grading Plan
- 9. Refer to Section 5.1 for Design Guidelines and related design criteria.

4.3.4 Recreation Development Standards

The following development standards shall be permitted in the Recreation (R) district.

TABLE 4-4	
OPEN SPACE DEVELOPMENT STANDARDS	
Standard	
MINIMUM BUILDING SETBACKS	
• Setback from Street Right-of-way	20 feet
• Setback from Residential District	10 feet
• Other Setbacks	None

4.3.5 Recreation Implementation

Table 4-5 identifies all amenities within the project site and the timing when amenities are required to be constructed.

TABLE 4-5	
OPEN SPACE AMENITY COMPLETION SCHEDULE	
Amenity	Milestone
• Community Commons	Prior to issuance of the final certificate of occupancy for Phase 1.
• Retention	Prior to issuance of the final certificate of occupancy for Phase 1.

<ul style="list-style-type: none"> • Pedestrian Paseo Prior to issuance of the last certificate of occupancy for the phase in which the pedestrian paseo is located.
Phases are depicted in Figure 4-1

4.4 COMMERCIAL/OFFICE DEVELOPMENT STANDARDS

4.4.1 Intent of Commercial/Office District

The Commercial/Office District provides a regulatory framework for developing retail stores, offices, service establishments, and businesses, which offer goods and services required by residents of the City and the surrounding community. The project proposes approximately 13.2 acres of commercial/office uses. Structures will consist of one-story and two-story commercial/office buildings with necessary parking, landscape and other related features.

4.4.2 Permitted Commercial/Office Uses

The following use categories apply to the the Commercial/Office (C-O) district.

TABLE 4-6 COMMERCIAL/OFFICE (C-O) USES			
USE ¹	PERMITTED	CONDITIONAL	PROHIBITED
• Administrative, business or professional offices	✓		
• Agricultural Activities	✓		
• Banks, financial institutions	✓		
• Children’s schools			✓
• Churches		✓	
• Day care centers			✓
• Delicatessens, bakeries	✓		
• Flood control facilities	✓		
• Furniture upholstery stores	✓		
• Gas Stations	✓		
• Government services – public buildings	✓		
• Health clubs or spas	✓		
• Hospitals			✓

• Hotels or Motels		✓
• Household appliance repair	✓	
• Libraries		✓
• Medical offices	✓	
• Mini-storage		✓
• Nursing Homes		✓
• Personal service establishments ²	✓	
• Restaurants (sit down)	✓	
• Retail stores ³	✓	
• Residential		✓
• Utility facilities	✓	
• Veterinary hospitals		✓
<p>1. All uses are subject to the requirements of the Riverside County Airport Land Use Compatibility Plan (RCALUCP). Permitted and Conditional uses listed in the table above are identified as "Generally Compatible" or "Potentially Compatible with Restrictions" in the RCALUCP, Appendix D. For further information, see Appendix A of the Avante PMP.</p> <p>2. Including, but not limited to, beauty or barber shops, haberdasheries, locksmiths, photography studios, shoe repair, dry cleaners, laundromats, tailors, dressmaking shops or pet grooming.</p> <p>3. Including, but not limited to art stores, grocery stores, convenience markets, appliance or furniture stores, bookshops, drugstores, florist shops, hardware stores, clothing stores, variety stores, or shoe shops.</p> <p>Note: Commercial/Office uses which are similar in nature but not specifically listed in this table may be permitted at the discretion of the City of Indio Director of Community Development Services. All other uses are prohibited.</p>		

4.4.3 Commercial/Office Planning Standards

1. Commercial/Office site plans and architecture shall require design review in accordance with the City of Indio Municipal Code, Title XV, Chapter 159.720 for permitted uses and Chapter 159.750 for conditional uses, as modified by Section 6.0 of the Avante PMP.
2. Landscaping design for common areas and parkways along public streets shall require design review in accordance with the City of Indio Municipal Code, Title XV, Chapter 159.720 as modified by Section 6.0 of the Avante PMP.
3. Refer to Section 3.0 for Development Plans and Standards that apply project-wide, including:

3.2 - Conceptual Land Use Plan

3.3 - Conceptual Circulation Plan

3.4 - Conceptual Water and Sewer Plan

3.5 - Conceptual Grading Plan

4. Refer to Section 5.1 for Design Guidelines and related design criteria.

4.4.4 Commercial/Office Development Standards

The development standards described in Table 4-7 shall apply in the Commercial/Office (C-O) district.

4.4.5 Commercial/Office Phasing

Exhibit 4-1 identifies the conceptual phasing of the commercial/office area.

**TABLE 4-7
COMMERCIAL/OFFICE DEVELOPMENT STANDARDS**

Minimum Lot Size	No minimum
Minimum Street Frontage Setback from Varner Right-of-way	20 feet
Minimum Rear or Side Setback from Residential Lot Line	10 feet
Minimum Setback from Other Lot Line	None
Minimum Common Open Space ¹	15%
Minimum Open Land ²	4.3 acres ³
Maximum Building Coverage ⁴	
• Retail Commercial	25%
• Office	35%
Maximum Floor Area Ratio ⁵	
• Retail Commercial	0.3
• Office	0.4
Maximum Building Height ⁶	2 stories, 35 feet
Minimum Off Street Loading Requirements	Municipal Code Section 159.655
Minimum Off Street Parking Requirements	Municipal Code Section 159.656

1. Includes landscaped parkways, walkways, landscape planters, parking lot landscaping, plazas, patios, and similar features.
2. Airport Land Use Compatibility Requirement. Open land consists of landscaping, parks, parking lots, sidewalks, plazas, streets and similar features that (1) are free of most structures and other major obstacles such as walls, large trees or poles (greater than 4 inches in diameter, measured 4 feet above the ground), and overhead wires and (2) have minimum dimensions of approximately 75 feet by 300 feet.
3. The commercial office open land requirement is calculated at about 23% of the total 19.1 gross acres of Zone B-1 (9.5 ac.), B-2 (2.1 ac.) and C (7.4 ac.). The 2.1 acres of open space/retention in Zone B-2 would contribute toward the commercial open land acreage requirement. See Airport Compatibility Zones Exhibit in PMP Appendix A.
4. The percentage of the building site covered by structures with roofs excluding courts, patios, terraces, and post-supported roofs over walkways and parking stalls.
5. The numerical value obtained by dividing the gross area of all floors of a building by the area of the site.
6. Incidental architectural features may exceed the height limit.

5.0 DESIGN GUIDELINES

5.1 PURPOSE

The design guidelines contained in this chapter are intended to establish an approach to residential and commercial/office design that implements the General Plan vision for this developing area. Exhibits provided in this section are intended as conceptual illustrations and do not depict final designs, nor should they limit the range of expression among individual builders and their professional design teams.

The design guidelines for the Avante project will:

- Assist in implementing the design intent of the Project Master Plan (PMP) by establishing project design compatibility with surrounding developments;
- Provide a consistent approach to site planning, building design, street frontage and signage, wall and fence materials and color, lighting, landscaping, and other design elements that will endure for the life of the community.

The design guidelines identify elements for the design of buildings and landscaping within the Avante project. These guidelines shall be incorporated into the subsequent subdivision maps and site development permits submitted to the City for approval unless it is demonstrated that certain guidelines are not applicable, appropriate, or feasible under the circumstances.

5.2 SITE PLANNING GUIDELINES

5.2.1 Residential Site Planning Guidelines

Building Massing - Exterior mass and form can be manipulated to improve the street scene by controlling the impact of residential units as they relate to corners, setbacks and each other. Units at corners should have significant one-story mass towards the exterior side yard. At interior side yards, when possible, it is desirable to create the increase of building separation by stepping roof massing away from the property line.

Site Planning - Appropriate site planning guidelines as discussed below should be used in order to ensure functional and aesthetic development. Discretionary application of the guidelines should be used in order to achieve a high quality consistency in design theme. Site Planning Guidelines are as follows:

1. Residential dwelling units may vary setbacks to create visual interest along the street frontage. Reduced setbacks to living areas, casitas and side loaded garages may be employed as described in Table 4-2.
2. Some two-story units shall be sited adjacent to the central paseo and the powerline open space to provide community surveillance of these open space areas.
3. Landscaping shall be provided at project entries, as illustrated in Exhibits 5-2 and 5-

- 3, to provide project identify and set the tone for the project development.
4. Interior walls shall compliment the architectural theme of the project site. Wood-only fencing and chain link fencing are not permitted.
5. Community frontage walls shall be offset between pilasters. The maximum distance between pilasters shall be 50 feet. Landscaping will also be provided to create visual interest (see also Section 5.4.3)

5.2.2 Commercial/Office Site Planning Guidelines

A conceptual plan for the commercial/office area is shown in Exhibit 5-1. This exhibit is intended to illustrate general land planning relationships and concepts but not to place unnecessary restrictions on creative site design. Key aspects of the concept are described as follows:

Building Massing - Exterior massing should be a mixture of two story-office, two story office over retail, one story retail and possible detached one story restaurant/ retail pad on the southwest frontage along Varner Road.

Site Planning - Appropriate site planning guidelines as discussed below should be used to ensure functional and aesthetic development. Discretionary application of the guidelines should be used in order to achieve a high quality consistency in design theme and appropriate building placement. Site Planning Guidelines are as follows:

1. Commercial and office buildings should be generally sited on the north & east sides of the property to maximize retail exposure from adjacent roadways and building setbacks from Varner road. This building placement will also result in the siting of most building structures within Airport Compatibility Zone C while grouping most parking in Zone B-1. This does not, however, prohibit the necessary placement of buildings in Zone B-1 to achieve an efficient and functional site plan.
2. On-site parking will have ingress & egress to Varner road and Burr Street.
3. Service areas shall be located at the rear of commercial/office buildings as a continuous drive aisle.
4. An 8-foot high masonry wall with a landscape buffer shall be provided along that portion of the northern property line where commercial development directly butts residential lots.
5. A gated private pedestrian/bicycle walkway will be provided to connect the commercial/office area with residential land uses to the north. Commercial/office building design will give attention to creating a pedestrian plaza or other attractive pass through treatment for pedestrians/bicyclists entering the commercial/office complex from the north.



8 FOOT HIGH BLOCK WALL WITH 10' WIDE LANDSCAPE BUFFER
ADJACENT TO RESIDENTIAL LOTS

FUTURE ACCESS
TO ADJACENT
PROJECT

RIGHT IN/RIGHT OUT
SERVICE ENTRY

PEDESTRIAN GATE

BUILDING DESIGN INCORPORATES
ATTRACTIVE PEDESTRIAN PASS THROUGH

20' WIDE LANDSCAPE EASEMENT

SIGNALIZED FULL ACCESS
PRIMARY ENTRY



NOT TO SCALE

Commercial-Office Conceptual Site Plan

"AVANTE" (TTM 33239) PROJECT MASTER PLAN



EXHIBIT 5-1

7. Based on ALUC methodology, the total of all commercial/office land uses shall result in a maximum concentration of 1,010 persons on site² at a given time. Based on this concentration, Table 4-8 shows the maximum overall building square footage that would be allowed within the commercial/office portion of the project.

TABLE 4-8 ALUC ALLOWABLE COMMERCIAL/OFFICE BUILDING AREA			
USE	UBC S.F. ¹	PARKING S.F. ²	ALLOWABLE S.F. ³
• Office	101,500	168,250	135,000
• Commercial	30,300	168,250	100,000
• Other uses ⁴			

1. Assumes maximum concentration of 1,010 persons on site. (7.4 gross acres of Zone C x 75 persons/acre plus 9.5 gross acres of Zone B-1 x 25 persons/acre plus 2.1 gross acres of Zone B-2 x 100 persons/acre).

Based on UBC minimum square footage of building per occupant:

- Offices - 100 s.f. / occupant
- 1st Floor Retail Commercial - 30 s.f. / occupant
- Other Uses - 100 s.f. / occupant

2. Assumes maximum of 673 parking spaces on site. (1,010 persons divided by 1.5 persons per space)

Based on Indio Parking standards:

- Offices - 1 parking space / 250 s.f.
- Neighborhood Commercial - 1 parking space / 250 s.f.
- Other Uses - Varies

3. Represents the allowable bldg square footage based on the rounded average of the UBC and Parking methods of calculation. The square footage shown represents the allowable building area if only that use were present on site. So, if an implementing site plan proposed half office and half commercial uses, 67,500 s.f. of office and 50,000 s.f. of commercial would be allowed. 75% commercial (75,000 s.f.) and 25% office (33,750 s.f.) would also be allowed and so forth.

4. Other uses which are not office related would be included within the commercial allowable total.

5.3 ARCHITECTURAL GUIDELINES

5.3.1 Residential and Commercial/Office Architectural Guidelines

Architectural Theme – Project architecture will be designed using a Santa Barbara/Eclectic Mediterranean theme.

² 7.4 gross acres of Zone C x 75 persons/acre plus 9.5 gross acres of Zone B-1 x 25 persons/acre plus 2.1 gross acres of Zone B-2 x 100 persons/acre. Zone B-2 has been included in the commercial/office intensity and open land calculations since the project was designed to exclude residential lots from this area and, consequently Zone B-2 was not included in residential density or open land calculations.

Form and Massing - Basic forms are characterized by a hierarchy of simple, strong, one and two story asymmetric volumes and living spaces organized around courtyards and patios. The overall massing emphasizes the horizontal plane.

Roof and Chimney Design - Roof design primarily includes:

- Simple, gable roofs, conical roofs on the towers, hips only when turning building corners. Rakes shall be tight.
- Roof pitches are shallow, usually 3:12 or 4:12. Valleys are minimized.
- Roofs generally have small eave overhangs (12-16 inches deep) usually formed with a plaster cornice mold with compound curves or exposed heavy timber beam ends with Spanish profile cuts particularly at porches and loggias.
- Roofs shall be 2-piece clay barrel tile or high profile concrete S-tile.

Materials and Color - Predominant materials and color are as follows:

- Smooth-finish stucco
- Subdued white in the earth tone range.
- Tile, brick, and stone accents.

Architectural Details - The details of this style add to the exotic and romantic Old World quality of the home:

- Circular towers, Juliet balconies and privacy walls.
- Decorative wrought iron grillwork and potshelves.
- Colorful painted Spanish tiles.
- Deeply recessed windows.
- Molded plaster and cut stone accents.
- Gable end vents with decorative stucco grilles, clay tile screen grills, or clay roof tile vents, detailed to appear like true gable vents.
- Wood louvered or plank shutters may be used on a few accent windows, and must include iron tourillons or shutter dogs.
- Heavy timber framing may support a small, second floor cantilever to help articulate the façade character.

Equipment Screening - Roof mounted mechanical equipment is prohibited on residential structures with sloped rooflines. Roof mounted equipment is permitted on flat roofs if

screened from view by a parapet designed to be compatible with the architecture, materials and color of the building.

Lighting – Light sources shall not direct light skyward, and shall be arranged to reflect light away from adjoining properties. Low wattage up-lighting in landscaping, low level walk lights and lighting diffused off wall surfaces is encouraged.

Walls and Fences – Interior private walls and fences will compliment the architecture and perimeter walls as illustrated in Exhibit 5-8 and 5-9. Walls and fences shall match the perimeter walls and be designed in conformance to the City's corner cut-off standards. Wood-only and chain link material is prohibited.

Monument Signs and Mail Box Stands – Any monument signs proposed at the project entryways shall have lettering sized per local codes, engraved in sand stone or other soft natural rock formation surrounded by the same architectural elements. Mail box stands shall be of regulation height, concrete textured, sloped and colored to compliment the architecture, with the mail compartment completely embedded. Community mail boxes shall be designed to meet postal standards. They shall be in an enclosure that compliments the project theme and architecture.

Additions – Future additions to any residence shall be consistent with the architectural theme of the building. To the extent possible, the same color scheme, roofing, and exterior finishes shall be utilized and exterior building materials shall complement the original structure. Deviations are subject to approval by the City Planning Commission.

5.4 LANDSCAPE GUIDELINES

The purpose of the landscape design guidelines is to establish residential and commercial/office landscape standards that will contribute to the thematic development of all components of the Avante community identity. Important to the development of a coordinated project image and identity are the project-wide enhancement of major roadways, local streets, and project entries. These elements are designed to establish levels of hierarchy that will provide a varied and high quality experience at the pedestrian and vehicular level within the project.

The development of the project identity focuses on the following areas:

- The unification of all structural elements of the plan in order to present a coordinated project image;
- Incorporation of building and plant materials that are compatible to the project area and environment in order to develop a project image that is not only unique for Avante, but that fits harmoniously with the surrounding environment;
- To provide enhanced entries, intersections and circulation routes; streetscapes and open space areas.
- To provide a "sense of place" for residents of the project.

- To provide attractive pedestrian linkages between residential and commercial/office uses.
- To balance attractive landscaping with building visibility along commercial/office perimeter street frontages.

5.4.1 Project Theme

Avante PMP focuses on developing images of the desert region that will complement the project site. The landscape theme seeks to develop the association by utilizing landforms, site design elements and a planting concept designed to strengthen the basic fabric and overall theme of development through the use of specific plant materials to define and reinforce project entries, street patterns, pedestrian linkages, and open space recreation areas.

5.5 RESIDENTIAL COMMUNITY ELEMENTS

The Landscape Plan consists of community elements that form the basic structure of the plan. Individually, the elements identify specific conditions of the plan and a coordinated landscape treatment. Collectively all elements are coordinated with the selection of building and plant materials that provide reinforcement of the overall project theme. These features consist of project entries, streetscape, community walls, site furnishings, lighting and street signage.

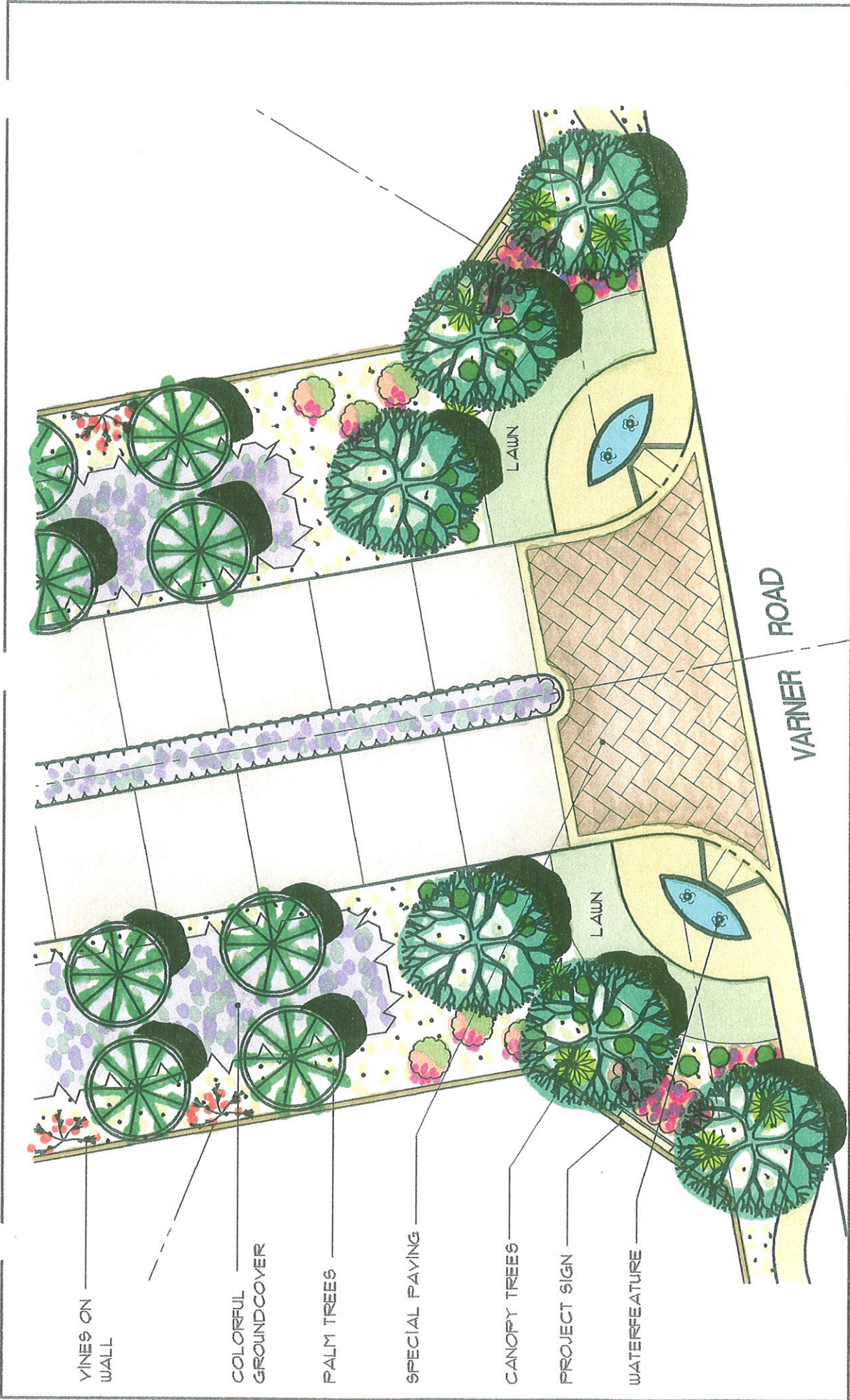
5.5.1 Residential Entry Treatments

One primary project entry is proposed within the Avante project. This entry is described as follows:

Primary Residential Entry Treatment (See Exhibit 5-2)

This entry will provide the initial opportunity for project identification. This entry feature will include walls, signage, special paving, site furnishings and landscaping. The structure, form, and character of the entry will be established by the following design elements:

1. Formalized wall treatments and details that may include stone, ironwork and site detailed wall caps of stone or pre-cast color concrete with a special finish.
2. Water Feature or "Special Identity Element" such as large columns, planter pots, urns or a sculptural element.
3. Accent paving of stamped concrete or interlocking pavers of an "Old World" style.
4. Specimen planting of large trees, palms, or accent plants. Groundcovers and shrubs shall be colorful and provide seasonal interest.
5. Accent lighting of walls, site features, signage and landscaping. Decorative light fixtures may also be included on walls and columns.



NOT TO SCALE



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EXHIBIT 5-2

Primary Residential Entry Treatment

"AVANTE" (ITM 33239) PROJECT MASTER PLAN

Secondary Residential Entry Treatment (See Exhibit 5-3)

This entry will provide both ingress and egress from the site. The design of this entry will incorporate similar design features and elements as the main entry. These include:

1. Formalized wall treatments and details that may include stone, ironwork detailed wall caps of stone or pre-cast color concrete with a special finish.
2. Accent paving of stamped concrete or interlocking pavers of an "Old World" style.
3. Specimen plantings.
4. Accent lighting.

5.4.2 Streetscapes

The street landscape concept is developed in response to the circulation hierarchy in and around the Avante PMP. The concept seeks to provide a varied visual experience that reflects the project's theme character.

The major circulation route to and from the project is Varner Road/Avenue 42 along the project's western and southern perimeter frontage. General residential interior streets serve the project internally.

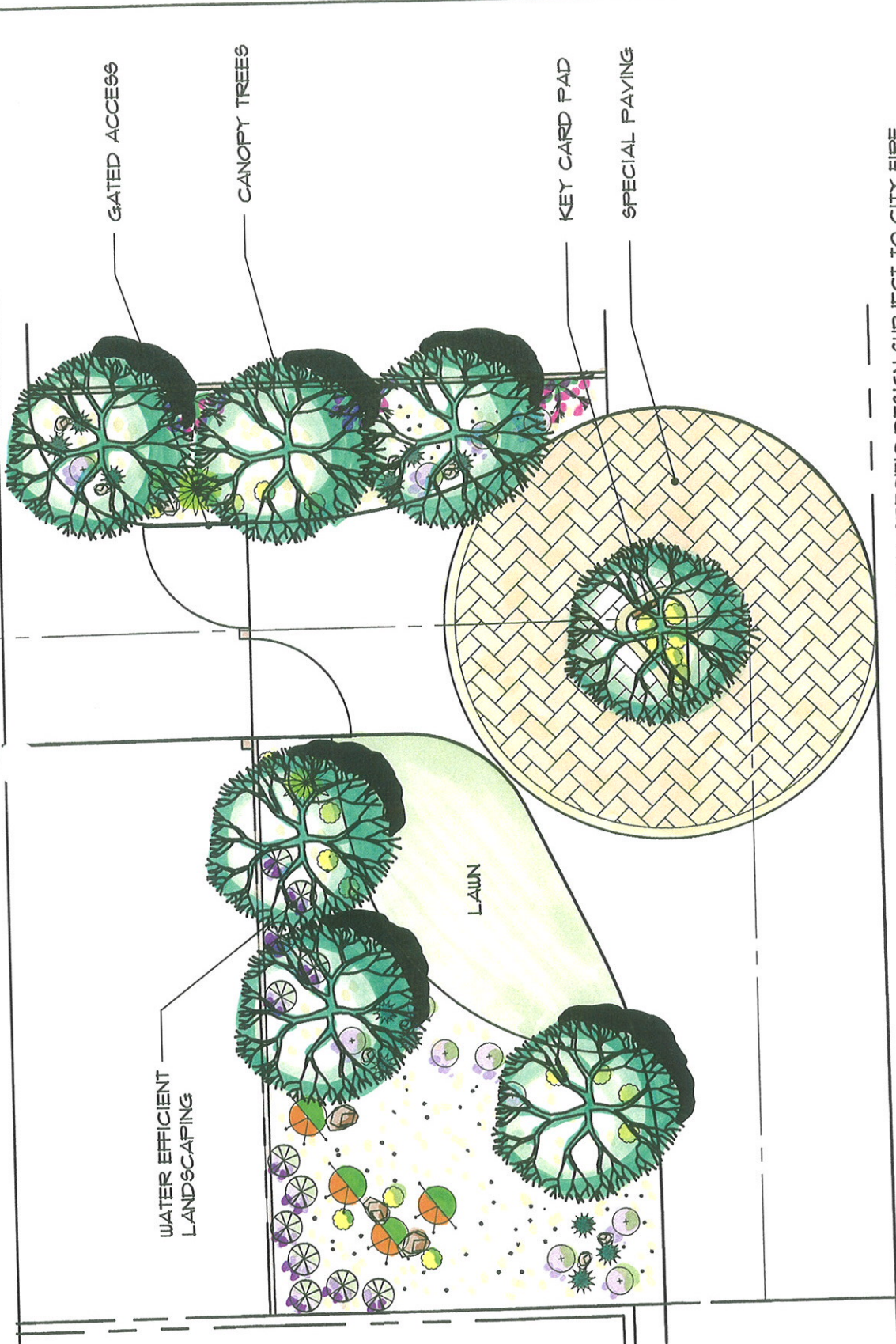
Varner Road Residential Streetscape (See Exhibit 5-4)

The overall landscape character of this street is designed to be informal, However selected areas along the street frontage will incorporate formal groupings of selected trees and shrubs to begin establishing the project character. Water efficient shrubs and accent plants will be used in place of those plant materials that are typically found in more temperate climates. The wall detail may be enhanced at key locations to reinforce the project theme. Low and medium height shrubs, planted in masses, will complement and enhance the transition between special design areas. Up-lights will be provided along the streetscapes to provide direct and indirect lighting.

The streetscape design of Varner Road/Avenue 42 adjacent to Commercial/Office uses is discussed later in Section 5.6.2

Primary Residential Entry Streetscape (See Exhibit 5-5)

The primary residential entry serves as the main access corridor from Varner Road/Avenue 42 into the project. A unified streetscape will be developed using large canopy trees, repetitive landscape patterns of shrubs and groundcovers, and decorative light standards to create a "Grand Boulevard" effect. The turnaround at the entry gate will include special paving, a raised planter wall and specimen trees as a focal point.



NOTE: SPECIFIC DESIGN SUBJECT TO CITY FIRE DEPARTMENT AND ENGINEERING DEPARTMENT APPROVAL.

Secondary Residential Entry Treatment

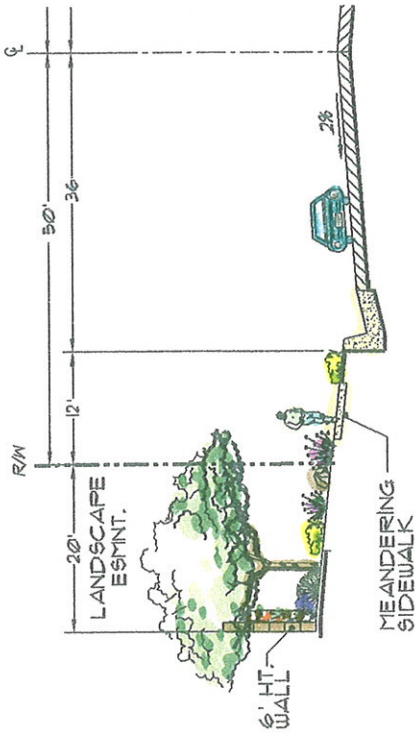
"AVANTE" (TTM 33239) PROJECT MASTER PLAN

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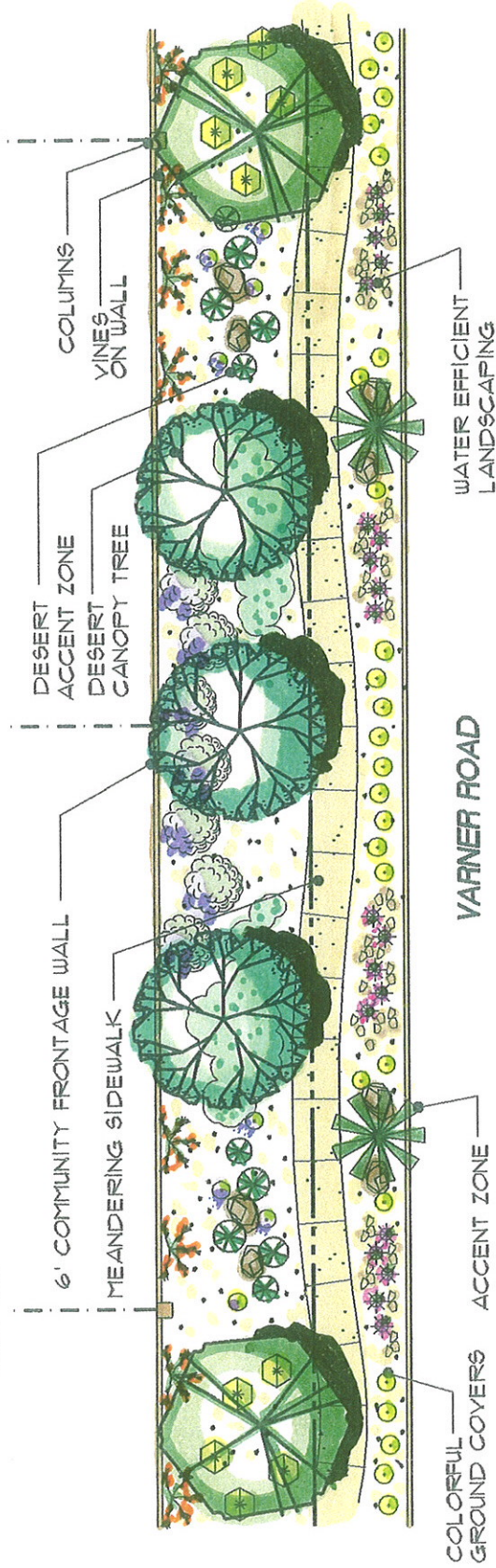
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EXHIBIT 5-3



SECTION - VARNER ROAD

SCALE: N.T.S.



PLAN VIEW - VARNER ROAD

SCALE: N.T.S.

Varner Road Residential Streetscape

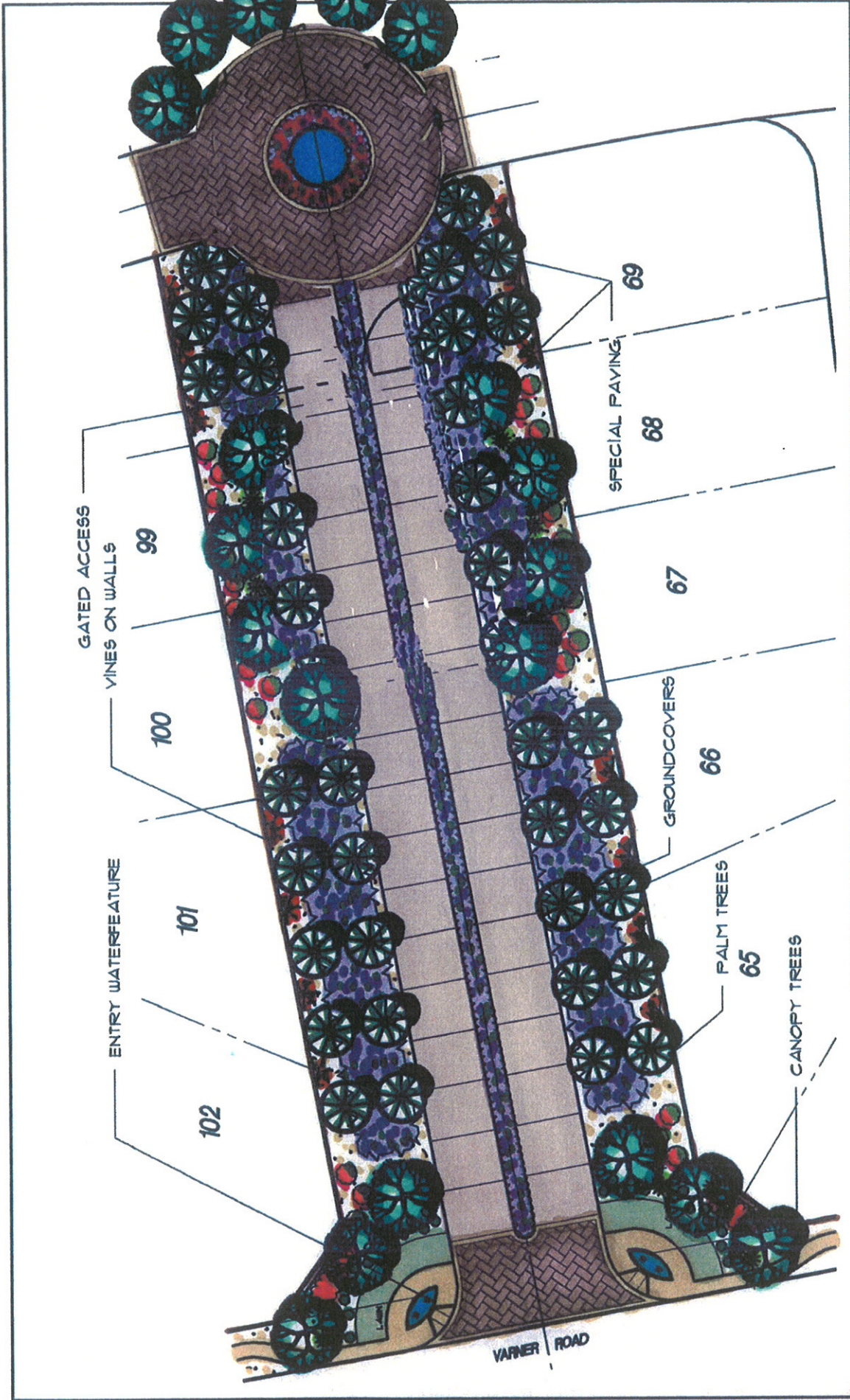
"AVANTE" (ITM 33239) PROJECT MASTER PLAN

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EXHIBIT 5-4



Primary Residential Entry Road Streetscape

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

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EXHIBIT 5-5



DePalatis Associates
PLANNING & ENVIRONMENTAL SERVICES

Residential Local Streetscapes (See Exhibit 5-6)

Local streets provide access interior to the project. These will rely on front yard landscaping of individual residential lots to soften views from the street. Different varieties of street trees will be used to define the local neighborhood streets and provide shade. Water efficient landscape plant material shall be utilized along local residential streetscapes. Small turf areas that are difficult to irrigate shall be avoided.

5.4.3 Residential Walls and Fences (See Exhibits 5-7 and 5-8)

The purpose of walls and fences is to assist in the establishment of project identity and compliment the architectural character of the development. The proposed community frontage walls are designed to reduce noise and provide privacy from adjacent roadways. The wall and fence plan for the proposed project is depicted on Exhibit 5-7. Community walls will be constructed with each phase as identified in the Conceptual Phasing Plan.

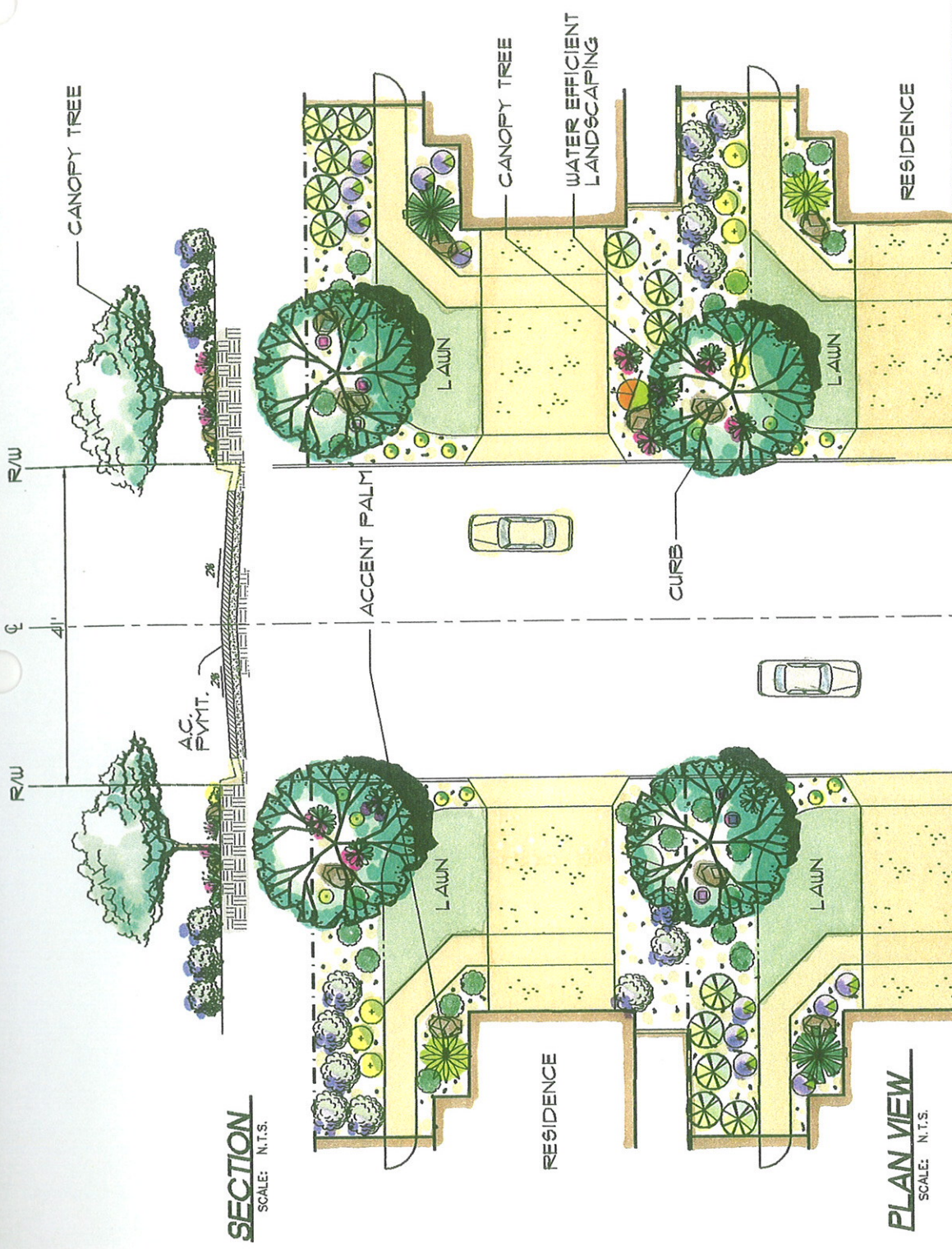
Community wall elevations are shown in Exhibit 5-8. Community Frontage Walls will be constructed of slump stone with a slurry finish and graffiti resistant painted surface. Pilasters shall be spaced no more than 50 feet apart. Interior block walls will be slump stone with an integral color. View Fences will be wrought iron with pilasters. Walls shall not exceed six (6) feet in height except where necessary for noise attenuation. Chain link fence, wood-only fence and barbed wire fence are prohibited. All walls facing street frontages on individual lots shall complement the architecture of the project.

5.4.4 Community Commons, Linear Paseo, Passive Open Space/Retention Area and Powerline Open Space (See Exhibits 5-9, 5-10, 5-11, 5-12, 5-13)

The central "Community Commons" will be the focal point of the community and may be used for small gatherings and passive recreation. Amenities will include pedestrian walkways with lighting, shade trees, benches, a shade structure, and open lawn areas. A tot-lot and picnic table may also be included as well as a plaza with a fountain or water feature. Open lawn areas will be used for informal recreation.

A linear open space "Paseo" has been developed to provide a pedestrian interconnection between community open space features such as the community commons and the commercial/office uses at the south end of the project. The open space paseo will have a meandering 6' sidewalk, benches and enhanced landscaping. Low bollard pathway lighting will be incorporated into the design for safety purposes and two story residential homes abutting the paseo will provide community surveillance of this area. The paseo links on the south with a walkway to the adjacent commercial area.

A "Passive Open Space/Retention Area" is included to provide an area for retention of stormwater. This area will not be used for recreation but will contain landscaping as a visual amenity.



SECTION
SCALE: N.T.S.

PLAN VIEW
SCALE: N.T.S.

NOTE:
SEE ALSO
EXHIBIT B-14

Residential Local Road Streetscape

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE



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EXHIBIT 5-6

PULTE SUN CITY SHADOW HILLS

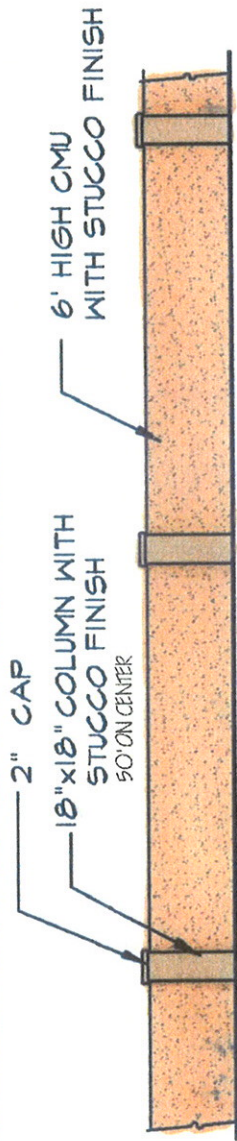


Legend

- Project Boundary
- 6' Community Frontage Wall
- 6' Community Block Wall
- 8' Community Block Wall
- 6' Community Combination Fence/Wall
- 6' View Fence
- Pedestrian Gate

Community Wall Concept
"AVANTE" (TTM 33239) PROJECT MASTER PLAN





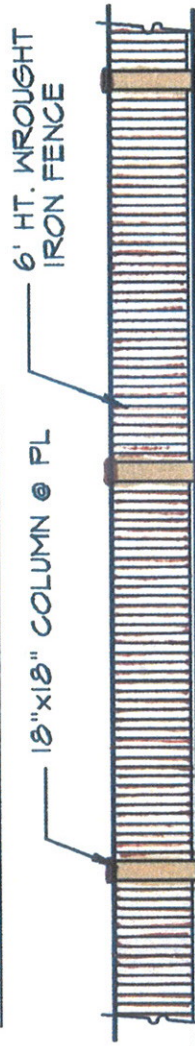
6' HT. COMMUNITY FRONTAGE WALL



6'-8' HT. COMMUNITY BLOCK WALL



6' HT. COMMUNITY COMBINATION FENCE / WALL



6' HT. VIEW FENCE

Residential Wall and Fence Elevations

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE



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EXHIBIT 5-8



Linear Paseo Concept

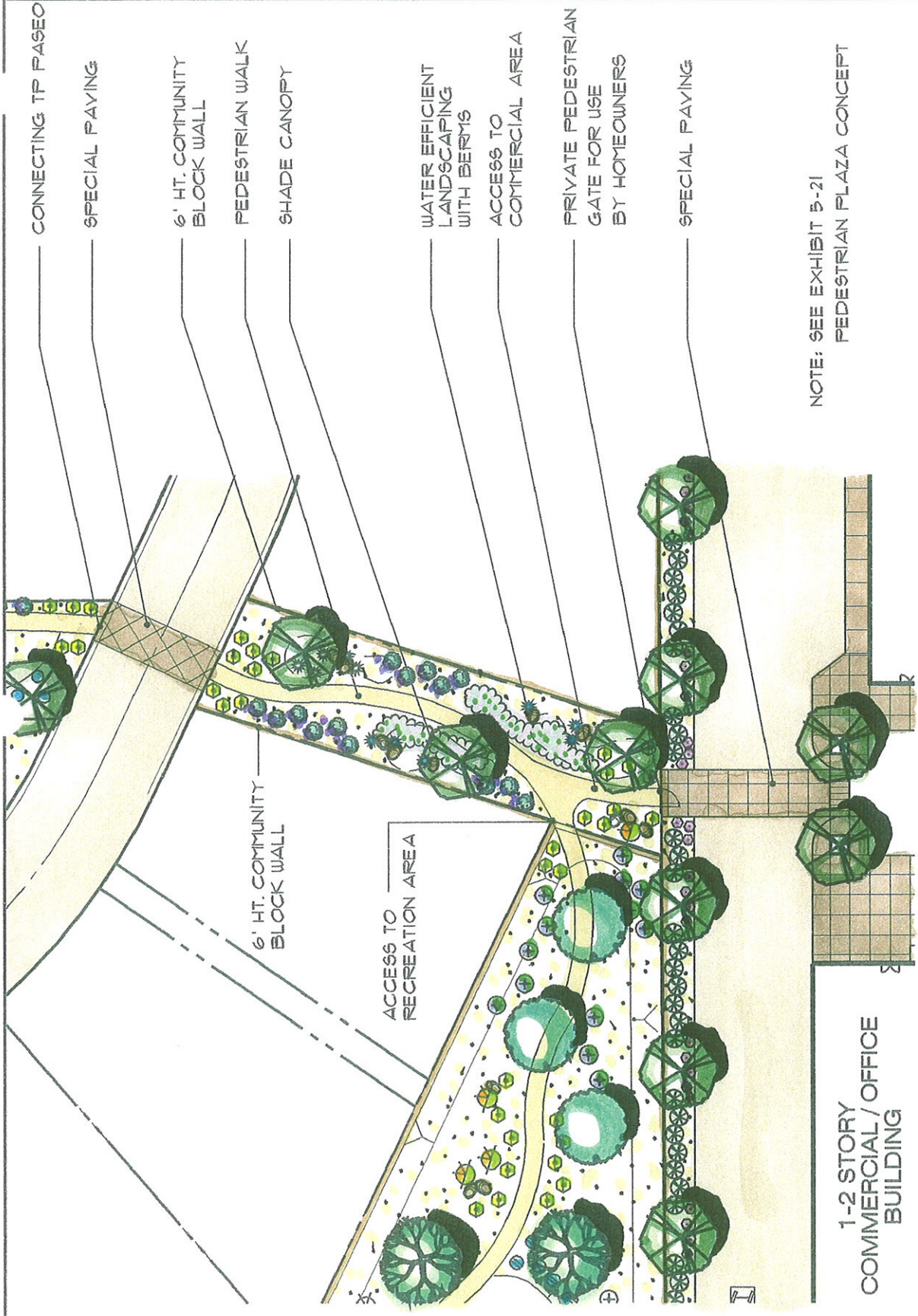
"AVANTE" (TTM 33239) PROJECT MASTER PLAN

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EXHIBIT 5-9



CONNECTING TP PASEO

SPECIAL PAVING

6' HT. COMMUNITY BLOCK WALL

PEDESTRIAN WALK

SHADE CANOPY

WATER EFFICIENT LANDSCAPING WITH BERMS

ACCESS TO COMMERCIAL AREA

PRIVATE PEDESTRIAN GATE FOR USE BY HOMEOWNERS

SPECIAL PAVING

6' HT. COMMUNITY BLOCK WALL

ACCESS TO RECREATION AREA

1-2 STORY COMMERCIAL / OFFICE BUILDING

NOTE: SEE EXHIBIT 5-21
PEDESTRIAN PLAZA CONCEPT

Residential-Commercial Linkage Concept

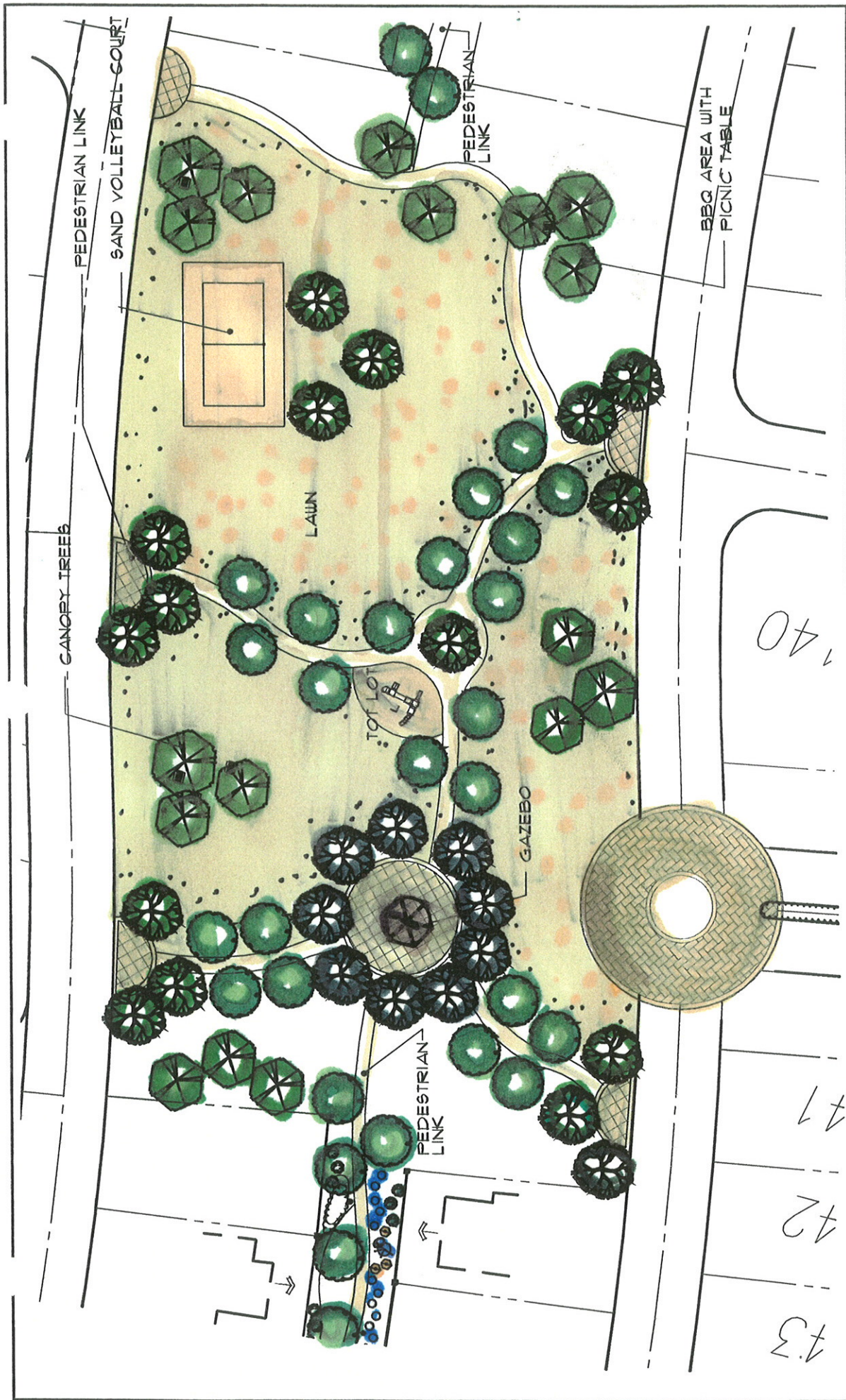
"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE



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EXHIBIT 5-10



Community Commons Concept

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

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EXHIBIT 5-11



Passive Recreation Area Concept

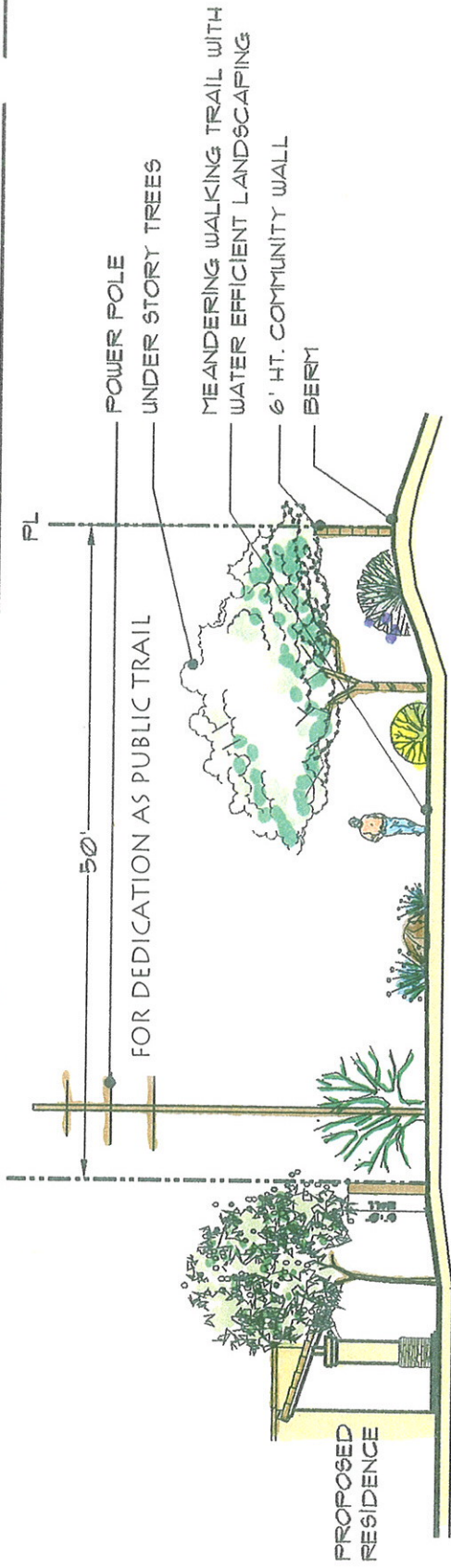
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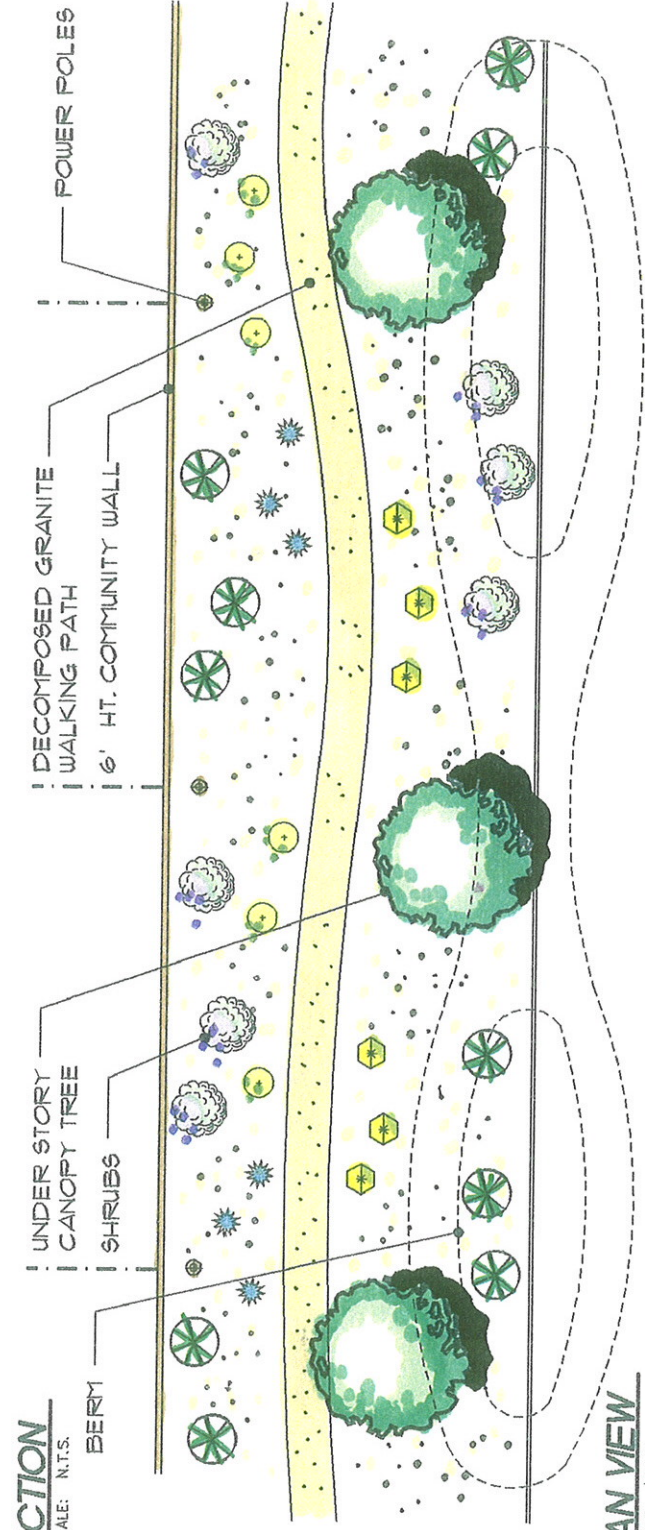


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EXHIBIT 5-12



SECTION
SCALE: N.T.S.



PLAN VIEW
SCALE: N.T.S.

Powerline Open Space Concept

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE



TKD

EXHIBIT 5-13

The "Powerline Open Space" consists of a 50-foot wide utility easement containing above ground electrical lines owned by the Imperial Irrigation District (IID). Access to this area from the development will be provided by two pedestrian gated walkways. To provide for passive recreation, a meandering walking trail will be included along with understory trees that will not interfere with the power lines. Large masses of water-efficient low shrubs and colorful groundcovers will be used to provide year-round interest. Informal seating areas with shade trees and benches may be placed along the walkway. Tall trees or palms that may interfere with the powerlines must be avoided. The open space easement is currently walled on the east property line and will be walled at the rear of the Avante residential lots. A view fence may be used in place of a privacy wall at the rear of the lots if desired by the homeowner. The City has requested that this area be dedicated to the City as a public trail.

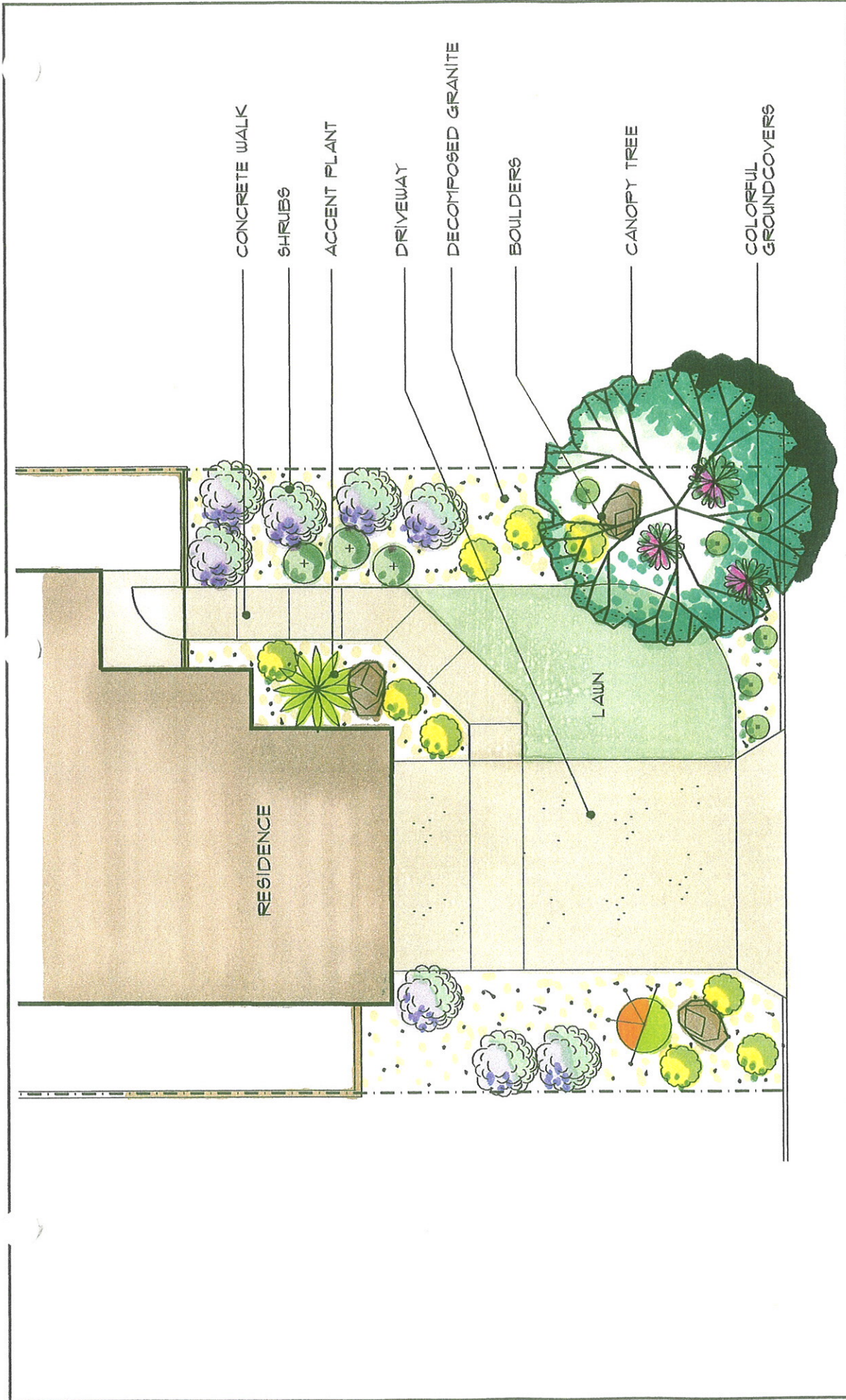
5.4.5 Typical Residential Front Yard Treatments (See Exhibit 5-14)

Typical front yards will include low maintenance, water efficient landscape materials. Some limited areas of turf may be included near the residence. These areas may not be adjacent to street frontages and are to be buffered by landscape planters with drip irrigation to avoid run-off. Front yard landscape designs that incorporate different styles must be compatible and blend with the adjacent design to provide continuity in the streetscape. Each home shall have a front yard street tree for shade.

5.4.6 Residential Monuments, Signs and Lighting (See Exhibits 5-15, 5-16 and 5-17)

The project will have comprehensive signage and lighting program that will further reinforce the project theme. Monument signs identifying the project entry or other significant project features will be part of a cohesive signage program. Monuments will be constructed of quality materials such as masonry or stone with stucco or tile portions with channel letters. Monument signs will have indirect or backlit lighting.

Street signs will include special lettering, ornamentation and decorative poles. In keeping with the City's "dark sky" policy, street lights are not required but may be provided at limited locations within the community. A hierarchy of lighting will be developed that will be aesthetically pleasing while also providing necessary safety and security for residents. Decorative street lights that reflect the project theme may be used selectively at intersections and public areas. Fixtures that cast the light downward will be used to help preserve the "dark sky". Low-level bollard or pathway lighting may be used along pedestrian walks and on individual lots. Landscape lighting shall be low level and shielded to prevent glare. Street lighting will be provided on adjacent public roads in compliance with City standards.



Typical Residential Front Yard

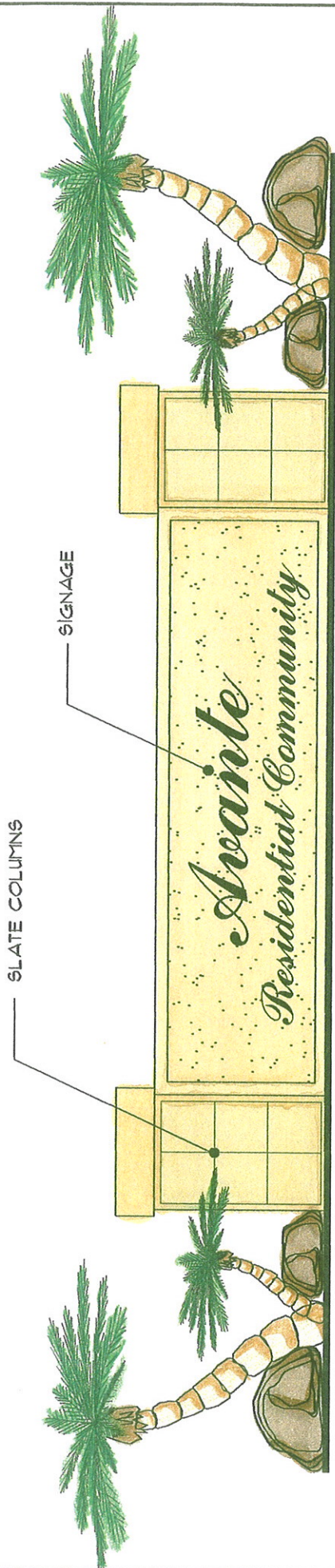
"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE



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EXHIBIT 5-14



Residential Monument Signage

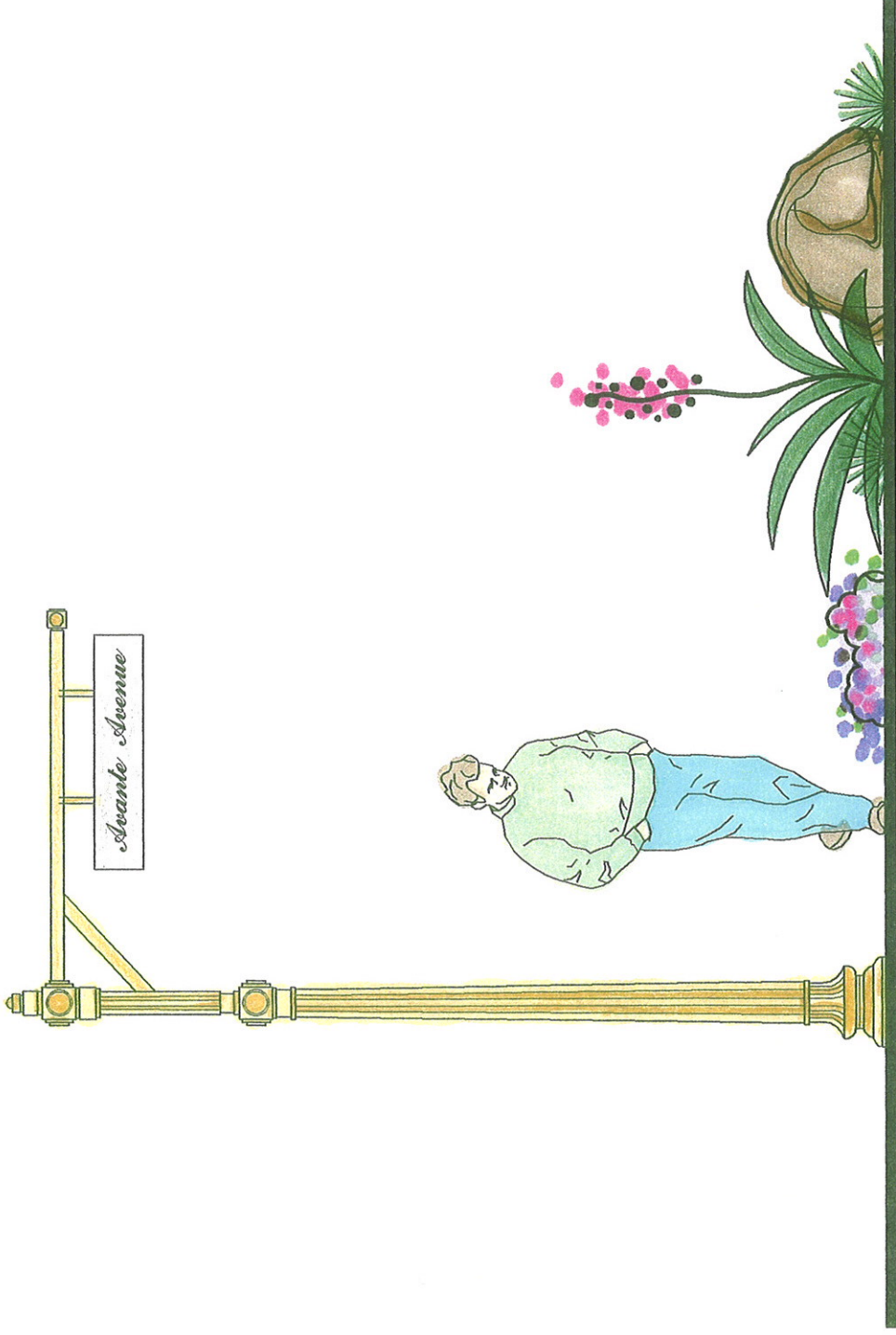
"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE



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EXHIBIT 5-15



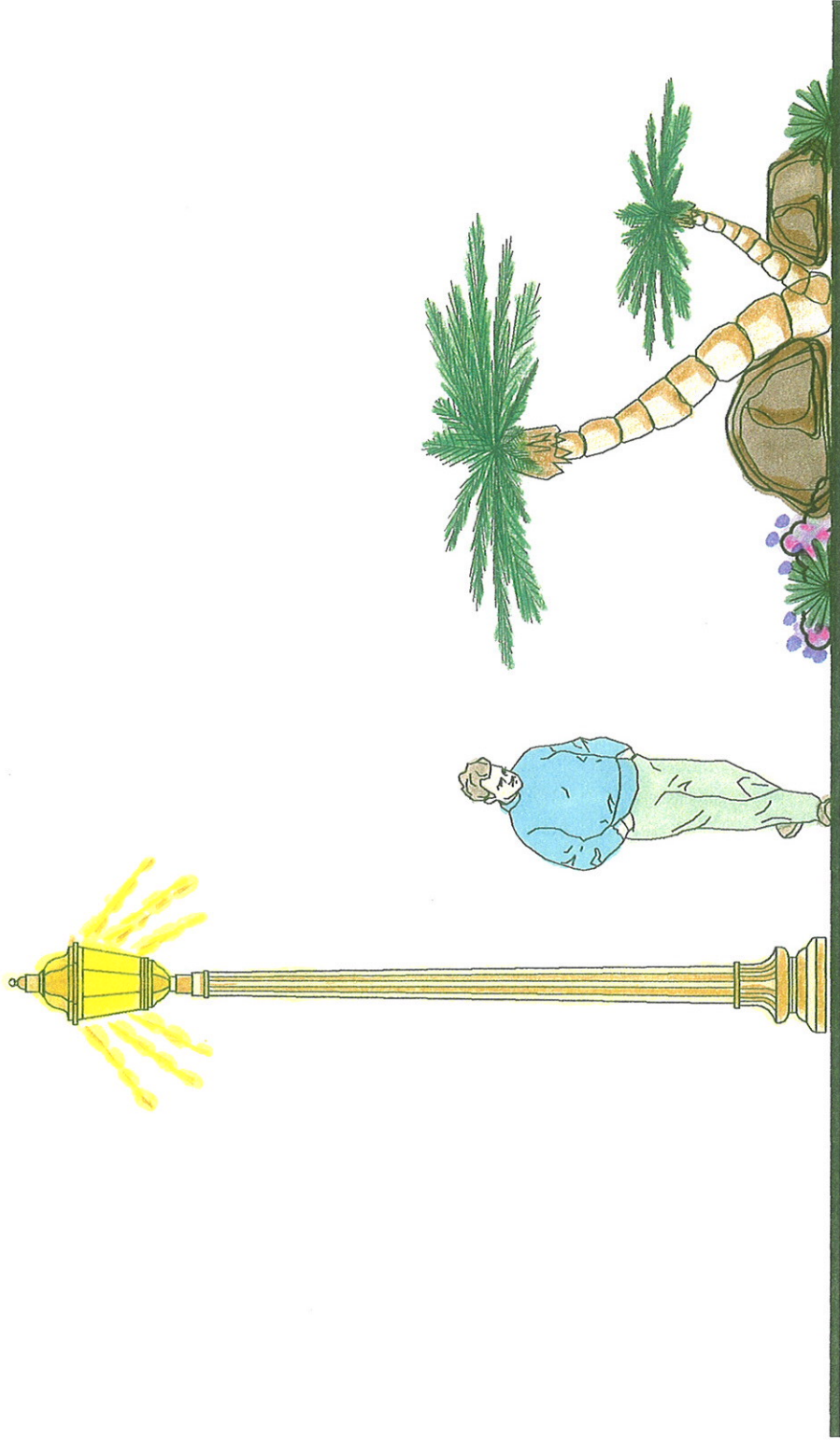
Residential Street Signage

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE



EXHIBIT 5-16



Residential Street Lighting

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE



TKD

EXHIBIT 5-17



5.6 COMMERCIAL/OFFICE COMMUNITY ELEMENTS

5.6.1 Commercial Entry Treatments (See Exhibit 5-18)

Commercial entries are to be clearly identified and delineated and relate to the overall project theme by incorporating:

- Architectural details and materials that relate to the project theme
- Special wall details
- Accent paving of stamped concrete or interlocking pavers.
- Monument signage constructed of quality materials such as stone veneer.
- Lighting for walls and landscape material.
- Accent landscaping such as specimen trees, palms, colorful groundcovers and accent plants to further accentuate the entry.

5.6.2 Commercial Streetscapes (See Exhibit 5-19)

The commercial street frontage along Varner Road will include palm trees or street trees with a high canopy for visibility into the site. Spacing of the trees will be increased to allow for view corridors. A decorative low wall will be used to screen parking along the street frontage. Water efficient shrubs and groundcovers shall be used in a simplified pattern to provide interest and color.

5.6.3 Commercial Parking and Pedestrian Features (See Exhibits 5-20, 5-21, 5-22)

Surface parking areas shall incorporate landscape islands with canopy trees to provide shade. A hierarchy of trees shall be developed to reinforce circulation patterns through-out the parking lot. Placement and species of trees should be considered in the sign program so that the visibility of the signs is maintained. Low plant material shall be used in end islands to maintain traffic visibility.

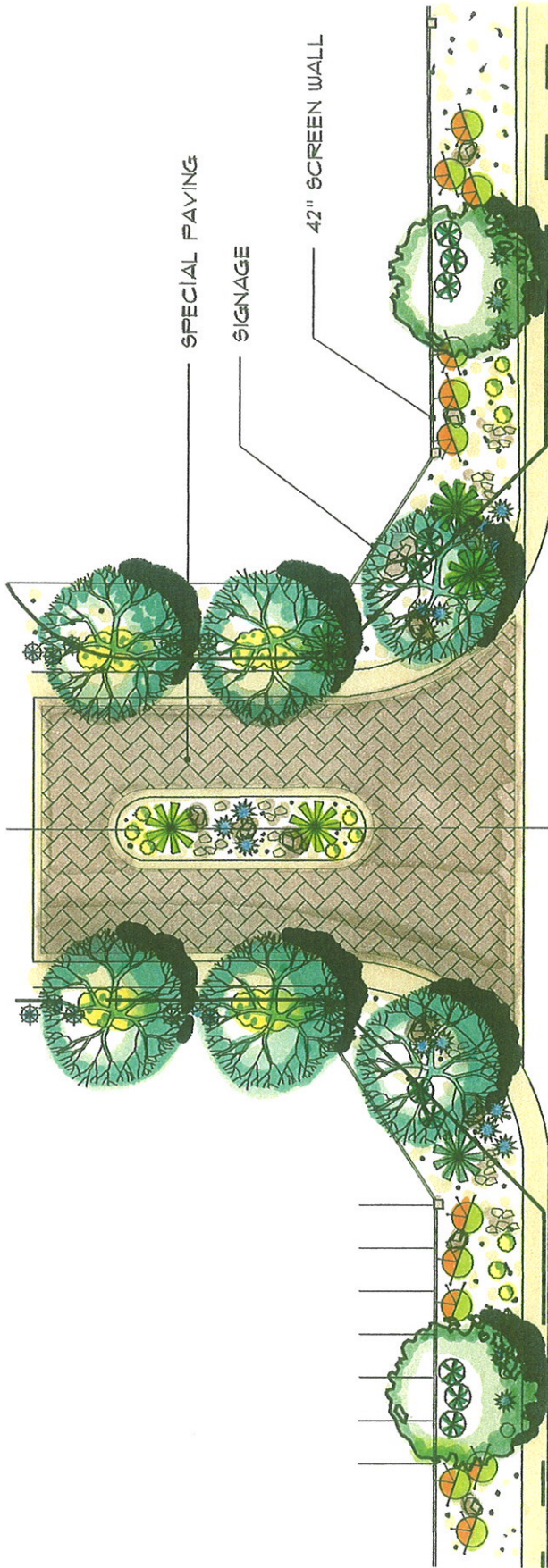
5.6.4 Commercial Buffers (See Exhibit 5-23)

The commercial buffer between the residential area and the commercial center will include an 8-foot high wall and a dense planting of landscape materials of various heights to create a landscape screen. Varieties of evergreen trees should be spaced a minimum of 20 to 25 feet on-center with tall shrubs in between to create layers of landscaping. Walls shall be covered with vines and other plant types that provide a sense of security.



ELEVATION

SCALE: N.T.S.



PLAN VIEW

SCALE: N.T.S.

Commercial Entry Concept

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

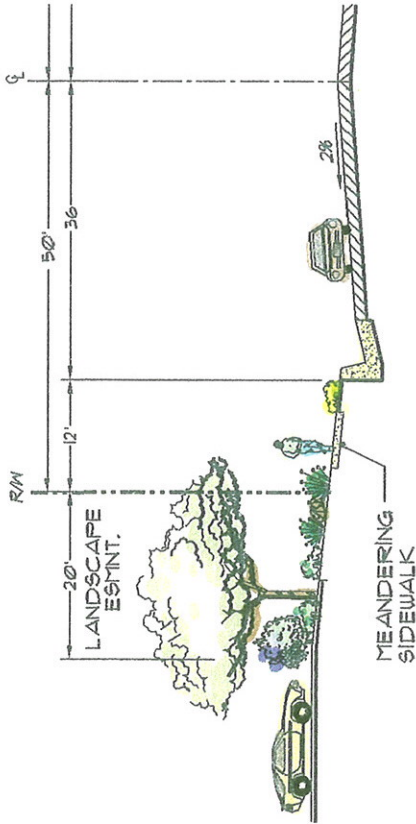


NOT TO SCALE



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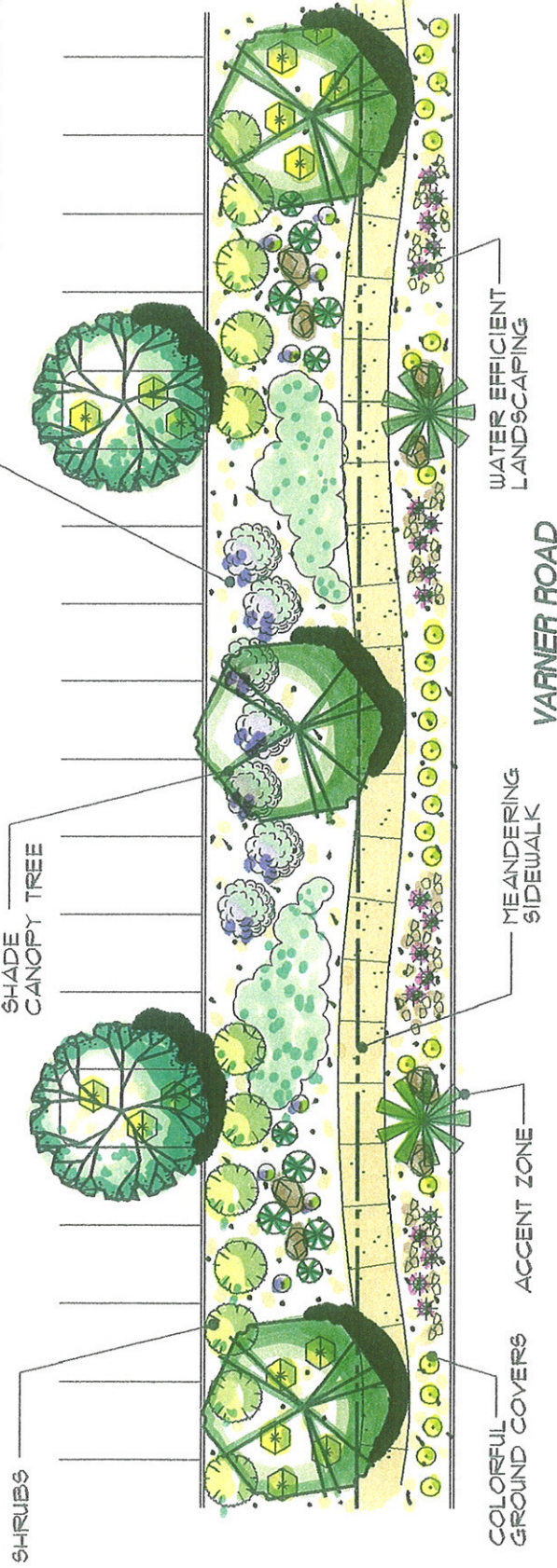
EXHIBIT 5-18



SECTION - VARNER ROAD

SCALE: N.T.S.

LANDSCAPE DESIGN MAINTAINS COMMERCIAL VISIBILITY FROM VARNER ROAD AND I-10 FREEWAY



PLAN VIEW - VARNER ROAD

SCALE: N.T.S.

Varner Road Commercial Streetscape

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

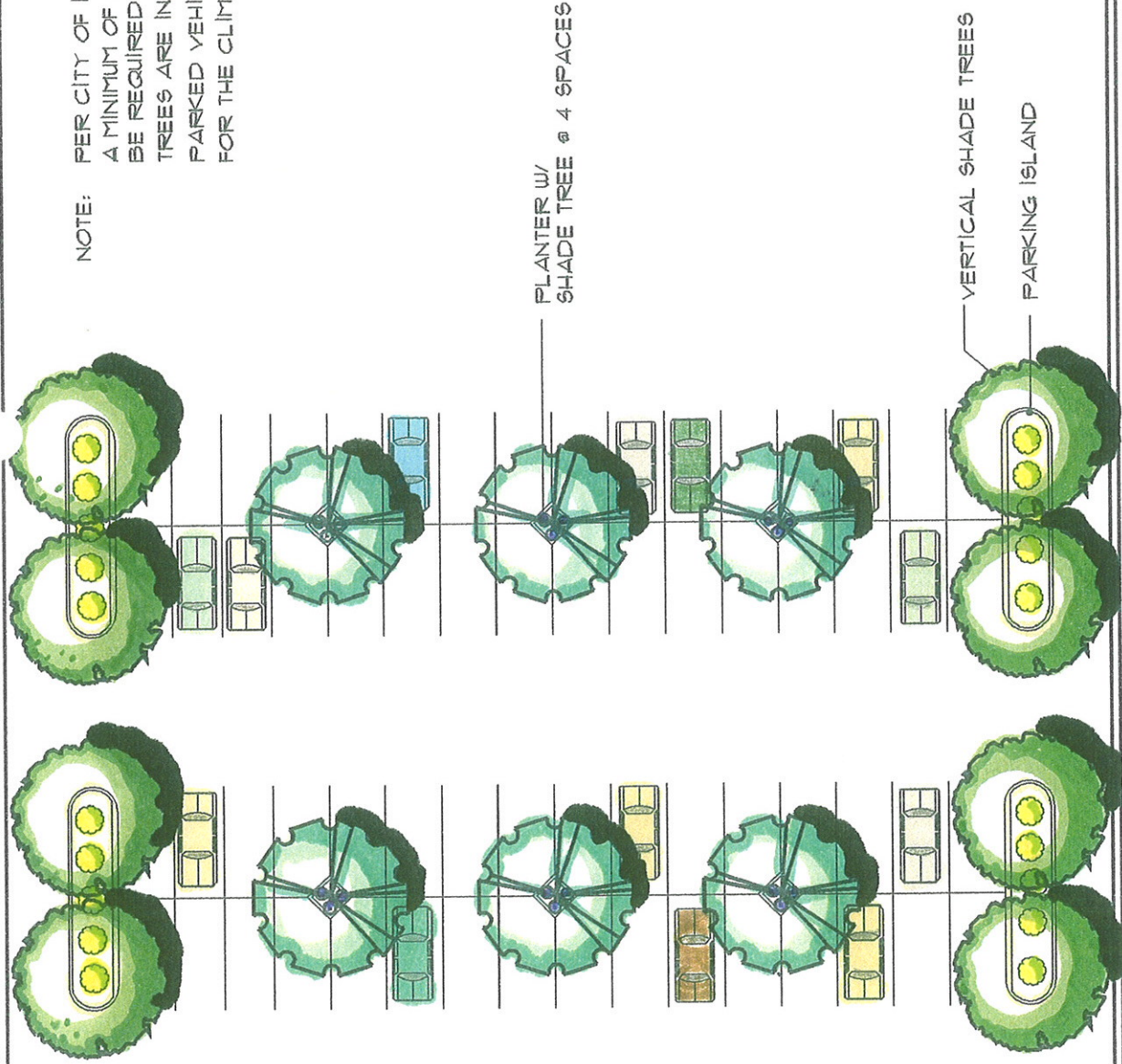
NOT TO SCALE



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EXHIBIT 5-19

NOTE: PER CITY OF INDIO ZONING REGULATIONS A MINIMUM OF ONE 24 INCH BOX TREE SHALL BE REQUIRED FOR EACH FOUR SPACES. TREES ARE INTENDED TO PROVIDE SHADE TO PARKED VEHICLES AND SHALL BE ADAPTED FOR THE CLIMATE OF THE COACHELLA VALLEY.



Commercial Parking Concept

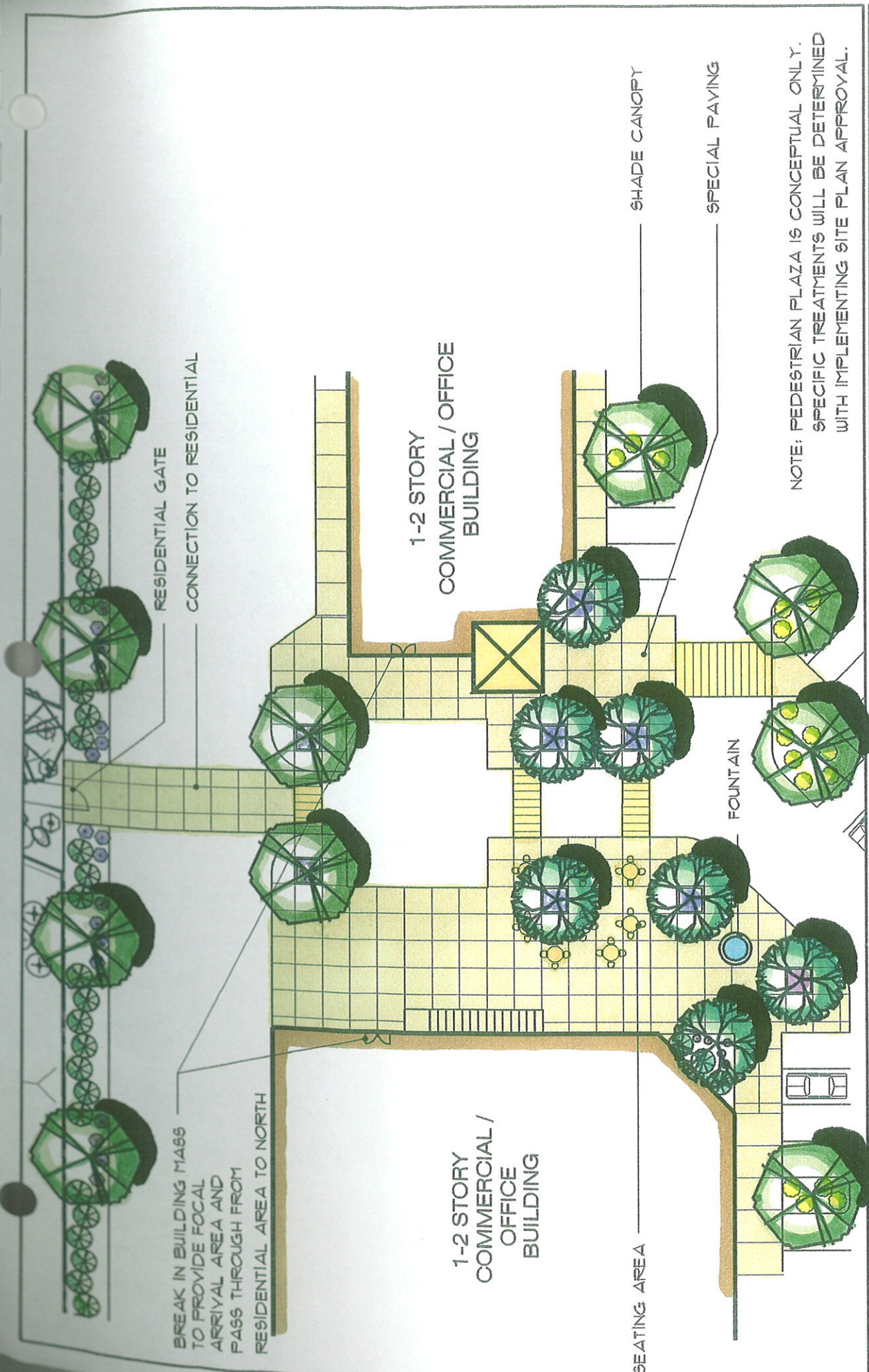
"AVANTE" (TTM 33239) PROJECT MASTER PLAN

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EXHIBIT 5-20



Pedestrian Plaza Concept

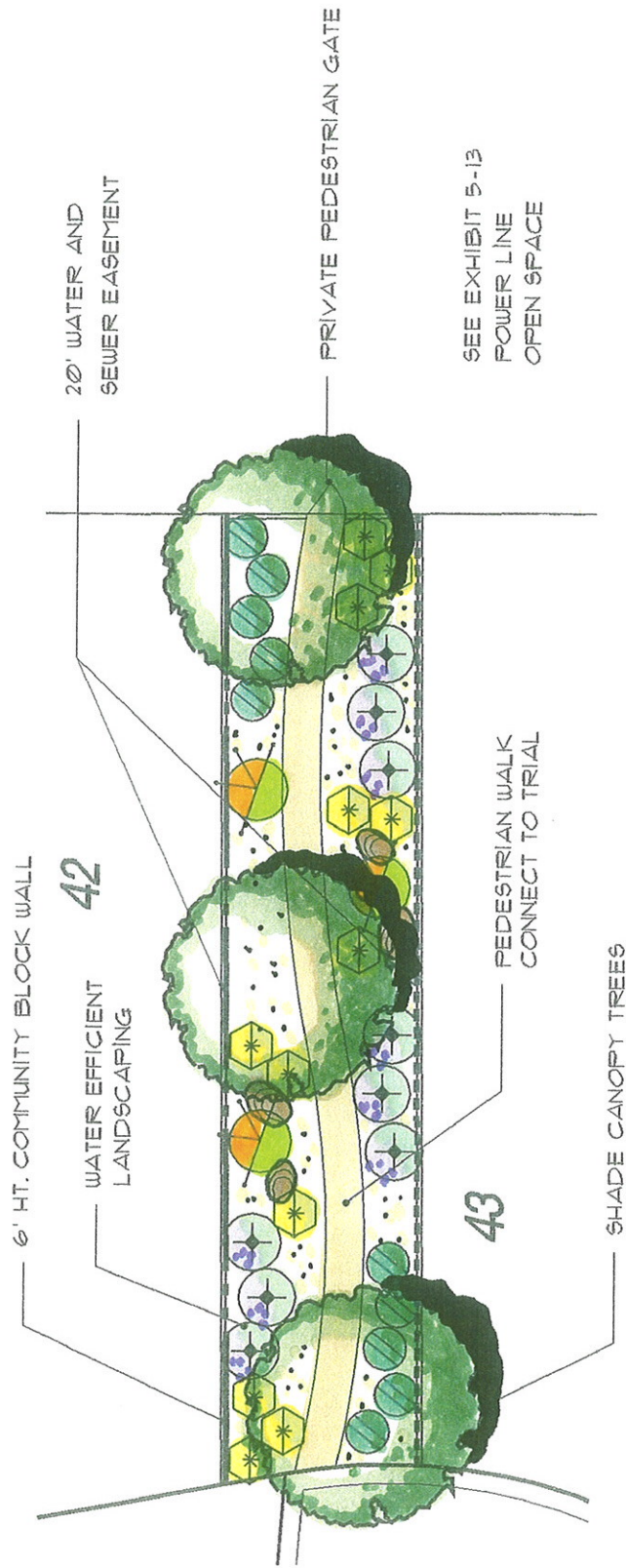
"AVANTE" (TTM 33239) PROJECT MASTER PLAN

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EXHIBIT 5-21



Pedestrian Linkage Concept

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE

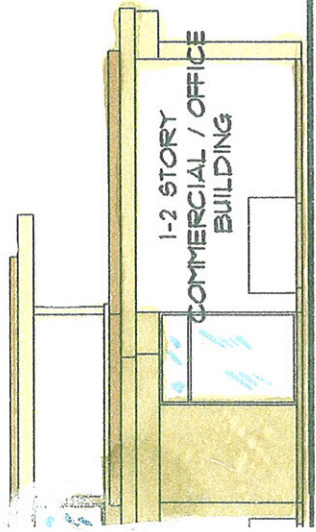


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EXHIBIT 5-22

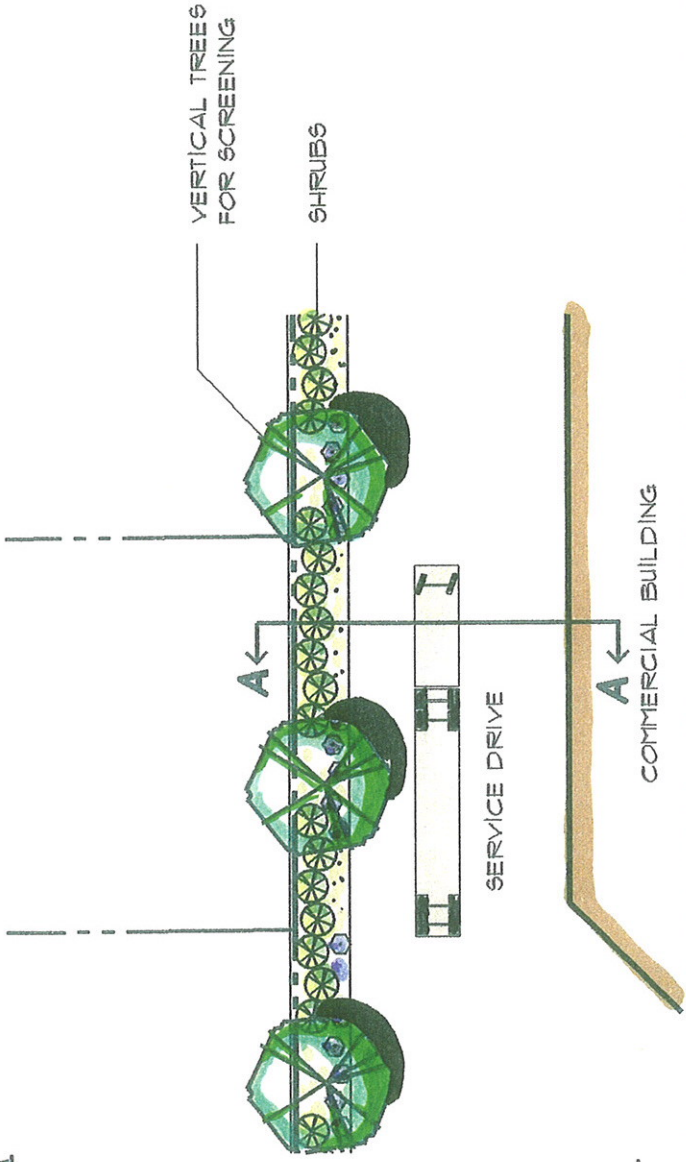
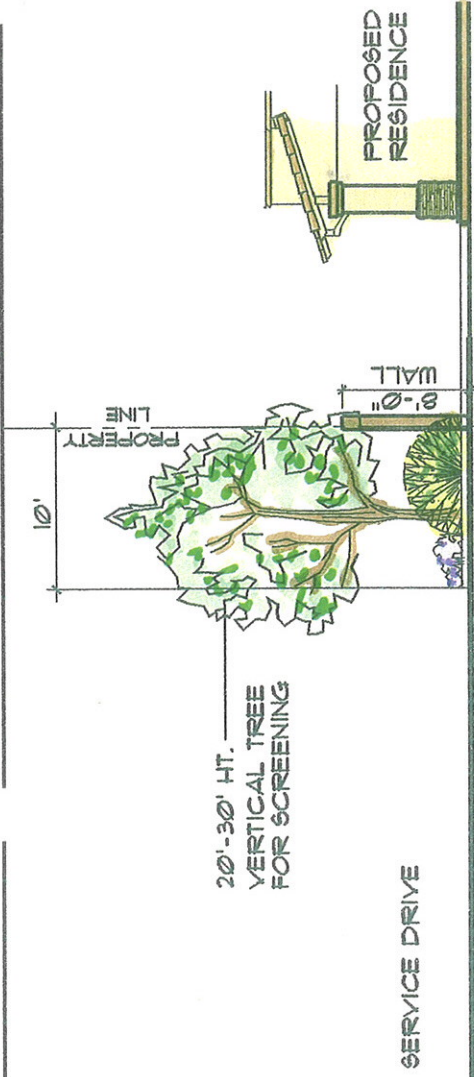


DePalatis Associates
PLANNING & ENVIRONMENTAL SERVICES



SECTION A-A

SCALE: N.T.S.



PLAN VIEW

SCALE: N.T.S.

Commercial-Residential Buffer Zone

"AVANTE" (TTM 33239) PROJECT MASTER PLAN

NOT TO SCALE



TKD

EXHIBIT 5-23



5.6.5 Commercial Monuments, Signs and Lighting (See Exhibits 5-24, 5-25)

Commercial monuments and signs shall reflect the character of the architectural theme. Quality materials shall be used. No interior lighted or "can" signs with Plexiglas faces will be permitted. A comprehensive signage program shall be developed for the entire center. Lighting standards and fixtures should compliment the architectural style and theme. Parking lot standards should be limited to 16'. All fixtures that are adjacent to residential areas shall have a internal cut-off shield to prevent glare.

5.7 LANDSCAPE PLAN PREPARATION

Landscape and irrigation plans for the community commons, passive open space/retention areas, linear paseo, streetscapes, entry treatments and park/retention areas shall be prepared by a licensed landscape architect. Landscape and irrigation plans shall be approved by the Development Services Department. The applicant shall submit landscape and irrigation construction plans to the Public Works Department for review and approval. The plans are not approved for construction until they have been approved and signed by City staff and the Riverside County Agricultural Commissioner. Landscape areas shall have permanent irrigation improvements meeting the requirements of the City Director of Public Works. The developer shall ensure that landscaping plans and utility plans are coordinated to provide visual screening of above-ground utility structures.

5.8 Plant Palette

Table 5-1 provides a general plant palette for the Avante project. The goal for the landscaping within the project site is to provide the look of quality while providing a water efficient design. All plant materials should be selected for both their drought tolerance and their aesthetic qualities. Landscaping should blend use of water efficient and lush appearing materials for maximum visual impact with minimum water usage. The design of all irrigation systems shall maximize water efficiency, drip irrigation shall be used for groundcovers, shrubs and trees not in located in turf areas. Deep watering system shall be used on all trees to keep root systems away from structures and hardscape. The design of the irrigation system shall minimize unnecessary overspray and runoff, and to develop strong plants capable of withstanding the wind.



Commercial Monument Signage

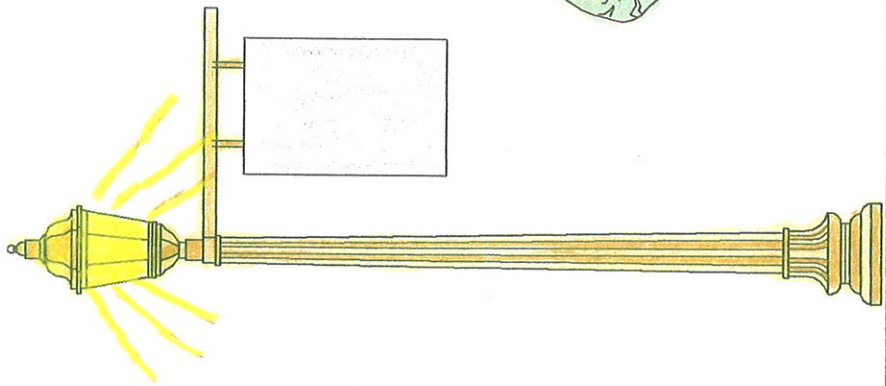
"AVANTE" (TTM 33239) PROJECT MASTER PLAN

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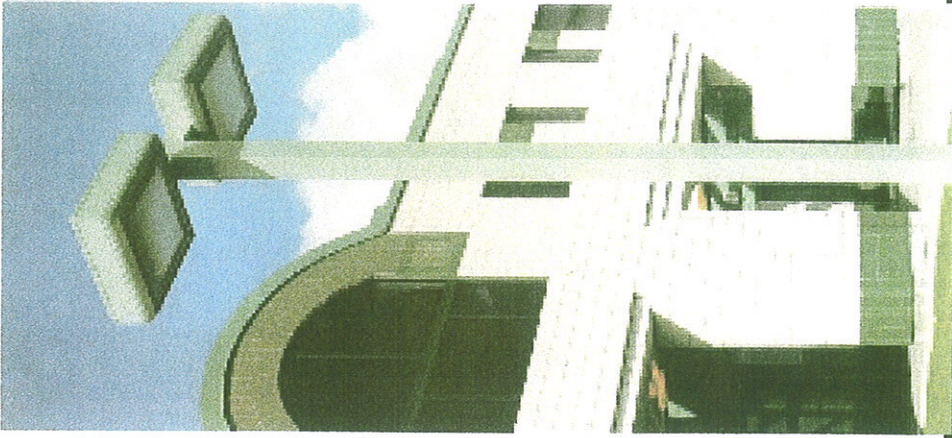


EXHIBIT 5-24





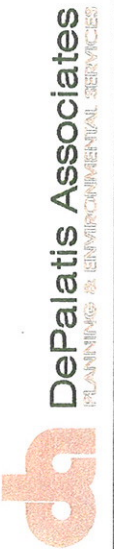
PLAZA LIGHTING
SCALE: N.T.S.



PARKING LOT LIGHTING
SCALE: N.T.S.



Commercial Lighting
"AVANTE" (TTM 33239) PROJECT MASTER PLAN



NOT TO SCALE



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EXHIBIT 5-25

TABLE 5-1	
RECOMMENDED PLANT MATERIAL PALETTE	
Botanical Name	Common Name
PALMS	
Brahea armata	Mexican blue palm
Butia Capitata	Pindo Palm
Chamaerops humillis	Mediterranean fan palm
Phoenix dactylifera	Date Palm
Washingtonia Filfera	California fan palm
Washingtonia robusta	Mexican fan palm
TREES	
Citrus	Citrus sp.
Acacia Salicina	Willow acacia
Acacia smallii	Sweet acacia
Cercidium paraecox	Sonoran palo verde
Eucalyptus papuana	Ghost gum
Fraxinus udei 'Majestic Beauty'	Evergreen ash
Quercus virginiana	Southern live oak
Prosopis chilensis (thornless)	Thornless Chilean Mesquite
Schinus molle	California pepper tree
Tipuana Tipu	Tipu tree
Ulmus Parvifolia	Evergreen elm
ACCENTS / GRASSES	
Beaucarnea recurvata	Ponytail palm
Dasyllirion longissima	Mexican grass tree
Dailirion whelleri	Desert spoon
Muhlenbergia capillaries	Regal Mist
Muhlenbergia lindheimeri	Autumn Glow
Muhlenbergia rigens	Dear grass
Nolina nelsoni	Blue nolina

SHRUBS	
Bougainvillea sp.	Bougainvillea
Caesalpinia pulcherrima	Red Bird of Paradise
Calliandra erlophylla	Pink fairy duster
Carissa g. 'Boxwood Beauty'	Boxwood Beauty Natal Plum
Cassia artemesoides	Desert cassis
Cassia nemophila	Bushy senna [#]
Chrysactinia mexicana	Damiantia
Cordia parvifolia	Little leaf cordia
Dodonaea viscosa	Hopseed bush
Encillia farinosa	Brittlebush
Ericameria laricifolia	Turpentine bush
Fouquieria splendens	Octillo
Hesperaloe parviflora	Red hesperaloe
Leocophyllum sp.	Texas ranger
Nerium oleander 'Petite Pink'	Dward oleander
Opuntia sp.	Opuntia
Penstemon sp.	Penstemon
Ruellia brittoniana 'Katie'	Ruellia
Ruellia peninsularis	Desert ruellia
Salvia greggii	Red salvia
Salvia leucantha	Mexican bush sage
Thevetia peruviana	Yellow oleander
Tecoma stans v. angusta	Yellow bells
Yucca recurvifolia	Yucca pendula
VINES AND GROUNDCOVER	
Baccharis 'Thompson S'	Baccharis
Bougainvillea 'Barbara Karst'	Bougainvillea
Calliandra inaequilatera	Pink Powder Puff
Dalea capitata 'Sierra Gold'	'Sierra Gold' TM
Hymenoxys acaulis	Angelita daisy

Lantana 'New Gold'	'New Gold' lantana
Lantana montevidensis	Purple lantana
Melampodium leucanthum	Backfoof daisy
Oenothera berlandieri	Mexican evening primrose
Verbena gooddingii	Verbena
2" Depth Desert Gold	Decomposed Granite
2'-4' dia. Cresta Boulders	
Desert Gold	2" Depth
2' - 4' dia. Cresta Boulders	
Sod	
Hybrid Bermuda	

6.0 PROJECT IMPLEMENTATION

6.1 PURPOSE

An Implementation Program is hereby established to meet the goals of the project. The program contains a number of legal, procedural and administrative elements. The purpose of this section is to familiarize the City agencies and decision-makers as well as interested citizens with the applicant's goals and intentions for the project. The requirements and procedures for meeting the Implementation Program goals will be processed concurrently. Upon adoption of the Project Master Plan (PMP) and Mitigated Negative Declaration (MND), the Implementation Program will summarize the requirements listed in this section for development occurring within the Avante project.

6.2 IMPLEMENTATION COMPONENTS

According to Government Code 65451 of the California Planning Law, Project Master Plans shall include a program for implementation including regulations, conditions, programs and additional measures as necessary to carry out the plan. In response to this requirement, the Implementation Program for the Avante PMP includes the following:

- Adoption and Administration of the Project Master Plan
- Adoption of the Mitigated Negative Declaration
- Review and Approval of Grading and Improvement Plans
- Identification of Financing Mechanisms
- Establishment of Maintenance Entities

6.2.1 Adoption and Administration of Project Master Plan

The Avante PMP will be adopted by ordinance of the Indio City Council. Adoption of the PMP defines land use and development standards for the project area which shall supersede current zoning regulations.

Specific land use regulations are designed to be implemented in conjunction with the City of Indio Zoning Ordinance. In the event regulations and standards are not specified within the PMP document, the provisions of the City of Indio shall be used to regulate that specific aspect of development. In instances where the zoning code and PMP differ, the PMP shall govern. The City shall enforce the provisions of the Avante Project Master Plan, and City Zoning and Subdivision Codes for all development within the PMP.

Minor deviations to development standards, street locations, retention basin locations, finished pad elevations and other project features/components as depicted in the Avante PMP may be approved by the Director of Community Development Services.

6.2.2 Environmental Review and Monitoring Program

A Mitigated Negative Declaration (MND) is being prepared for the proposed project according to CEQA requirements. The MND will address the potential environmental effects of the proposed project, as well as measures to effectively mitigate significant impacts. As the lead agency under CEQA, the City will review the EA and certify it as adequate before approval of the PMP by the City Council. A Mitigation Monitoring and Reporting Program (MMRP) shall be prepared and implemented by the City to ensure the application of all project mitigations.

6.2.3 Improvement Plans

Engineered improvement plans will be submitted to the City of Indio and other responsible agencies for review and approval. Improvement plans typically include grading, street, water, sewer, and drainage plans among others as required by the City. The review of improvement plans is a standard City protocol and ensures that projects are engineered in accordance with the public health, safety and welfare.

6.2.4 Financing Mechanisms

The major infrastructure and facilities within the PMP and off site areas will be financed through appropriate funding mechanisms acceptable to the City of Indio, which may include private and/or developer financing; community facilities district(s); the formation of one or more assessment district(s); the application of funds from City, County, State and other agency programs; and/or other financing mechanism accepted by the City.

6.2.5 Maintenance Entities

Formation and successful operation of a Residential Homeowners' Association (HOA) and a Commercial/Office Property Owners' Association (POA) is important in achieving the long-term quality of the Avante mixed use project. It is anticipated that ongoing maintenance of private streets and common areas internal to the project will be the responsibility of these private entities as well as possible responsibility for maintenance of landscaping related to public perimeter streets.

Residential Home Owners' Association

A permanent private home owners' association shall be formed to take ownership and maintenance responsibility for residential common areas identified in the PMP. These include common recreation, park, retention, pathway, open space, circulation, lighting and landscape components of the project. The HOA will also be responsible for maintaining landscaped parkways and medians related to Varner Road (Avenue 42) if an alternate entity such as a Landscape Maintenance District is not established. Conditions Covenants and Restrictions (CC&Rs) governing HOA responsibilities and operations shall be provided to the City for review and approval.

Commercial Property Owners' Association

Likewise, a permanent private property owner's association shall be formed to take ownership and maintenance responsibility for common areas established on subsequent

implementing projects within the Commercial/Office complex. The POA will also be responsible for maintaining landscaped parkways and medians related to Varner Road (Avenue 42) if an alternate entity such as a Landscape Maintenance District is not established. Conditions Covenants and Restrictions (CC&Rs) governing POA responsibilities and operations shall be provided to the City for review and approval.

Project Roadways

All public roadways and private streets shall be designed and constructed according to standards acceptable to the City of Indio. All public roadways will be offered for dedication to the City of Indio for ongoing ownership, operation and maintenance. All private residential streets shall be owned, operated and maintained by the project Home Owners' Association.

6.3 DESIGN REVIEW

Residential Design Review

All residential architecture, typical front yard landscaping and common area landscaping shall be subject to design review in accordance with the City of Indio Municipal Code, Title XV, Chapter 159.720 unless modified below. The design review shall be limited to the project architecture, typical front yard landscape and common area landscape design only. All other aspects of the project, including the location and amount of streets, number of residential lots and amount & configuration of common open space has been decided by the Planning Commission and City Council with approval of the Avante PMP and TTM 33239.

Section 159.721 is modified as follows:

Only the following information is required for the design review application:

- Name and address of applicant or authorized agent
- Address and legal description of property
- Typical plot plans and building elevations, fully dimensioned, indicating the type and typical location of residential buildings and accessory structures and common landscape area planting, hardscape and recreation amenities . Elevations shall be of sufficient detail to indicate the type and color of materials to be employed. Screening, landscape and irrigation plans shall be included in the plans.
- A list of all owners of property located within 300 feet of the exterior boundaries of the subject property; the list shall be keyed to a map showing the location of these properties.

Section 159.725 is modified as follows:

The Commission may grant approval of project architecture and common area landscape as it was applied for or in modified form, or the application may be denied. Approval may be granted for a limited time period, or may be granted subject to such conditions as the commission may prescribe. Conditions shall be limited to those improving or enhancing the project architecture or landscape design.

Section 159.726 is deleted since the findings for location of residential uses have already been made with approval of the PMP.

Commercial/Office Design Review

All commercial/office development shall be subject to design review in accordance with the City of Indio Municipal Code, Title XV, Chapter 159.720 for permitted uses and Chapter 159.750 for conditional uses.

6.4 ADMINISTRATIVE DESIGN REVIEW

Residential and commercial signage programs shall be developed for the PMP area that addresses project identification, street identification, neighborhood identification, entry directories and building address signage as appropriate. These programs shall be submitted for review and administrative approval by the Director of Community Development Services in accordance with the provisions of the City of Indio Sign Ordinance, Title XV, Chapter 150 and the development guidelines provided in Chapter 5.0 of the Avante PMP.

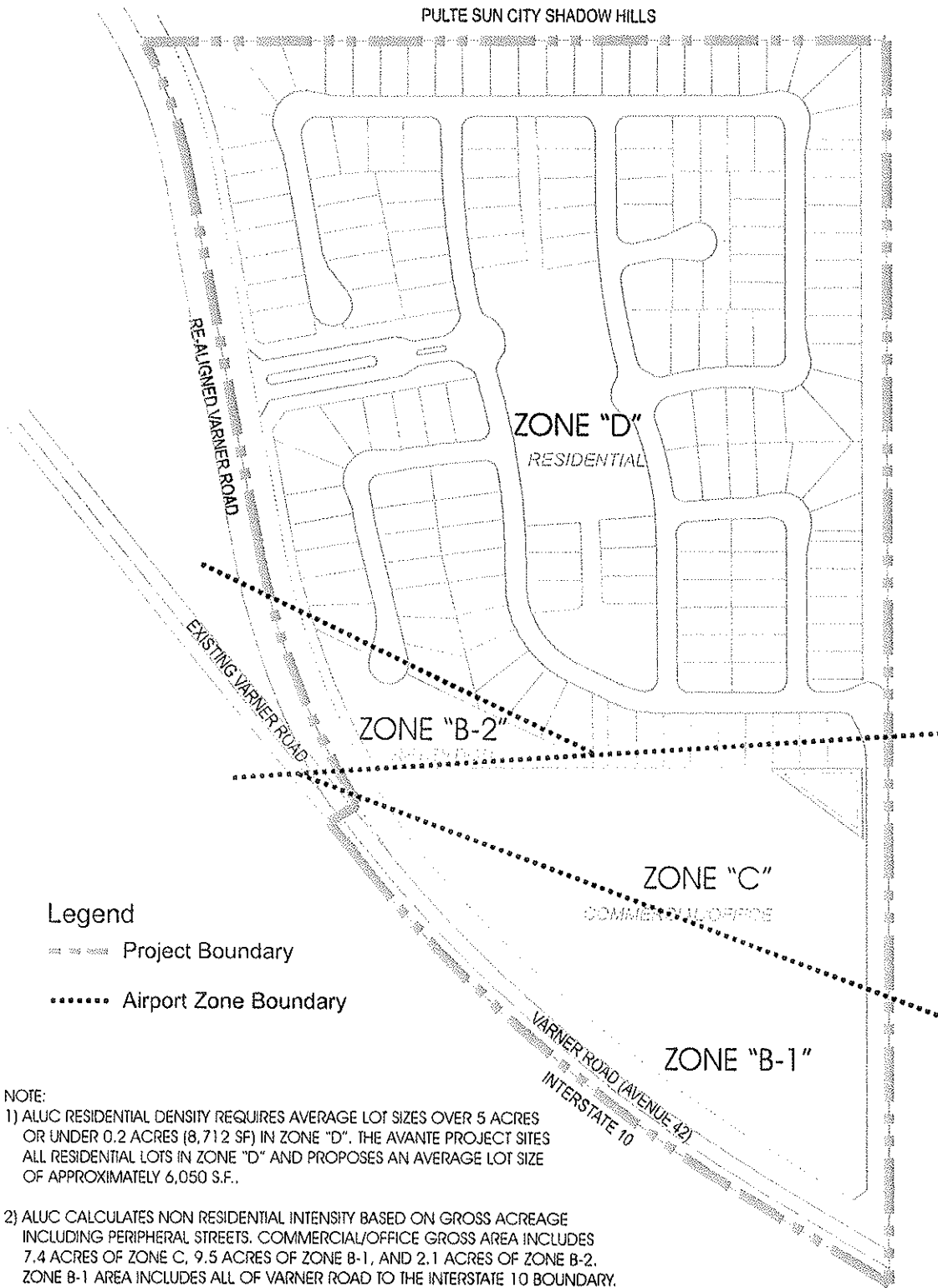
APPENDIX A

Riverside County Airport Land Use Compatibility Plan

Note: This section includes relevant excerpts from the Riverside County Airport Land Use Compatibility Plan and an exhibit showing the Airport Compatibility zones overlaid over the project. The entire document is available on line at www.rcaluc.org.

"Avante" Project Master Plan

PULTE SUN CITY SHADOW HILLS



Legend

- - - - - Project Boundary
- Airport Zone Boundary

NOTE:

- 1) ALUC RESIDENTIAL DENSITY REQUIRES AVERAGE LOT SIZES OVER 5 ACRES OR UNDER 0.2 ACRES (8,712 SF) IN ZONE "D". THE AVANTE PROJECT SITES ALL RESIDENTIAL LOTS IN ZONE "D" AND PROPOSES AN AVERAGE LOT SIZE OF APPROXIMATELY 6,050 S.F..
- 2) ALUC CALCULATES NON RESIDENTIAL INTENSITY BASED ON GROSS ACREAGE INCLUDING PERIPHERAL STREETS. COMMERCIAL/OFFICE GROSS AREA INCLUDES 7.4 ACRES OF ZONE C, 9.5 ACRES OF ZONE B-1, AND 2.1 ACRES OF ZONE B-2. ZONE B-1 AREA INCLUDES ALL OF VARNER ROAD TO THE INTERSTATE 10 BOUNDARY.

Airport Compatibility Zones

"AVANTE" (TTM 33239) PROJECT MASTER PLAN



Zone	Locations	Maximum Densities / Intensities				Req'd Open Land ³	Additional Criteria	
		Residential (d.u./ac) ¹	Other Uses (people/ac) ²				Prohibited Uses ⁴	Other Development Conditions ⁶
			Average ⁶	Single Acre ⁷	with Bonus ⁸			
A	Runway Protection Zone and within Building Restriction Line	0	0	0	0	All Remaining	<ul style="list-style-type: none"> > All structures except ones with location set by aeronautical function > Assemblages of people > Objects exceeding FAR Part 77 height limits > Storage of hazardous materials > Hazards to flight ⁹ 	<ul style="list-style-type: none"> > Avigation easement dedication
B1	Inner Approach/Departure Zone	0.05 (average parcel size ≥20.0 ac.)	25	50	65	30%	<ul style="list-style-type: none"> > Children's schools, day care centers, libraries > Hospitals, nursing homes > Places of worship > Bldgs with >2 aboveground habitable floors > Highly noise-sensitive outdoor nonresidential uses ¹⁰ > Aboveground bulk storage of hazardous materials ¹¹ > Critical community infrastructure facilities ¹² > Hazards to flight ⁹ 	<ul style="list-style-type: none"> > Locate structures maximum distance from extended runway centerline > Minimum NLR of 25 dB in residences (including mobile homes) and office buildings ¹³ > Airspace review required for objects > 35 feet tall ¹⁴ > Avigation easement dedication
B2	Adjacent to Runway	0.1 (average parcel size ≥10.0 ac.)	100	200	260	No Req't	Same as Zone B1	<ul style="list-style-type: none"> > Locate structures maximum distance from runway > Minimum NLR of 25 dB in residences (including mobile homes) and office buildings ¹³ > Airspace review required for objects > 35 feet tall ¹⁴ > Avigation easement dedication
C	Extended Approach/Departure Zone	0.2 (average parcel size ≥5.0 ac.)	75	150	195	20%	<ul style="list-style-type: none"> > Children's schools, day care centers, libraries > Hospitals, nursing homes > Bldgs with >3 aboveground habitable floors > Highly noise-sensitive outdoor nonresidential uses ¹⁰ > Hazards to flight ⁹ 	<ul style="list-style-type: none"> > Minimum NLR of 20 dB in residences (including mobile homes) and office buildings ¹³ > Airspace review required for objects > 70 feet tall ¹⁵ > Deed notice required
D	Primary Traffic Patterns and Runway Buffer Area	(1) ≤0.2 (average parcel size ≥5.0 ac.) or ¹⁶ (2) ≥5.0 (average parcel size ≤0.2 ac.)	100	300	390	10%	<ul style="list-style-type: none"> > Highly noise-sensitive outdoor nonresidential uses ¹⁰ > Hazards to flight ⁹ 	<ul style="list-style-type: none"> > Airspace review required for objects > 70 feet tall ¹⁵ > Children's schools, hospitals, nursing homes discouraged ¹⁷ > Deed notice required
E	Other Airport Environs	No Limit	No Limit ¹⁸			No Req't	<ul style="list-style-type: none"> > Hazards to flight ⁹ 	<ul style="list-style-type: none"> > Airspace review required for objects > 100 feet tall ¹⁵ > Major spectator-oriented sports stadiums, amphitheaters, concert halls discouraged beneath principal flight tracks ¹⁸
*	Height Review Overlay	Same as Underlying Compatibility Zone			Not Applicable	Same as Underlying Compatibility Zone	<ul style="list-style-type: none"> > Airspace review required for objects > 35 feet tall ¹⁴ > Avigation easement dedication 	

Table 2A

Basic Compatibility Criteria

NOTES:

- ¹ Residential development must not contain more than the indicated number of dwelling units (excluding secondary units) per gross acre. Clustering of units is encouraged. See Policy 4.2.5 for limitations. Gross acreage includes the property at issue plus a share of adjacent roads and any adjacent, permanently dedicated, open lands. Mixed-use development in which residential uses are proposed to be located in conjunction with nonresidential uses in the same or adjoining buildings on the same site shall be treated as nonresidential development. See Policy 3.1.3(d).
- ² Usage intensity calculations shall include all people (e.g., employees, customers/visitors, etc.) who may be on the property at a single point in time, whether indoors or outside.
- ³ Open land requirements are intended to be applied with respect to an entire zone. This is typically accomplished as part of a community general plan or a specific plan, but may also apply to large (10 acres or more) development projects. See Policy 4.2.4 for definition of open land.
- ⁴ The uses listed here are ones that are explicitly prohibited regardless of whether they meet the intensity criteria. In addition to these explicitly prohibited uses, other uses will normally not be permitted in the respective compatibility zones because they do not meet the usage intensity criteria.
- ⁵ As part of certain real estate transactions involving residential property within any compatibility zone (that is, anywhere within an airport influence area), information regarding airport proximity and the existence of aircraft overflights must be disclosed. This requirement is set by state law. See Policy 4.4.2 for details. Easement dedication and deed notice requirements indicated for specific compatibility zones apply only to new development and to reuse if discretionary approval is required.
- ⁶ The total number of people permitted on a project site at any time, except rare special events, must not exceed the indicated usage intensity times the gross acreage of the site. Rare special events are ones (such as an air show at the airport) for which a facility is not designed and normally not used and for which extra safety precautions can be taken as appropriate.
- ⁷ Clustering of nonresidential development is permitted. However, no single acre of a project site shall exceed the indicated number of people per acre. See Policy 4.2.5 for details.
- ⁸ An intensity bonus may be allowed if the building design includes features intended to reduce risks to occupants in the event of an aircraft collision with the building. See Policy 4.2.6 for details.
- ⁹ Hazards to flight include physical (e.g., tall objects), visual, and electronic forms of interference with the safety of aircraft operations. Land use development that may cause the attraction of birds to increase is also prohibited. See Policy 4.3.7.
- ¹⁰ Examples of highly noise-sensitive outdoor nonresidential uses that should be prohibited include amphitheaters and drive-in theaters. Caution should be exercised with respect to uses such as poultry farms and nature preserves.
- ¹¹ Storage of aviation fuel and other aviation-related flammable materials on the airport is exempted from this criterion. Storage of up to 6,000 gallons of nonaviation flammable materials is also exempted. See Policy 4.2.3(c) for details.
- ¹² Critical community facilities include power plants, electrical substations, and public communications facilities. See Policy 4.2.3(d) for details.
- ¹³ NLR = Noise Level Reduction, the outside-to-inside sound level attenuation that the structure provides. See Policy 4.1.6.
- ¹⁴ Objects up to 35 feet in height are permitted. However, the Federal Aviation Administration may require marking and lighting of certain objects. See Policy 4.3.6 for details.
- ¹⁵ This height criterion is for general guidance. Shorter objects normally will not be airspace obstructions unless situated at a ground elevation well above that of the airport. Taller objects may be acceptable if determined not be obstructions. See Policies 4.3.3 and 4.3.4.
- ¹⁶ Two options are provided for residential densities in *Compatibility Zone D*. Option (1) has a density limit of 0.2 dwelling units per acre (i.e., an average parcel size of at least 5.0 gross acres). Option (2) requires that the density be *greater than* 5.0 dwelling units per acre (i.e., an average parcel size *less than* 0.2 gross acres). The choice between these two options is at the discretion of the local land use jurisdiction. See Table 2B for explanation of rationale. All other criteria for *Zone D* apply to both options.
- ¹⁷ Discouraged uses should generally not be permitted unless no feasible alternative is available.
- ¹⁸ Although no explicit upper limit on usage intensity is defined for *Zone E*, land uses of the types listed—uses that attract very high concentrations of people in confined areas—are discouraged in locations below or near the principal arrival and departure flight tracks. This limitation notwithstanding, no use shall be prohibited in *Zone E* if its usage intensity is such that it would be permitted in *Zone D*.

Table 2A, continued

Methods for Determining Concentrations of People

One criterion used in the *Riverside County Airport Land Use Compatibility Plan* is the maximum number of people per acre that can be present in a given area at any one time. If a proposed use exceeds the maximum density, it is considered inconsistent with compatibility planning policies. This appendix provides some guidance on how the people-per-acre determination can be made.

The most difficult part about making a people-per-acre determination is estimating the number of people likely to use a particular facility. There are several methods which can be utilized, depending upon the nature of the proposed use:

- ▶ **Parking Ordinance**—The number of people present in a given area can be calculated based upon the number of parking spaces provided. Some assumption regarding the number of people per vehicle needs to be developed to calculate the number of people on-site. The number of people per acre can then be calculated by dividing the number of people on-site by the size of the parcel in acres. This approach is appropriate where the use is expected to be dependent upon access by vehicles. Depending upon the specific assumptions utilized, this methodology typically results in a number in the low end of the likely intensity for a given land use.
- ▶ **Maximum Occupancy**—The Uniform or California Building Code can be used as a standard for determining the maximum occupancy of certain uses. The chart provided as Table C1 indicates the required number of square feet per occupant. The number of people on the site can be calculated by dividing the total floor area of a proposed use by the minimum square feet per occupant requirement listed in the table. The maximum occupancy can then be divided by the size of the parcel in acres to determine the people per acre. Surveys of actual occupancy levels conducted by various agencies have indicated that many retail and office uses are generally occupied at no more than 50% of their maximum occupancy levels, even at the busiest times of day. Therefore, the number of people calculated for office and retail uses should usually be adjusted (50%) to reflect the actual occupancy levels before making the final people per acre determination. Even with this adjustment, the UBC-based methodology typically produces intensities at the high end of the likely range.
- ▶ **Survey of Similar Uses**—Certain uses may require an estimate based upon a survey of similar uses. This approach is more difficult, but is appropriate for uses which because of the nature of the use, cannot be reasonably estimated based upon parking or square footage.

Table C2 shows sample calculations.

APPENDIX C METHODS FOR DETERMINING CONCENTRATIONS OF PEOPLE

<u>Use</u>	<u>Minimum Square Feet per Occupant</u>
1. Aircraft Hangars (no repair)	500
2. Auction Rooms	7
3. Assembly Areas, Concentrated Use (without fixed seats)	7
Auditoriums	
Churches and Chapels	
Dance Floors	
Lobby Accessory to Assembly Occupancy	
Lodge Rooms	
Reviewing Stands	
Stadiums	
Waiting Areas	3
4. Assembly Areas, Less Concentrated Use	15
Conference Rooms	
Dining Rooms	
Drinking Establishments	
Exhibit Rooms	
Gymnasiums	
Lounges	
Stages	
Gaming	11
5. Bowling Alley (assume no occupant load for bowling lanes)	4
6. Children's Homes and Homes for the Aged	80
7. Classrooms	20
8. Congregate Residences	200
9. Courtrooms	40
10. Dormitories	50
11. Dwellings	300
12. Exercising Rooms	50
13. Garage, Parking	200
14. Health-Care Facilities	80
Sleeping Rooms	120
Treatment Rooms	240
15. Hotels and Apartments	200
16. Kitchen – Commercial	200
17. Library Reading Room	50
Stack Areas	100
18. Locker Rooms	50
19. Malls	Varies
20. Manufacturing Areas	200
21. Mechanical Equipment Room	300
22. Nurseries for Children (Daycare)	35
23. Offices	100
24. School Shops and Vocational Rooms	50
25. Skating Rinks	50 on the skating area; 15 on the deck
26. Storage and Stock Rooms	300
27. Stores — Retail Sales Rooms	
Basements and Ground Floors	30
Upper Floors	60
28. Swimming Pools	50 for the pool area; 15 on the deck
29. Warehouses	500
30. All Others	100

Source: California Building Code (1998), Table 10-A

Table C1

Occupancy Levels—California Building Code

Example 1

Proposed Development: Two office buildings, each two stories and containing 20,000 square feet of floor area per building. Site size is 3.0 net acres. Counting a portion of the adjacent road, the gross area of the site is 3.5± acres.

A. Calculation Based on Parking Space Requirements

For office uses, assume that a county or city parking ordinance requires 1 parking space for every 300 square feet of floor area. Data for the traffic studies or other sources can be used to estimate the average vehicle occupancy. For the purposes of this example, the number of people on the property is assumed to equal 1.5 times the number of parking spaces.

The average usage intensity would therefore be calculated as follows:

- 1) 40,000 sq. ft. floor area x 1.0 parking space per 300 sq. ft. = 134 required parking spaces
- 2) 134 parking spaces x 1.5 people per space = 200 people maximum on site
- 3) 200 people ÷ 3.5 acres gross site size = 57 people per acre average for the site

Assuming that occupancy of each building is relatively equal throughout, but that there is some separation between the buildings and outdoor uses are minimal, the usage intensity for a single acre would be estimated to be:

- 1) 20,000 sq. ft. bldg. ÷ 2 stories = 10,000 sq. ft. bldg. footprint
- 2) 10,000 sq. ft building footprint ÷ 43,560 sq. ft. per acre = 0.23 acre bldg. footprint
- 3) Building footprint <1.0 acre; therefore maximum people in 1 acre = bldg. occupancy = 100 people per single acre

B. Calculation Based on Uniform Building Code

Using the UBC (Appendix C1) as the basis for estimating building occupancy yields the following results for the above example:

- 1) 40,000 sq. ft. bldg. ÷ 100 sq. ft./occupant = 400 people max. building occupancy (under UBC)
- 2) 400 people max. building occupancy x 50% adjustment = 200 people maximum on site
- 3) 200 people ÷ 3.5 acres gross site size = 57 people per acre average for the site

Conclusions: In this instance, both methodologies give the same results. For different uses and/or different assumptions, the two methodologies are likely to produce different numbers. In most such cases, the UBC methodology will indicate a higher intensity.

Table C2

Sample People-Per-Acre Calculations

Example 2

Proposed Development: Single-floor furniture store containing 24,000 square feet of floor area on a site of 1.7 net acres. Counting a portion of the adjacent road, the gross area of the site is 2.0 acres).

A. Calculation Based on Parking Space Requirements

For furniture stores, the county requires 1 parking space per 1,500 square feet of use area. Assuming 1.5 people per automobile as indicated in the Primary Compatibility Criteria table results in the following intensity estimates:

The average usage intensity would be:

- 1) 24,000 sq. ft. bldg. x 1.0 parking space per 1,500 sq. ft. = 16 required parking spaces
- 2) 16 parking spaces x 1.5 people per space = 24 people maximum on site
- 3) 24 people) 1.26 acres gross site size = 19 people per acre average for the site

Again assuming a relatively balanced occupancy throughout the building and that outdoor uses are minimal, the usage intensity for a single acre would be estimated to be:

- 1) 24,000 sq. ft. bldg. footprint) 43,560 sq. ft. per acre = 0.55 acre bldg. footprint
- 2) Building footprint < 1.0 acre; therefore maximum people in 1 acre = bldg. occupancy = 24 people per single acre

B. Calculation Based on Uniform Building Code

For the purposes of the UBC-based methodology, the furniture store is assumed to be consist of 50% retail sales floor (at 30 square feet per occupant) and 50% warehouse (at 500 square feet per occupant). Usage intensities would therefore be estimated as follows:

- 1) 12,000 sq. ft. retail floor area) 30 sq. ft./occupant = 400 people max. occupancy in retail area
- 2) 12,000 sq. ft. warehouse floor area) 500 sq. ft./occupant = 24 people max. occupancy in warehouse area
- 3) Maximum occupancy under UBC assumptions = 400 + 24 = 424 people
- 4) Assuming typical peak occupancy is 50% of UBC numbers = 212 people maximum expected at any one time
- 5) 212 people) 1.26 acres = 168 people per acre average for the site

With respect to the single-acre intensity criteria, the entire building occupancy would again be within less than 1.0 acre, thus yielding the same intensity of 168 people per single acre.

Conclusions: In this instance, the two methods produce very different results. The occupancy estimate of 30 square feet per person is undoubtedly low for a furniture store even after the 50% adjustment. On the other hand, the 19 people-per-acre estimate using the parking requirement methodology appears low, but is probably closer to being realistic. Unless better data is available from surveys of similar uses, this proposal should reasonably be considered compatible within *Zone B2* (50 people per average acre and 100 people per single acre) and potentially also compatible within *Zone B1* (25 people per average acre and 50 people per single acre).

Table C2, continued

Compatibility Guidelines for Specific Land Uses

The compatibility evaluations listed below for specific types of land uses can be used by affected jurisdictions as guidelines in implementation of the general compatibility criteria listed in Table 2A. These evaluations are not regarded as adopted ALUC policies or criteria. In case of any conflicts between these evaluations of specific land uses and the policies and criteria in Chapter 2 of this document, the contents of Chapter 2 shall prevail.

Land Use	Compatibility Zones					
	A	B1	B2	C	D	E
Agricultural Uses						
Truck and Specialty Crops	0	+	+	+	+	+
Field Crops	0	+	+	+	+	+
Pasture and Rangeland	0	+	+	+	+	+
Vineyards	0	+	+	+	+	+
Orchards	-	0	0	+	+	+
Dry Farm and Grain	0	+	+	+	+	+
Tree Farms, Landscape Nurseries and Greenhouses	-	0	0	+	+	+
Fish Farms	-	0	0	+	+	+
Feed Lots and Stockyards	-	0	0	+	+	+
Poultry Farms	-	0	0	0	+	+
Dairy Farms	-	0	0	+	+	+
Natural Uses						
Fish and Game Preserves	0	0	0	0	0	0
Land Preserves and Open Space	0	+	+	+	+	+
Flood and Geological Hazard Areas	0	+	+	+	+	+
Waterways: Rivers, Creeks, Canals, Wetlands, Bays, Lakes	0	0	0	0	0	+
Residential						
Rural Estate (2.0-10.0 acre parcels)	-	-	-	0	0	+
Rural Residential (0.5-1.0 du / acre)	-	-	-	-	-	+
Low-Density Residential (1.1-5.0 du / acre)	-	-	-	-	-	+
Medium-Density Residential (5.1-15.0 du / acre)	-	-	-	-	+	+
High-Density Residential (> 15.0 du / acre)	-	-	-	-	+	+
Mobile Home Parks	-	-	-	-	0	+

- Generally incompatible
- 0 Potentially compatible with restrictions (see Table 2A)
- + Generally compatible

Land Use	Compatibility Zones					
	A	B1	B2	C	D	E
Institutional						
Schools, Colleges and Universities	-	-	-	-	0	+
Day Care Centers	-	-	0	0	+	+
Hospitals and Residential Care Facilities	-	-	-	-	0	+
Churches	-	-	-	0	0	+
Memorial Parks / Cemeteries	-	0	+	+	+	+
Recreational						
Golf Courses (except clubhouse)	0	0	0	+	+	+
Golf Course Clubhouses	-	0	0	0	+	+
Parks low intensity; no group activities	0	+	+	+	+	+
Playgrounds and Picnic Areas	-	0	0	0	+	+
Athletic Fields (with small or no bleachers)	-	0	0	0	+	+
Spectator-Oriented Sports Complexes or Stadiums	-	-	-	-	-	0
Riding Stables	-	0	0	+	+	+
Marinas and Water Recreation	-	0	0	+	+	+
Health Clubs and Spas	-	-	0	0	0	+
Tennis Courts	-	0	0	+	+	+
Swimming Pools	-	0	0	0	0	+
Fairgrounds and Race Tracks	-	-	-	-	-	0
Resorts and Group Camps	-	-	-	0	0	+
Shooting Ranges	-	0	0	0	0	+
Industrial						
Research and Development Laboratories	-	0	0	0	+	+
Warehouses and Distribution Facilities	-	0	+	+	+	+
Manufacturing and Assembly	-	0	0	0	+	+
Cooperage and Bottling Plants	-	0	+	+	+	+
Printing, Publishing and Allied Services	-	0	+	+	+	+
Chemical, Rubber and Plastic Products	-	-	0	0	0	+
Food Processing	-	-	0	0	0	+
Commercial Uses						
Low-Intensity Retail (e.g., auto, furniture sales)	-	0	0	+	+	+
Retail Stores (1 floor)	-	0	0	0	+	+
Retail Stores (2 or 3 floors)	-	-	-	0	0	+
Large Shopping Malls (500,000+ sq. ft.)	-	-	-	-	0	+
Restaurants and Drinking Establishments (no drive-thru)	-	0	0	0	+	+
Fast Food Restaurants	-	-	0	0	0	+
Auto and Marine Services	-	0	0	+	+	+
Building Materials, Hardware and Heavy Equipment	-	0	0	+	+	+
Office Buildings (1 or 2 floors)	-	0	0	+	+	+
Office Buildings (3 floors)	-	-	-	0	0	+
Banks and Financial Institutions (1 or 2 floors)	-	0	0	+	+	+
Repair Services	-	0	0	+	+	+

- Generally incompatible
- 0 Potentially compatible with restrictions (see Table 2A)
- + Generally compatible

Land Use	Compatibility Zones					
	A	B1	B2	C	D	E
Commercial Uses, continued						
Gas Stations	-	0	0	0	+	+
Government Services / Public Buildings (1 or 2 floors)	-	0	0	0	+	+
Motels (1 or 2 floors)	-	-	-	0	+	+
Hotels and Motels (3 floors)	-	-	-	0	0	+
Theaters, Auditoriums, Large Assembly Halls	-	-	-	-	0	0
Outdoor Theaters	-	-	-	-	0	0
Truck Terminals	-	0	+	+	+	+
Any Uses with more than 3 habitable floors aboveground	-	-	-	-	0	+
Transportation, Communications and Utilities						
Aircraft Storage	0	+	+	+	+	+
Automobile Parking	0	+	+	+	+	+
Highway and Street Right-of-Ways	0	+	+	+	+	+
Railroad and Public Transit Lines	0	+	+	+	+	+
Taxi, Bus, and Train Terminals	-	0	0	+	+	+
Electrical Substations	-	0	0	0	0	+
Power Plants	-	-	-	0	0	+
Power Lines	-	0	0	0	0	+
Reservoirs	-	0	0	0	0	+
Sewage Treatment and Disposal Facilities	-	0	0	0	0	+
Sanitary Landfills	-	-	-	-	-	0

- Generally incompatible
- 0 Potentially compatible with restrictions (see Table 2A)
- + Generally compatible