



CITRUS RANCH

I N D I O

Specific Plan

City Council Approval: XXXX, 2007



Stantec

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CITRUS RANCH

A Living Experience

Citrus Ranch is a new master-planned golf course community containing approximately 3,075 residential units ranging in density from 2.5 to 14 DU/AC within an 1183 acre site located in the northern portion of the City of Indio. The community is planned to integrate comfortable residential living, diverse recreational opportunities and a boutique hotel with the surrounding natural open space of the desert.

The multiple residential neighborhoods and associated supportive land uses provide an exciting opportunity for residents of Citrus Ranch. Residents can explore wilderness trails and open space, play golf among the foothills of the mountains surrounded by the desert landscape, and stroll along the paseos and trails that connect and weave into the many neighborhoods. Majestic mountain vistas and expansive valley views are visible throughout the development.

The theme of the development reflects the historic uses of the site: an established citrus grove as well as the natural desert. Citrus tree-lined roadways, paseos, and greenbelts roam throughout the community. Nearby palm groves are also reflected in the landscaping of each planning area. Community and neighborhood parks provide a variety of recreational opportunities to the residential areas. In addition, the northern boundary of the site is characterized by a multi-functional open space recreation area that will also provide flood control management for the project.

The highlight of the community is an exceptional golf experience with several of the holes intermingling through the foothills, a driving-range nestled against the desert slopes, and a clubhouse to complement the golf operations. The 18-hole, 7,100-yard, par 72 golf course provides spectacular views of the surrounding communities and takes advantage of the natural topography of the southern portion of the site. A boutique resort hotel is located near the golf clubhouse and the community center complex and it serves as the centerpiece of one of the most unique tourist enclaves in the Coachella Valley.

Citrus Ranch also features a neighborhood community center that provides a key gathering place for residents and their guests. It includes a community building that may incorporate a weight and exercise room, a multi-purpose room, meeting rooms, and outdoor facilities that may include a pool, spas, and tennis courts.

Citrus Ranch is an exceptional community for all lifestyles and provides the ultimate integration of nature, recreation, and comfortable living.

Citrus Ranch Specific Plan

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CITRUS RANCH

I N D I O

Introduction

1.0 Introduction

The Citrus Ranch Specific Plan proposes a combination of residential neighborhoods of varying densities, a variety of neighborhood and community parks, open space that includes both formal and informal recreational opportunities, a well-designed 18-hole golf course with a first-rate clubhouse and a driving-range nestled against the Indio Hills, and a boutique hotel. The Specific Plan addresses the previously adopted *City of Indio General Plan 2020*, and systematically implements its policies through design guidelines, infrastructure plans, and open space preservation presented in this document. The development of this Specific Plan addresses consideration of several key issues including flood-control through the use of open space; pedestrian circulation and recreation opportunities via trails and parks; and mixed housing densities for a variety of living options.

1.1 OVERALL DESIGN GOALS

The Specific Plan contains all components required by California State law, as well as design guidelines and standards required by the City of Indio to implement the General Plan. The goals of this policy document are to:

- Provide a comprehensive land use plan that integrates formal and informal recreational and open space areas with mixed-density residential, in addition to providing gated roadways, private facilities, and private residential streets within the project area.
- Develop project design standards that encourage creativity.
- Establish design guidelines and land use standards to provide appropriate architectural themes for the project area that are compatible with the natural surroundings.
- Develop neighborhoods around a system of parks, open spaces, wilderness trails, and a golf course.
- Provide an extensive network of vehicular and pedestrian connections in the neighborhoods through the use of scenic paseos that are distributed throughout the plan area.
- Reflect the historic uses of the site by transplanting existing citrus and palm trees along roadways and paseos.
- Provide access patterns which minimize traffic conflicts.
- Reinforce community identity through coordination of design elements such as entry statements, signage, walls/fences and streetscapes.

These goals will be fulfilled through the detailed land use regulations, design guidelines and conceptual plans in this document.

1.2 PROJECT SETTING

Regional Project Setting

The project is located in the Eastern Coachella Valley within an unincorporated portion of Riverside County, known as the Indio Hills. The Indio Hills area is an expansive, sparsely developed, rural residential community located along the southern portion of Dillon Road, north of the current boundaries of the City of Indio (**Figure 1-1** Regional Location Map). The southern portion of the site is currently within the City of Indio Sphere-of-Influence (SOI). The parcels for development are contained in Sections 5 and 8, Township 5 South, Range 8 East. The project will require an amendment to the City of Indio SOI and annexation into the City limits.

Local Project Location

Figure 1-2 (City Limit and Sphere of Influence Exhibit) presents the location of the proposed project in relation to key elements of the surrounding street system, as well as the existing spheres of influence and city limits of Indio and Coachella. As shown, the project site is located north of Avenue 42 (extended) and west of Dillon Road.

Physical Setting

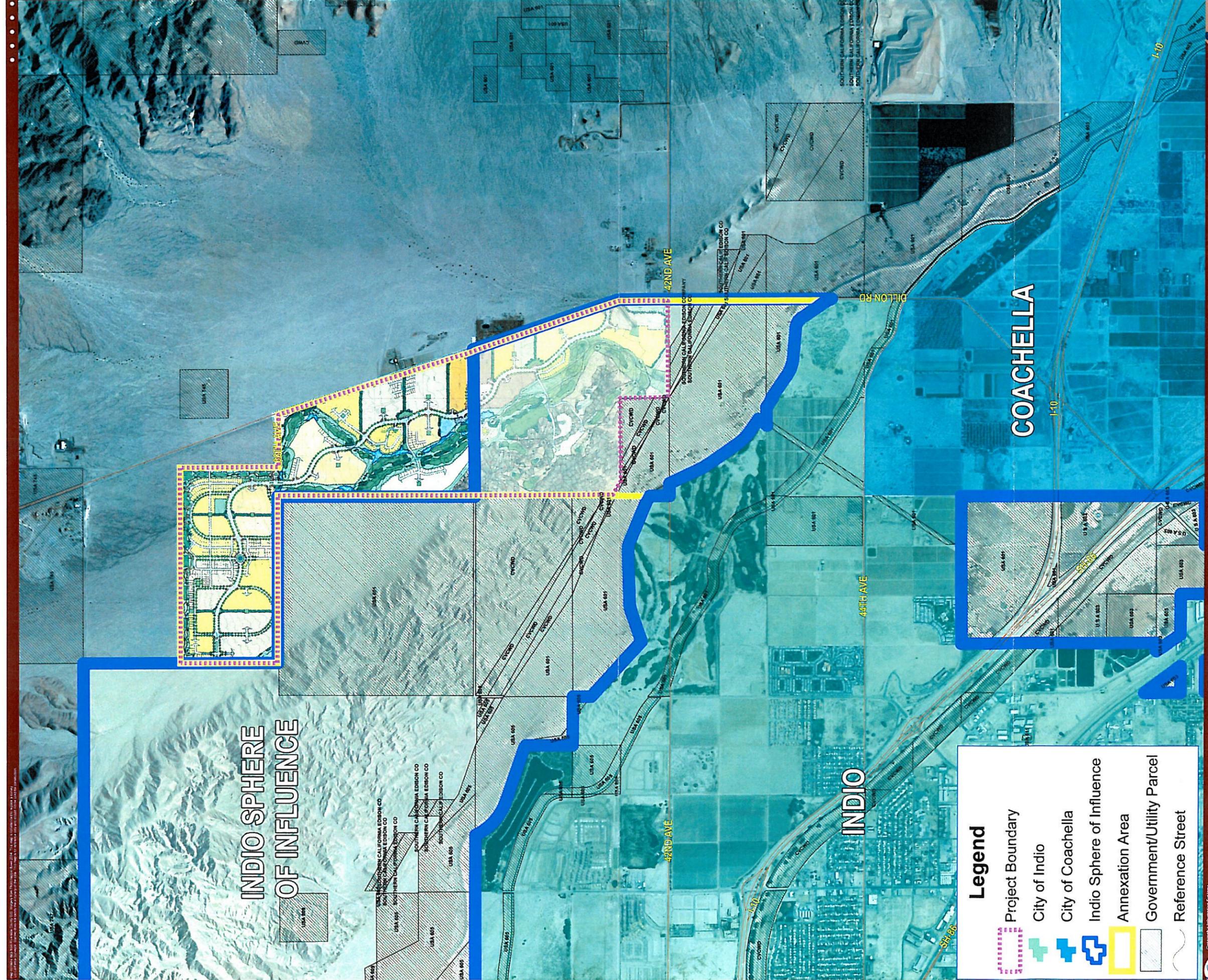
As previously mentioned, Citrus Ranch is located to the northeast of, and partially within, the Indio Hills. The southwestern portion of the site is characterized by hilly terrain while the rest of the site is a generally flat alluvial plain. **Figure 1-3** (Vicinity Map) depicts the location of the project site on an aerial photograph.

The Indio Hills in the southwest rise to a maximum elevation of about 600-feet above mean sea level (amsl). They are considered “badlands” and are severely eroded with only a sparse cover of desert shrubs. The property is located in a broad, gently sloping valley that trends in a general northwest-southeast direction between the Indio Hills and the Little San Bernardino Mountains. Most of the property is at an elevation of about 200 feet above mean sea level.

The soils on the property are part of the Chuckwalla-Badlands Association and were formed in the mixed alluvium deposited by streams through Berdoo and Fargo Canyons. Slopes on the site range from 2 to 75 percent.

Surrounding Land Uses

The project site is currently an active citrus grove surrounded by open space. Land uses surrounding the subject site consist of the following:



INDIO SPHERE OF INFLUENCE

Legend

- Project Boundary
- City of Indio
- City of Coachella
- Indio Sphere of Influence
- Annexation Area
- Government/Utility Parcel
- Reference Street

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CHURCH & DWIGHT GROUP

HSA GROUP

Geographic Information System

Figure 1-2
City Limit and Sphere of Influence Exhibit

CITRUS RANCH SPECIFIC PLAN

Introduction

January 17, 2007

- Vacant Bureau of Land Management land located to the west of the main, southern portion of the site. This is open space that will permanently remain undeveloped. This land is currently zoned Open Space – Conservation in the Riverside County Integrated Plan.
- Vacant private land located to the west of the northern portion of the project site. Both parcels directly adjacent to the site are zoned W-2-10, Controlled Development, and have a land use designation of Open Space – Rural in the Riverside County Integrated Plan.
- Vacant desert hillsides with native scrub vegetation to the south and southwest boundaries of the site. This land is currently zoned Open Space – Rural in the Riverside County Integrated Plan.
- Vacant undisturbed desert scrub habitat to the east. This land is currently zoned Open Space – Rural in the Riverside County Integrated Plan.
- Vacant undisturbed desert scrubland directly adjacent to the north, with an existing gravel mine beyond owned by James E. Simon Company. An application is currently being reviewed by the County of Riverside to expand this operation to the north border of Citrus Ranch. The subject application includes a 100-foot setback buffer along this border. This land is currently zoned Open Space – Conservation in the Riverside County Integrated Plan.

1.3 PROJECT SITE HISTORY

The project site was most recently utilized as active agricultural land and open space. Ventura Coastal Corporation owned and operated a citrus grove of approximately 380 acres that has existed on the southern parcel for approximately 65 years, along with harvesting and processing equipment. Several buildings that are used to support the citrus operation are located in the center of the grove. Around 1980, approximately 140 acres of the northern parcel were used for the installation of the citrus operation's leach field for citrus pulp, citrus acid, and other waste products. In addition, the military used the northern parcel for training purposes starting in the early 1960s and continuing through the 1980s. Most of the site is highly disturbed due to the agricultural operations as well as the use of off-road vehicles in and west of the site.



CITRUS RANCH

I N D I O

Entitlement Procedures

2.0 Entitlement Procedures

The Specific Plan designation is intended for those areas which, because of their location or proposed land uses, require special design consideration and flexibility in the development of the property. These areas require additional site analysis and overall planning to address the constraints, opportunities and features. A Specific Plan designation allows greater flexibility in design and composition in order to integrate complementary land uses into a single, master planned community.

The City of Indio will designate Citrus Ranch as a Specific Plan area within its General Plan Land Use Diagram. The Specific Plan Land Use Plan and associated text will establish specific land use patterns and standards through reference in the General Plan Land Use Diagram.

2.1 AUTHORITY AND REQUIREMENTS

The authority to prepare, adopt and implement Specific Plans is granted to the City of Indio by the California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457). The City of Indio requires the Planning Commission to hold a public hearing before it can recommend adoption of a Specific Plan. The City Council shall adopt a Specific Plan by ordinance.

California Government Code Section 65451 establishes the requirements for Specific Plans as follows:

A Specific Plan shall include a text and/or a diagram or diagrams which specify all of the following:

- The distribution, location and extent of the uses of land, including open space, within the area covered by the plan;
- The proposed distribution, location and extent, and intensity of major components of public and private transportation and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan;
- Standards and criteria by which improvements will proceed, and standards for the conservation, development and utilization of natural resources, where applicable; and
- A statement of the relationship of the Specific Plan to the General Plan.

2.2 RELATIONSHIP TO THE CITY OF INDIO GENERAL PLAN 2020

A Specific Plan may not be adopted or amended unless the proposed plan or amendment is consistent with the General Plan pursuant to California Government Code §65454. Section 65359 states:

“Any specific plan of a city or county that is applicable to the same areas or matters affected by a general plan amendment shall be reviewed and amended as necessary to make the specific plan consistent with the general plan.”

Consistency is commonly demonstrated through the statement of the relationship of the Specific Plan to the General Plan as required by §65451(b), or through a discussion of the individual policies and programs and how each consistently implements the General Plan.

Zoning, subdivision, and public works projects must be consistent with the General Plan and Specific Plan pursuant to §65455. (See also §66473.5, 65860, and 65401.) The California Attorney General has stated that, “the term ‘consistent with’ means ‘agreement with.’ The courts have held that the phrase ‘consistent with’ means ‘agreement with; harmonious with.’ The term ‘conformity’ means in harmony therewith or agreeable to” (see 58 Ops. Cal. Atty. Gen. 21, 23 (1975)).

Concurrent with the processing of Citrus Ranch, the City of Indio is amending its General Plan to designate the project area as “Specific Plan”. This designation is determined by the City of Indio to be consistent with Goal LU-11 of the City of Indio General Plan 2020 that states:

“Recognize the need for flexibility in the design of large development projects, and allow the adoption of City of developer provided specific plans that will become the guiding document used in the approval of future projects within their boundaries.”

Citrus Ranch falls into the category of “large development projects” because it is approximately 1183 acres. It also adheres to General Plan Policy LU-11.1 which states that the Specific Plan designation is intended for those areas which, because of their location or proposed land uses, require special design consideration and flexibility in the development of the property.

Citrus Ranch proposes a unique mix of development. The configuration of the proposed development responds to varying site topography, natural drainage systems, existing biological communities, and seismically sensitive areas. This implements General Plan Policy LU-11.1 which notes:

“...these areas require additional site analysis and overall planning to address the constraints, opportunities, and features of each site.”

The project proponent and the City of Indio have collaborated with numerous agencies to integrate exciting and creative design approaches that resolve identified site issues. The resulting Specific Plan is environmentally sensitive and promotes a unique and well-designed

urban community. The design resulting from this process is documented within this Specific Plan. It is further consistent with General Plan Policy LU-11.1, which continues:

“It is intended that a Specific Plan designation will allow more flexibility in design and composition that will blend several different land use types into a single project.”

The Indio General Plan Policy LU-11.1 states that intensity, allowed uses, and location criteria are specified in the approved Specific Plan. **Figure 3-1**, Illustrative Land Use Master Plan, and **Table 3-1**, Land Use, establish this basis.

The Citrus Ranch Specific Plan is also consistent with the Indio General Plan’s various elements.

Community Development Element

Circulation: The Citrus Ranch Specific Plan provides for the development of adequate roadway improvements. It includes provisions for public transportation, unique pedestrian systems, hiking, biking, and parking.

Infrastructure/Public Services: The Citrus Ranch Specific Plan identifies water and sewer services as well as the integration of water conservation measures. Due to distances from secondary wastewater treatment facilities, reclaimed water use is infeasible.

Storm Drain: The Citrus Ranch Specific Plan provides for adequate on-site conveyance of nuisance and stormwater, consistent with local flood-control requirements.

Electric Service: Adequate electrical service is incorporated in Citrus Ranch.

Gas: Adequate gas service is incorporated in Citrus Ranch.

Telephone/Telecommunications: Provision is made for adequate telephone and telecommunication services to the Citrus Ranch project site, including high-speed Internet connections.

Solid Waste: Waste Management is contracted for solid waste disposal services.

Schools: Citrus Ranch is not required to provide a school site, although payment of mitigation fees is required.

Parks and Recreation: Citrus Ranch features on-site recreation facilities including open space, trails, athletic fields, a private community recreation center, a golf course, and associated clubhouse.

Community Design: Citrus Ranch provides extensive land planning, architectural and landscape standards consistent with the General Plan which “welcome design innovation”. These standards apply not only to buildings and structures, but also to key streetscape treatments.

Economic Development: Citrus Ranch is expected to encourage economic development via the golf course and boutique hotel. The proposed diversity of residential development reinforces economic activity in the northern portion of Indio community.

Environmental Resources Element

Open Space: Consistent with the General Plan, Citrus Ranch contains noteworthy open space in the foothills and along utility easements. These areas are complemented by planned recreational trails. The Dillon Road corridor has a planned landscape design that enhances the views associated in its designation as a "scenic corridor". Roadways and golf course holes in the foothills are sensitively designed to minimize impacts of grading and proposed residential development.

Soils/Agricultural Resources/Water Resources: Citrus Ranch implements findings of geotechnical studies and determinations contained in the associated Environmental Impact Report. Phase I studies were prepared and address previous agricultural and military uses of the property.

Biological Resources/Cultural Resources: Citrus Ranch design responds to identified biological and cultural resources in a manner consistent with the General Plan.

Energy Conservation/Mineral Resources: Citrus Ranch meets California State energy conservation criteria. The master plan provides an open space buffer along the northern boundary adjacent to neighboring planned sand and gravel operations.

Public Health & Safety Element

Noise/Air Quality: Citrus Ranch incorporates recommendations from the General Plan in addition to meeting the requirements identified in the technical reports and Environmental Impact Report prepared for the project.

Police/Fire: Citrus Ranch responds to concerns of the Indio Police and Fire Department. A fire station site was designed in consultation with the City of Indio Fire Department for possible future use.

Emergency Preparedness/Hazardous Materials: Citrus Ranch implements recommendations in the General Plan as well as the findings of the associated Environmental Impact Report.

Geology and Seismicity Implementation Measures: Citrus Ranch adheres to the requirements identified in the technical reports and Environmental Impact Report prepared for the project in order to remain consistent with the General Plan goal of protecting public safety. The site design responds to identified seismic risk areas.

Housing: Citrus Ranch provides a diversity of densities, providing housing for the needs of a variety of households. The development is designed to appeal to all sectors of the population, a goal of the General Plan.

2.3 SPHERE OF INFLUENCE/ANNEXATION

The City of Indio is currently pursuing a Sphere of Influence Amendment to expand the boundaries to coincide with the northern boundary of Citrus Ranch. The Annexation area illustrated on **Figure 1-2** will be pursued through the Riverside County Local Agency Formation Commission pursuant to the Cortese Knox Local Government Reorganization Act of 1985. The Annexation will include the entire Citrus Ranch Specific Plan plus property to the south composed mainly of Bureau of Reclamation land and Coachella Valley Flood-control District land utilized principally as open space for flood protection for the All-American Canal.

2.4 RELATIONSHIP TO THE CALIFORNIA ENVIRONMENTAL QUALITY ACT

This Specific Plan/Project Master Plan is subject to Environmental Review pursuant to the provisions of California Environmental Quality Act. An Environmental Impact Report for the project site will be certified by the City of Indio.

2.5 SUMMARY OF REQUESTED ENTITLEMENTS

Citrus Ranch includes the following entitlements:

- Certification of the Environmental Impact Report
- Sphere of Influence Amendment
- Annexation into the City of Indio of approximately 1,559 acres
- City of Indio General Plan Amendment
- Specific Plan
- Development Agreement
- Tentative Tract Maps



CITRUS RANCH

I N D I O

Development Plans and Standards

3.0 Development Plans and Standards

This Section of the Specific Plan presents the innovative design philosophy and master development concept of Citrus Ranch. In addition, planning standards are provided for application to the entire master planned community.

3.1 LAND USE MASTER PLAN

3.1.1 Land Use Master Plan Objectives

The Land Use Master Plan has been developed to accomplish the following objectives:

- Create an environment that unifies development with the existing topography and physical setting provided by the desert, abutting foothills, neighboring open space, and regional climate.
- Focus on the land use issues associated with the development of the Citrus Ranch Specific Plan to ensure that the site is developed in conformance with the General Plan; protects the public health, safety and general welfare; complements zoning and adjacent land uses; and is suitable and appropriate.
- Provide development criteria to guide the design of community land uses, components, and amenities. Provide descriptive text and exhibits setting forth the basis for the overall development of Citrus Ranch. This Section is further defined for each Planning Area through the development regulations contained in Section 5.0.

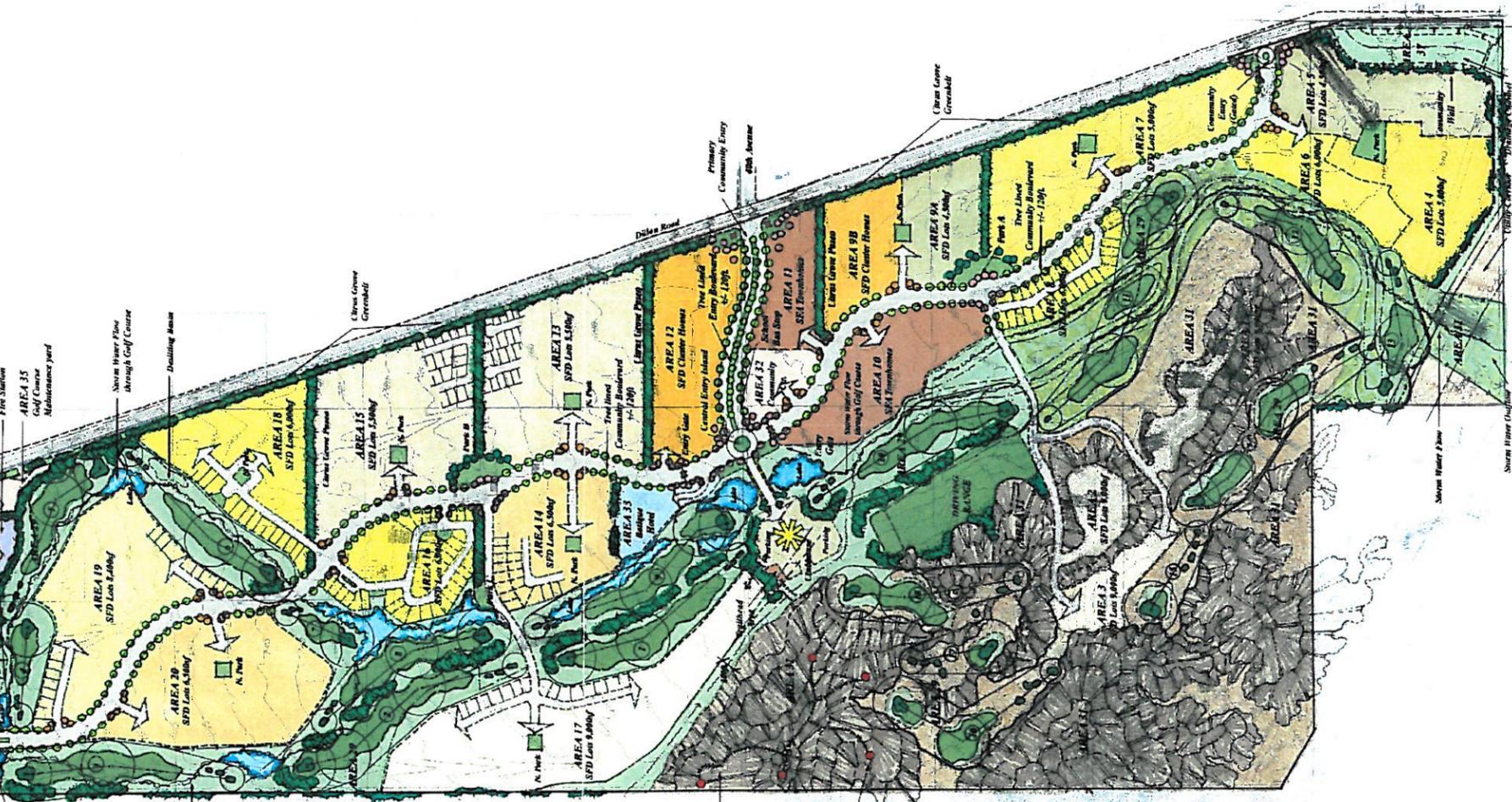
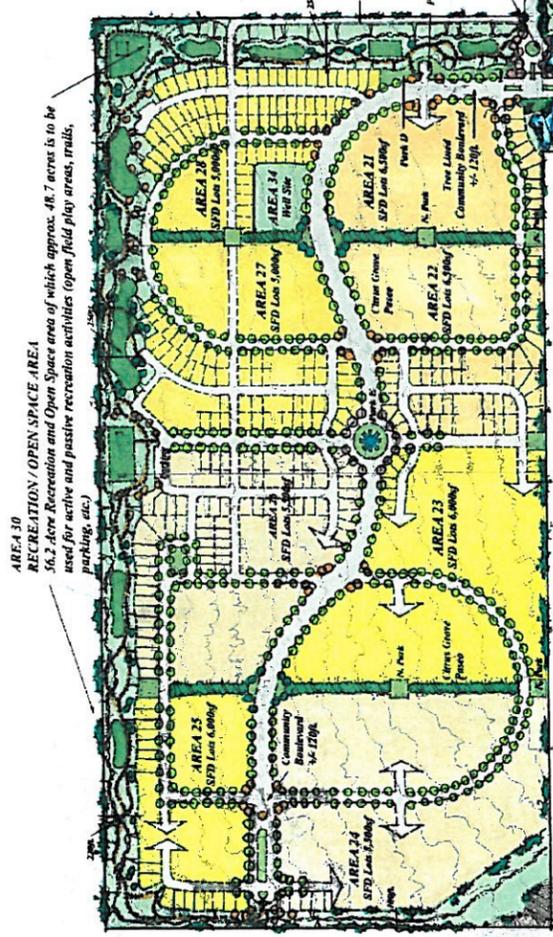
3.1.2 Land Use Master Plan Description

Figure 3-1a is the Citrus Ranch Illustrative Master Plan, and **Figure 3-1b** is the Land Use Plan for the project.

DEVELOPMENT PLAN CITRUS RANCH INDIO, CALIFORNIA

SUNCAL COMPANIES September 25, 2006

MICHAEL MADDEN ASSOCIATES - COMMUNITY PLANNING/DESIGN
SCHMIDT CURLEY - GOLF COURSE ARCHITECTURE
DESIGN - LANDSCAPE ARCHITECTURE



LAND USE SUMMARY TABLE

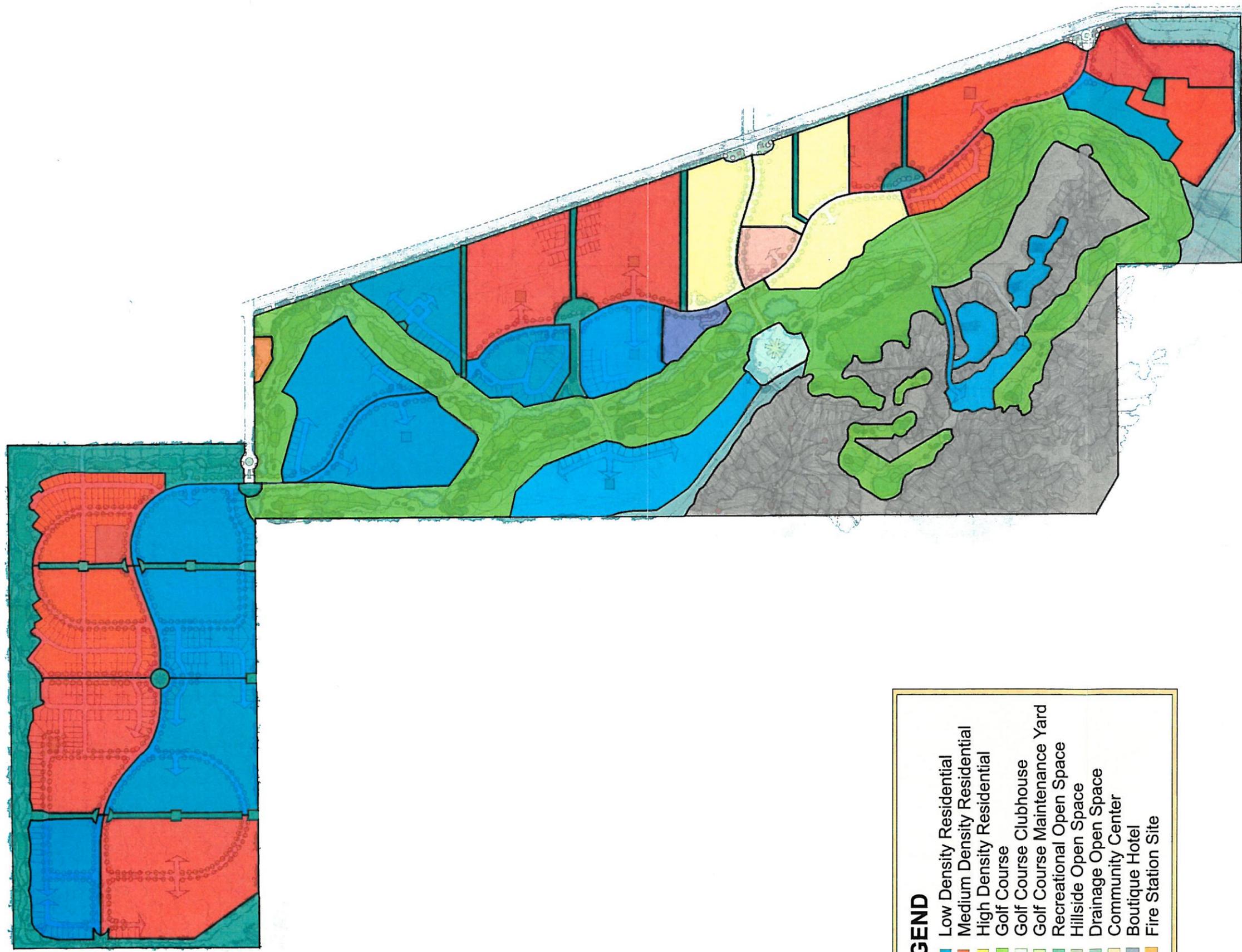
RESIDENTIAL	576.0 AC
ROUQUETTE HOTEL	5.4 AC
GOLF COURSE	247.7 AC
(Course, Driving Range, Maintenance Yard)	
CLUBHOUSE	6.0 AC
COMMUNITY CENTER	5.0 AC
FIRE STATION	2.0 AC
WELL SITE	3.0 AC
PARKS AND OPEN SPACE	7.7 AC
DRAINAGE CHANNEL	272.6 AC
COMMUNITY PARKS	41 AC
CITRUS GROVE PARKS	9 AC
RECREATION GAS PLAT AREAS	11.1 AC
WILDERNESS TRAIL	54.2 AC
COLLECTOR STREET R.O.W.'S	2.4 AC
DILLON ROAD R.O.W.	1.4 AC
	1183.3 AC

GOLF COURSE CARD

Hole	Yards	Par	Hole	Yards	Par
1	466	4	10	485	4
2	515	5	11	460	5
3	515	5	12	510	4
4	700	7	13	500	4
5	483	4	14	513	5
6	400	4	15	300	3
7	150	3	16	450	3
8	450	4	17	210	3
9	516	5	18	416	4
	3548	36		3544	36

LEGEND

- Low-Density Residential
 - 9,000 sq. ft. lots
 - 8,400 sq. ft. lots
 - 6,500 sq. ft. lots
 - 6,000 sq. ft. lots
- Medium-Density Residential
 - 5,500 sq. ft. lots
 - 5,000 sq. ft. lots
 - 4,500 sq. ft. lots
- High-Density Residential
 - Cluster Homes
 - Townhomes
- Golf Course
 - Golf Course Clubhouse
 - Golf Course Maintenance Yard
 - Recreational/Drainage Zone
 - Hillside Open Space
 - Community Center
 - Boutique Hotel
 - Fire Station Site



LEGEND

- Low Density Residential
- Medium Density Residential
- High Density Residential
- Golf Course
- Golf Course Clubhouse
- Golf Course Maintenance Yard
- Recreational Open Space
- Hillside Open Space
- Drainage Open Space
- Community Center
- Boutique Hotel
- Fire Station Site



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CURU RANCH



MAMA



HSA DESIGN GROUP



SCHMIDT GURLEY

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Figure 3-1b
Land Use Plan

CITRUS RANCH SPECIFIC PLAN
Development Plans and Standards
 January 17, 2007

This Specific Plan addresses development-related topics in the form of proposed physical improvements, guidelines for future development, and implementation of procedures and regulations. Table 3-1 summarizes the acreage for all of the land uses in Citrus Ranch.

Table 3-1: Land Use

Land Use	Acres
Residential	576.0
Boutique Hotel	5.4
Clubhouse	6.0
Community Center	5.0
Open Space	520.6
Undisturbed Open Space	[186.7]
Wilderness Trails	[3.0]
Community Parks	[6.1]
Neighborhood Parks	[9.3]
Citrus Grove Paseos	[11.3]
Recreation OS & Playfields	[56.2]
Dillon Road Landscape	[7.2]
Golf Course	[233.1]
SE Drainage Channel	[7.7]
Community Collector Streets	60.0
Dillon Road R.O.W.	3.9
Golf Course Maintenance Yard	1.6
Fire Station Site	2.0
Well Site	3.0
Total	1183.5

The Land Use Plan identifies the location for each type of use.

In order to design the project in a comprehensive manner, the site is divided into 37 Planning Areas. This process allows for more precise planning and design analysis taking into consideration the unique constraints on and surrounding each Planning Area. **Table 3-2** summarizes information on the 28 residential Planning Areas. Residential Planning Areas are described in detail in Section 4.0 (Planning Area Standards).

The size, location and configuration of individual Planning Areas is determined on the basis of a variety of design considerations including topography, drainage, circulation, surrounding land uses, and other physical features. The location and designation of development that is allowed within the Planning Areas is intended to create a design concept which provides a unique identity for Citrus Ranch.

CITRUS RANCH SPECIFIC PLAN
Development Plans and Standards
 January 17, 2007

Table 3-2:
Citrus Ranch Residential Planning Area Summary Table

Planning Area	Acres	Density Category	Target Number of Residences
1	5.0	LDR	11
2	4.9	LDR	10
3	5.9	LDR	15
4	15.2	MDR	89
5	16.8	MDR	107
6	9.5	LDR	41
7	24.0	MDR	127
8	7.1	MDR	34
9A	10.5	MDR	59
9B	10.0	HDR	135
10	15.5	HDR	232
11	9.6	HDR	144
12	17.7	HDR	236
13	29.4	MDR	143
14	15.1	LDR	56
15	27.4	MDR	134
16	14.3	LDR	60
17	34.5	LDR	92
18	18.7	LDR	80
19	24.8	LDR	79
20	25.1	LDR	94
21	20.0	LDR	74
22	27.7	LDR	103
23	38.1	LDR	162
24	43.6	MDR	211
25	19.3	LDR	82
26	34.7	MDR	167
27	31.2	MDR	167
28	20.4	MDR	109
(31*)	(5.4)	(LDR)	(22)
TOTAL	576 (581.4*)		3053 (3075*)

*PA 31: Should market conditions not support the Boutique Hotel, PA 31 will be developed with a maximum of 22 residential units at PA 14 standards.

Residential

Citrus Ranch includes a mixture of neighborhoods and recreational uses, which are designed for a variety of lifestyles. The plan integrates natural open space with mixed density housing developments. The project is expected to have a maximum of 3,075 dwelling units on 576 acres.

The goal of the project is to create a master-planned residential/golf community that provides a diversity of housing types integrated with open space and recreational opportunities. The Citrus Ranch neighborhoods include a variety of lot and dwelling sizes which are detailed in Section 4.0 (Planning Area Standards).

Boutique Hotel

A small hotel is planned adjacent to the main entrance near the golf course and clubhouse. With approximately 65 rooms, the hotel accommodates visitors to the golf course and Citrus Ranch community while still blending into the residential community. The hotel overlooks the 9th green and provides expansive views of the Indio Hills to the west.

Hotel facilities include a service lobby with front desk, dining services, restrooms, housekeeping, and a swimming pool. The hotel follows the design themes of the surrounding community. However, if no hotel is developed, the area is expected to conform to the development standards set forth for the adjacent Planning Area 14, a low density residential development.

Open Space

The open space portions of Citrus Ranch include both active and passive recreational opportunities, as well as undisturbed natural areas. Several parks are planned for the development along with a community center, golf course, and recreational playfields.

Citrus Ranch also includes areas of re-naturalized open space within and surrounding the golf course. This consists of areas outside of the tees, fairways and greens that will be replanted with native vegetation and maintained as natural open space. The concept is intended to blend the development features with the natural environment in the Indio Hills and to incorporate the citrus grove theme along the valley floor.

In addition, approximately 187 acres of hilly terrain in the southwest corner of Citrus Ranch are intended to remain natural and undisturbed and a number of drainage areas to remain as natural open space or be maintained as either re-naturalized or recreational open space. These areas along with the golf course provide potential opportunities for resource mitigation and conservation in the development, if deemed necessary by the appropriate regulatory agencies.

- *Parks and Recreation*

The Parks and Recreation element of the planned open space in Citrus Ranch totals 90.9 acres. The project meets the recreational needs of the community and the intent of the Quimby Act by providing pocket parks, a golf course, a Community Center, a large publicly-accessible recreation zone in the north, wilderness trails, and citrus grove paseos distributed throughout the site. Details about the recreation elements are found in Section 3.2.

Citrus Ranch includes approximately 15 acres of neighborhood and community parks. These parks are designed to provide both active and passive recreational amenities. They are located throughout Citrus Ranch within a short walk from all homes. Pedestrian links are provided through 11.3 acres of citrus grove paseos and sidewalks connecting neighborhoods to parks and recreation areas.

In addition to the neighborhood and community parks, 56.2 acres at the northern boundary of the community is reserved as open space and contains active playfields, trails, and passive play areas. This area provides storm flow detention and includes a low flow channel to divert smaller storms. The playfields are located above this low flow channel.

There is also an approximately 5-acre Community Center site for use by the entire development. Facilities proposed for the 9,000 square-foot Community Center include a swimming pool and surface water play area, spas, fitness rooms, meeting rooms and picnic areas. The center will provide a central meeting location for all residents of the community.

- *Golf Course*

Set within and adjacent to the rugged terrain of the Indio Hills and meandering through the development, the golf course complex integrates natural desert beauty with the challenge of a desert-landscaped course, reflecting the open space. Accompanying the 233.1-acre, 18-hole, 7,100-yard, and par-72 golf course is a driving-range, a system of community wilderness trails in the Indio Hills, and a 9,000-square-foot clubhouse/pro shop. The clubhouse provides opportunities for golf apparel, supplies and equipment sales, food and beverage service and cart storage. A 1.6-acre maintenance facility is proposed to be located along Avenue 38.

The "front nine" of the golf course meanders through the development and a series of lakes and detention basins are incorporated into the holes to convey stormwater flows. The "back nine" has a dramatic finish, with five holes winding through the foothills. Laid out with minimal disturbance, these "target-style" holes make use of the existing topography and are integrated into the desert landscape.

The lush landscape at tees, greens and fairway edges adds to the oasis-like appearance of Citrus Ranch. Many trees will be planted along the edges of the fairways reflecting the

agricultural uses in the vicinity. Numerous golf course frontage home sites will take advantage of golf course views and the atmosphere of golf course-oriented living. A mix of floor plans and lot sizes will be available for golf frontage sites.

Circulation

Access to Citrus Ranch is provided by three entrances. The primary community entry, at Dillon Road, is located in the middle of the property and will provide direct, public access to the golf course and clubhouse, the wilderness trails, and the hotel. The residential areas are accessed from this primary entrance through manned security gates. Two secondary entrances are provided, one located at the northern section of Citrus Ranch at Avenue 38 and one near the southern boundary. Both of these secondary entrances provide keyed security gates to restrict access to residents and their guests.

All project entrances connect to a tree-lined community boulevard that extends the length of the development in a north-south direction. Private local streets intersect this "circulation spine" to serve the various neighborhoods. This spine road is punctuated and enhanced by a series of view corridors into the golf course, community-level parks and citrus grove paseos. As one rounds each curve in the road, a new view into the community opens, resulting in a beautiful drive or walk for residents and visitors.

Utility Corridor

A utility easement crosses the site in the south. This corridor contains both Southern California Edison and Imperial Irrigation District electrical lines and a Southern California Gas Company natural gas line. All utilities are transmission mainlines serving the Coachella Valley and beyond. Residential lots abutting the easement have either a solid or view fence along the corridor. The land use plan places golf course fairways in the area of the utility corridor with residential structures set back from the easement.

3.1.3 Land Use Master Plan Development Standards

Community land use standards shall be applied to ensure overall design coordination of the various Planning Areas within the Citrus Ranch Specific Plan. The standards outlined below serve to ensure the orderly development of the land use plan on a community-wide basis. Section 4.0 provides a detailed discussion of standards that apply specifically to each individual Planning Area.

- a) The Citrus Ranch Specific Plan shall be developed with a maximum total of 3,075 dwelling units on approximately 576 acres of land, as illustrated on **Figure 3-1a** and **Figure 3-1b**.
- b) Mitigation Measures for environmental resources shall be implemented as identified in the certified Environmental Impact Report Mitigation Monitoring Program.
- c) Prior to the issuance of a building permit for construction, the applicant shall first obtain clearance from the City of Indio Community Development Department, Engineering

Department, Building Department or other department, if applicable, verifying that all applicable Specific Plan Conditions of Approval which relate to the project development phase have been satisfied.

- d) All lots shall be in conformance with the development regulations contained in this document.
- e) Signage, landscaping, parking and other related design element standards shall conform to the City of Indio Zoning Ordinance unless superseded by this Specific Plan.
- f) As Citrus Ranch develops, all streets shall be constructed with full-width improvements, consistent with standards contained in this Specific Plan.
- g) Citrus Ranch is a gated community and it shall be enclosed by a Community Perimeter Block Wall and/or view fences as depicted in the Specific Plan.
- h) Landscaping design for retention basins, open space, parks, and common landscaped areas shall require design review and Planning Commission approval.

3.1.4 Planning Areas In Relation To Tentative Tract Maps

The subdivision of property is achieved by the processing of tentative tract maps (TTM) or parcel maps (TPM) in accordance with the procedures of the California State Subdivision Map Act and the City of Indio Subdivision Ordinance. The Citrus Ranch Specific Plan is accompanied by a large lot TTM and a small lot tract map for Phase I of the development. The large lot TTM divides the property into Planning Areas and subareas, allowing for development and financing options. Subsequent tract maps establish individual residential lots and provide tract-level design for the remainder of the Citrus Ranch Master Planned Community.

3.2 OPEN SPACE/RECREATION PLAN

3.2.1 Open Space/Recreation Plan Objectives

The Open Space/Recreation Plan (**Figure 3-2**) is developed to achieve the following objectives:

- Identify the primary open space/recreation elements within the proposed project and regulate activities within these areas.
- Provide abundant park acreage and recreation to serve the needs of future residents of and visitors to the Citrus Ranch Community.

- Ensure that all open space/recreation areas are appropriately maintained by a responsible entity.
- Satisfy the requirements of the Quimby Act with extensive open space planned, including: community and neighborhood parks; a golf course; natural open space and trails; and a recreation zone in the north.
- Incorporate naturalized open space corridors within the golf course.
- Incorporate on-site biological resource mitigation areas into open space, if deemed necessary by the appropriate regulatory agencies.
- Combine required flood-control channels with open space areas, formal and informal recreational activities in the neighborhoods, and along the golf course to provide an integrated use.
- Preserve portions of hillside areas in the neighborhoods to maintain views of natural scrub desert.
- Abut permanent open space in the west that is owned by the Bureau of Land Management to provide open space views for the residents of the Citrus Ranch Community.
- Remain consistent with the Goal LU-9 of the City of Indio General Plan which strives to “provide a range of active and passive recreational areas as well as provide areas for preservation of the natural environment.”

3.2.2 Open Space/Recreation Plan Description

Figure 3-2, Open Space/Recreation Plan, identifies natural (least intensive or undisturbed) and active open space areas found within Citrus Ranch. Total open space and recreational features make up 516.7 acres, or 43%, of Citrus Ranch at the completion of the project.

Natural Open Space

Natural undisturbed open space occupies 186.7 acres or 36 percent of the total open space in the community. As illustrated on **Figure 3-2**, the natural open space is located in the Indio Hills area of the site. Development of wilderness trails and scenic overlooks is the only disturbance to this area. This natural open space provides both a scenic backdrop for the community and a challenging trail experience for residents to enjoy.

Community and Neighborhood Parks

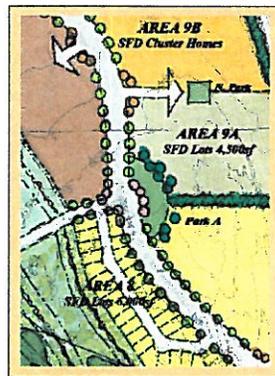
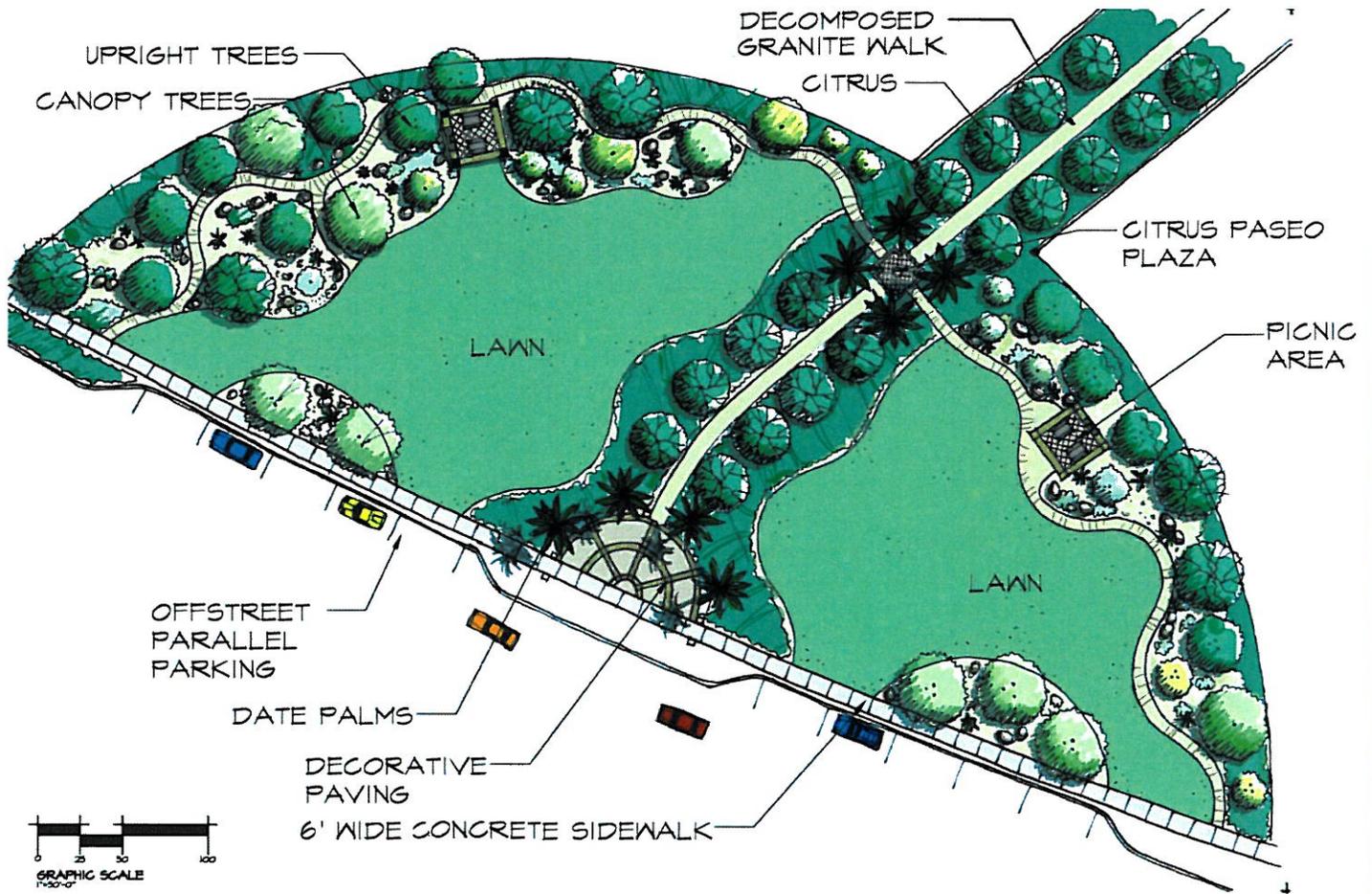
A major unifying element of Citrus Ranch is an extensive system of recreation facilities connected by a network of trails along paseos and major streets. This system of active and passive parks provides a comprehensive variety of activities to serve the needs of the community.

Six community-level parks are sited to provide focal points throughout Citrus Ranch. These parks function to highlight key community connections and provide view corridors along the central collector road (see Section 3.3 for a discussion of the Conceptual Circulation Plan). Adjacency to collector roads or trails also serves to make these parks accessible to all residents. Community-level parks comprise 6.1 acres within the community. A typical community park is illustrated in **Figure 3-3**. **Table 3-3** indicates the location and size of each community park. The locations and sizes shown are conceptual and may be modified subject to final site design.

PARK	SIZE (Acres)
A	1.5
B	1.5
C	0.3
D	1.6
E	0.7
F	0.5

The Neighborhood Pocket Parks are located within individual neighborhoods, and provide more secluded recreational spaces away from the collector road system. Most individual neighborhoods include a small park. In some instances, neighborhoods share park spaces. Neighborhood parks are also integrated into the citrus paseos to enliven the community trail connections and create places where neighbors can gather to play.

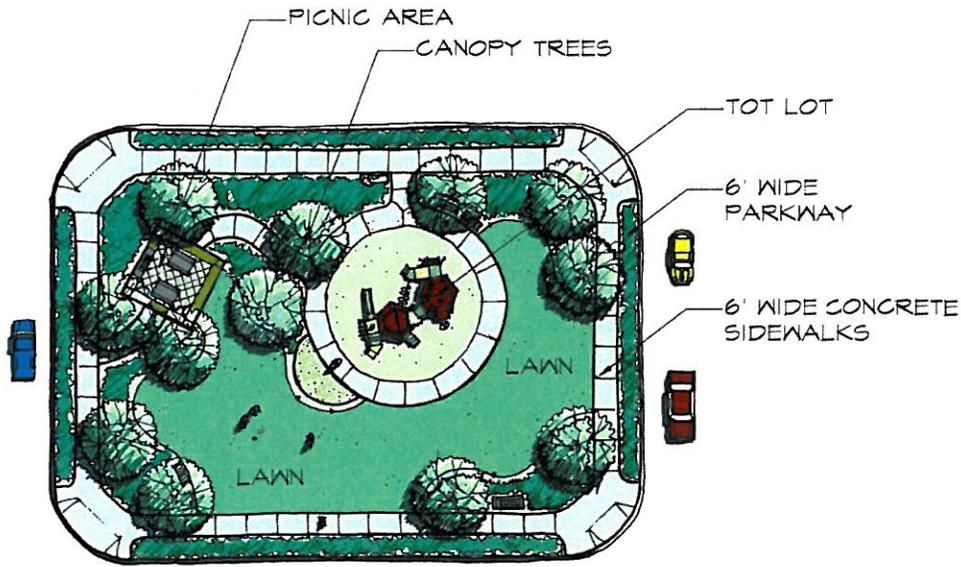
There is a minimum of 9.3 acres of neighborhood parks located throughout the community. Neighborhood parks range in size from approximately 0.3 to 1.3 acres. Conceptual sketches of neighborhood parks are found in **Figure 3-4**. **Table 3-4** indicates the locations and sizes of neighborhood pocket parks. The locations and sizes shown are conceptual and may be modified subject to final site design.



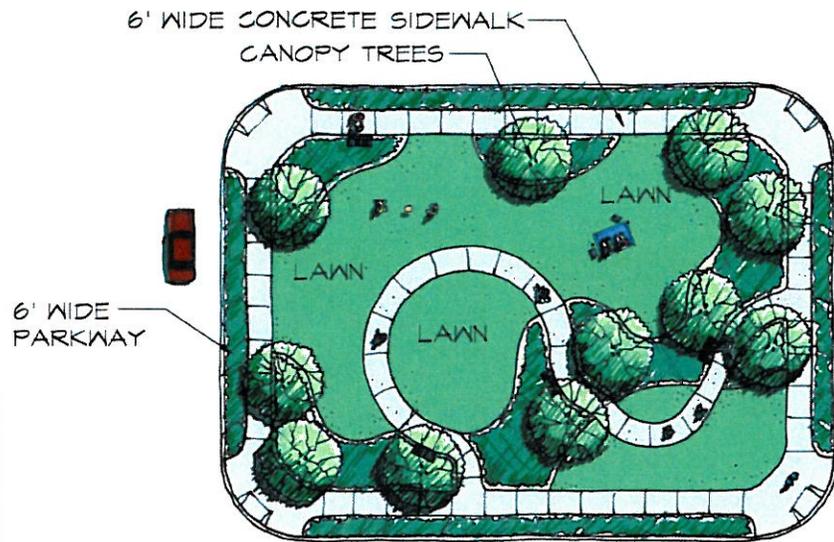
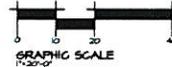
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Figure 3-3
Conceptual Community Park



Active Neighborhood Park



Passive Neighborhood Park

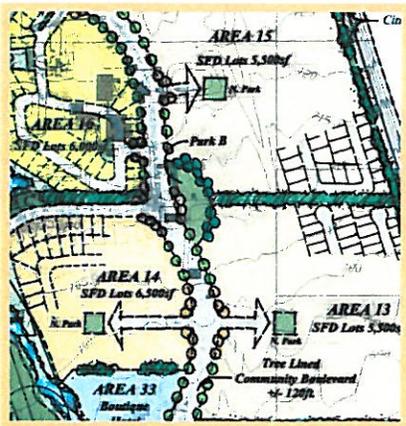
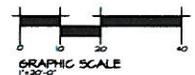


Table 3-4
Neighborhood Pocket Park
Distribution Summary

Planning Area	Park Acres
4, 5, and 6	1.0
7	1.3
9	0.5
12	0.3
13	0.5
14	0.3
15	0.5
16	0.3
17	0.5
18	0.3
19	0.5
20	0.5
21	0.3
22	0.3
23	0.5
24	0.5
25	0.3
26	0.3
27	0.3
28	0.3

Community and neighborhood pocket parks are primarily passive play spaces, but each park includes a minimum of three of the following types of recreational equipment and facilities:

- Tot lots or other children’s play equipment;
- Picnic tables and barbeque grill;
- Open play lawn;
- Shaded benches (with trellis structure or shade trees);
- Formal gardens;
- Special interest gardens with interpretive signage (such as herb gardens, rose beds, native plants, etc.);
- Public art;
- Game tables;
- Sports courts; and
- Other similar amenities.

The elements included within each park complement the surrounding neighborhood. Parks serving neighborhoods designed for young families include those amenities suitable for young, active children. Neighborhood parks near homes designed to attract mature adults whose children are grown include more passive elements suited to their interests. The design objective for neighborhood parks is to serve the daily recreational needs of the adjacent residents.

Recreation Zone

Community and neighborhood parks incorporate active and passive uses, but are not meant to provide sports fields. A linear active and passive recreation area, totaling 56.2 acres, is located along the northern and eastern border of Citrus Ranch within the 100-year flood-control corridor (see **Figure 4-5**). This feature serves as a multifunctional open space area with 48.7 acres of usable recreation areas. There are sports fields and open play fields for sports practices and unstructured play on approximately 6.0 acres. There are areas for organized playfields along the corridor for various sports. Trails wind through natural desert and low-water landscaping between the play areas and connect to adjacent neighborhoods and to the community pedestrian network. A low-flow channel is located adjacent to the recreation areas to divert nuisance and 10-year storm flows in a manner that protects the active recreation spaces. The recreation zone is further described in Section 4.0.

Pedestrian Network

Recreational walkways throughout Citrus Ranch are provided in the form of landscaped paseos. Citrus-themed paseos, walkways lined with citrus trees and desert landscaping, extend along the interior of the neighborhoods and connect to the pedestrian trails along the roadways to form an integrated pedestrian system. The paseos are designed to promote pedestrian-friendly access throughout the project site while providing shade and scenery through the use of citrus and palm trees. An example of this concept is seen in the inset on the Open Space/Recreation Plan, **Figure 3-2**. In addition, the conceptual cross sections in **Figure 3-5** give more details on the planned citrus paseos.

In the northern portion of the project, the pedestrian trails along the spine road connect to the Citrus Grove paseos, neighborhood parks, and ultimately the trails in the recreation zone along the northern border. This provides a unique opportunity for residents to utilize several types of recreational amenities in close proximity to their homes.

The pedestrian network also connects to wilderness trails that meander through the undisturbed portions of the Indio Hills in the southwest corner of the site. The trailhead will be located at the Clubhouse parking lot. Several interpretive overlooks are highlighted along the trail system. The wilderness trails provide an opportunity for residents and visitors to explore the Indio Hills. A plan view of a conceptual wilderness trails and interpretive overlook can be seen in the inset on the Open Space/Recreation Plan, **Figure 3-2**. These trails are intended to be open for exploration from dawn to dusk everyday with access restricted by the golf course clubhouse gates.

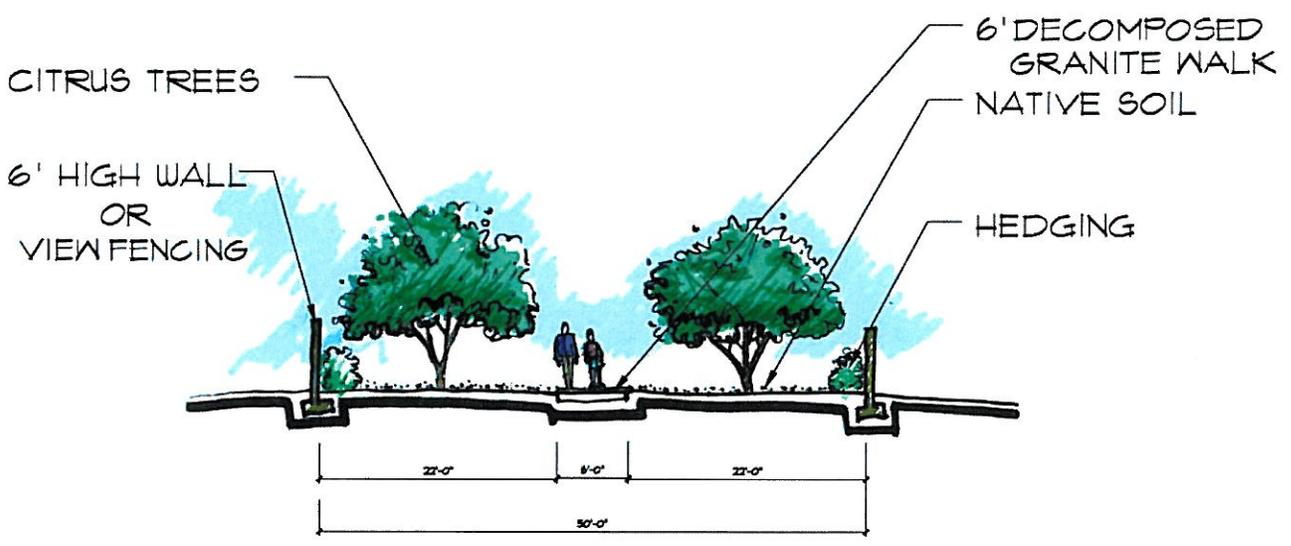
Community Center

A Community Center provides additional opportunities for recreation to residents of the development as well as key-holding guests of the boutique hotel. Amenities proposed, such as exercise and meeting rooms, provide facilities for residents of the community to exercise, play, and hold meetings or classes in a central location. In addition to the extensive indoor facilities, outdoor recreational amenities are provided and include some of the following:

- Picnic tables and barbeque grills;
- Shaded benches (with trellis structure or shade trees);



Section A



Section B

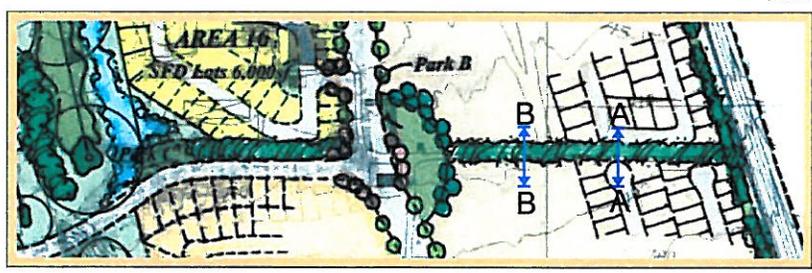
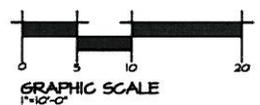


Figure 3-5
Conceptual Citrus Paseo
Cross-Sections

- Pool;
- Spa/Jacuzzi; and
- Sports courts.

Centrally located and adjacent to the main entrance to the development, the Community Center is the easily accessible social hub of Citrus Ranch. The Community Center is discussed further in Section 4.0 of this document.

Golf Course and Clubhouse

The 18-hole golf course offers approximately 233 acres of active open space (tees, greens, fairways) that meanders throughout the development. In order to maximize the amount of natural onsite open space, areas of grading which extend beyond the golf course tees, greens and fairways are designed to be re-naturalized with native plant materials. A transition area between the golf course and natural open space areas in the Indio Hills is incorporated into the project design. The golf course serves as the central 100-year flood-water drainage channel for the development, following the natural drainage patterns as closely as possible. A clubhouse approximately 9,000 square feet in size accompanies the golf course and provides dining and social facilities, retail space and cart storage. A detailed discussion of the facilities is found in Section 4.0.

Quimby Act

The Quimby Act (California Government Code Section 66477), as adopted by the City of Indio, requires approximately 36 acres to be dedicated for public use. The City of Indio relies on the Quimby Act for the calculation of park lands. Citrus Ranch provides 15.4 acres of community and neighborhood parks, as well as a 5-acre community center site, and 6.0 acres of publicly-accessible active recreational areas within the 56.2-acre northern recreation zone (see description above). These organized recreational areas, along with the golf course and associated clubhouse and training facilities, wilderness trails and interpretive overlooks, pedestrian trails in the northern recreation zone, and the citrus grove paseos, provide ample recreational opportunities for the residents. The recreation amenities planned for Citrus Ranch fulfill the requirements of the Municipal Code of the City of Indio regarding the Quimby Act.

3.3 CIRCULATION PLAN

3.3.1 Circulation Plan Objectives

The Circulation Plan is developed to achieve the following objectives:

- Provide appropriate vehicular access to all development areas.
- Provide secure entries to the residential neighborhoods.
- Provide an internal system of quality pedestrian walkways (paseos) linking neighborhoods and recreational amenities.

- Provide bicycle links for residents to reach the recreation areas of the development.
- Provide efficient access to all portions of the site, without disrupting the residential community with through traffic.
- Implement the City of Indio Circulation Plan.

3.3.2 Circulation Plan Description

Figure 3-6, Master Circulation Plan, illustrates the proposed street system. The plan is designed to provide optimal circulation efficiency as well as safety for guests and residents. The project provides roadways constructed according to the specifications and standards set forth in this Specific Plan and to City of Indio Standards (Public Works Street Standards and Specifications, City of Indio).

Parking standards for the clubhouse and hotel are described in Section 4.0 of this document.

Four security gates are provided for the residential neighborhoods: a keyed security gate is at the southern border; two security gates with guardhouses are near the Central Entry Island as depicted in the Primary Entry Arrival Area inset on **Figure 3-6**; and one keyed security gate is located at the northern entrance along Avenue 38 as depicted in the Community Entry at Avenue 38 inset on **Figure 3-6**. The manned security gates have the option for keyed access for entry to the residential areas after hours. A plan view and cross section of a conceptual guardhouse are shown in **Figure 3-7**.

Street cross sections are shown in **Figure 3-8**. The southbound side of Dillon Road is improved to City of Indio standards and the northbound side is improved to Riverside County standards (an "Arterial Highway" as defined in the Riverside County General Plan). The improvements include a landscaped median, six-foot sidewalk, and an expanded landscape area on the west side abutting Citrus Ranch (**Figure 3-9**).

Citrus Ranch roadways are shown in the Conceptual Circulation Plan depicted in **Figure 3-6**. Cross sections of collector streets, local roads, private drives, and public entry roads are found in **Figures 3-10**, **3-11**, and **3-12**, respectively. Private drives are streets within the high density neighborhoods and are illustrated in **Figures 5-3** and **5-4**.

The use of roundabouts allows for continuous flow of traffic through the development. One example of a conceptual roundabout is illustrated in the Phase III Roundabout Exhibit inset on **Figure 3-7**. A cross section of the main entry roundabout is found in **Figure 3-13**. The main entry roundabout includes available space for the installation of a sculpture, other art feature, or fountain.

Pedestrian circulation is accomplished by the use of paseos that connect to the "circulation spine" formed by the tree-lined boulevard that runs in a north-south direction along the development. Paseos are incorporated into the land plan and project design to provide pedestrian connectivity between project site elements (residential, golf course, parks etc.) and make walking a feasible and desirable alternative to vehicular transportation within the Master Planned Community. An example of this connectivity is seen in the Community Parks exhibit, **Figure 3-3**.

The entry into the parking lot for the Golf Course Clubhouse includes a bridge that spans the lakes between holes 9 and 10. Details on the bridge are seen in **Figure 3-14**, Conceptual Plan View and Cross Section of the Golf Course Bridge.

3.3.3 Circulation Plan Development Standards

- a) The Circulation Plan provides an efficient traffic design which meets the needs of the project and responds to site topography. The on-site system depicted in **Figure 3-6**, Circulation Plan, serves as the circulation network of the project.
- b) Heavy through traffic is eliminated from residential neighborhoods with the use of manned and keyed access gates along Dillon Road and at the central entrance (see **Figures 3-6** and **3-7**).
- c) The project shall comply with the on-site street improvement standards shown in this Specific Plan.
- d) All landscaping treatments associated with the Citrus Ranch Circulation network shall be consistent with the Citrus Ranch landscape plan, based on the streetscape treatments illustrated in the Design Guidelines section (Section 6) of this document.
- e) Landscape requirements shall be based on street widths in accordance with the Circulation Cross Section diagrams as depicted in **Figures 3-10**, **3-11**, and **3-12**.
- f) Dillon road improvements will be completed and subject to applicable City of Indio and/or County of Riverside standards. Avenue 38 and the entry boulevard, the public roads serving the property, shall be constructed to City of Indio standards. Private streets within the project shall be built to the specifications detailed on **Figures 3-8**, **3-10**, **3-11**, and **3-12**.
- g) The applicant/developer shall submit a complete package to the Engineering Services Department for approval of final tract maps. This package shall include:
 - PM-10 implementation plans;
 - Master grading plans;
 - Water plans;
 - Street improvement plans;
 - Street light plans;
 - Composite utility plans;
 - Soils report;
 - Striping plans; and
 - Hydraulic calculations (water and storm drain).
- h) Whenever access into private property is controlled through the use of gates, barriers, guardhouses, or similar means, provisions shall be made to facilitate access devices that are power operated, and have an approved override system capable of opening the gate when activated by a special key located in emergency vehicles. Devices shall be equipped with backup facilities to operate in the event of power failure. The fire department shall also approve all controlled access devices that are not power operated.

Access gates shall have an unobstructed width of not less than 16 feet and an unobstructed vertical clearance of not less than 13 feet, 6 inches.

- i) Approved addresses shall be provided for all new buildings in such a position as to be plainly visible and legible from the street or road fronting the property.
- j) All proposed emergency access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with a surface so as to provide all-weather driving capabilities. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
- k) Street turning radii and plans for all entrances shall be approved by the Fire Department.
- l) Streets longer than 600 feet within the residential Planning Areas shall incorporate traffic-calming techniques such as roundabouts, traffic circles, and chicanes. Due to the loss of on-street parking from implementation of these measures, curvilinear streets and shorter drives will be encouraged within the Planning Areas.
- m) The minimum grade on concrete shall be 0.50%, and 1.0% on asphalt, or as adjusted by the Engineering Services Department.
- n) Golf cart access will be as follows:
 - On public streets internal to the development (excluding Dillon Road), golf carts may share the sidewalks with pedestrians.
 - On private internal streets within the gated portions of the development, golf carts may share the roadway with the residential automobile traffic.

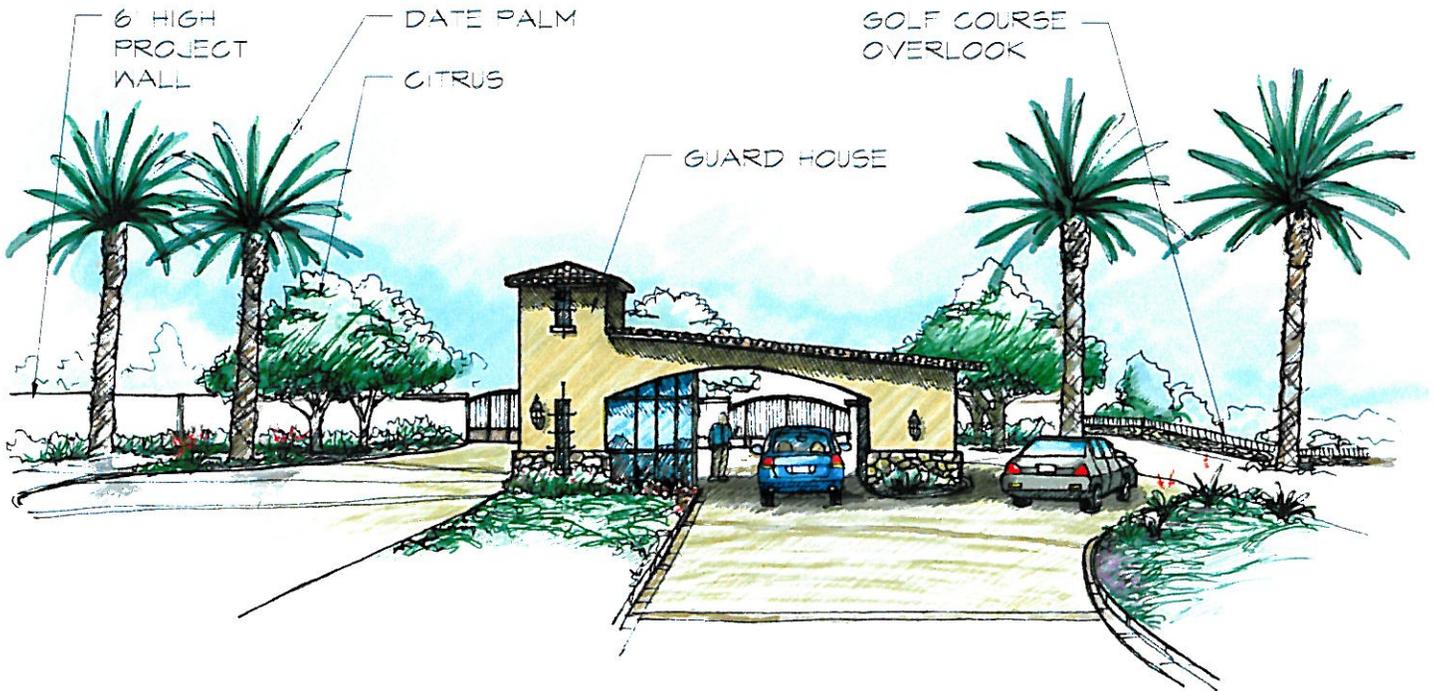
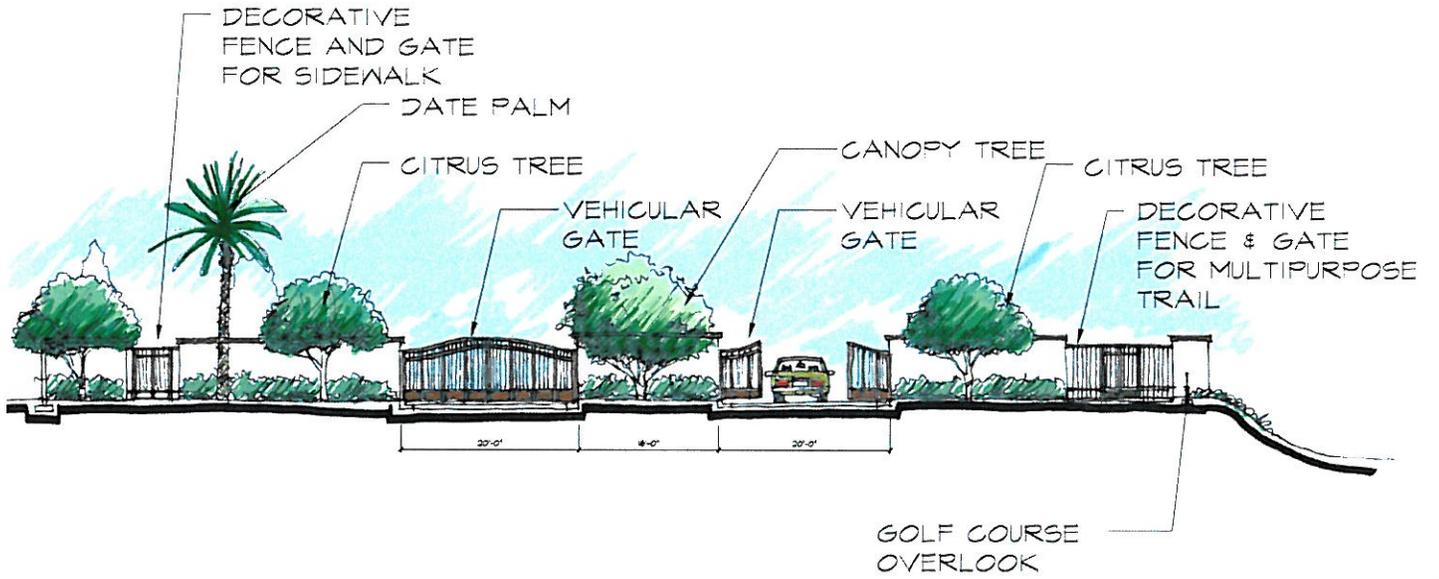
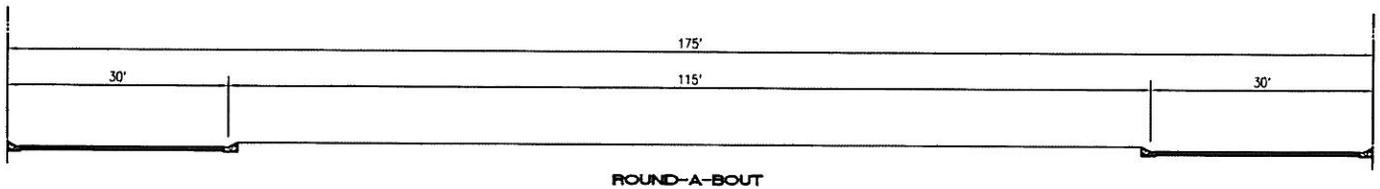
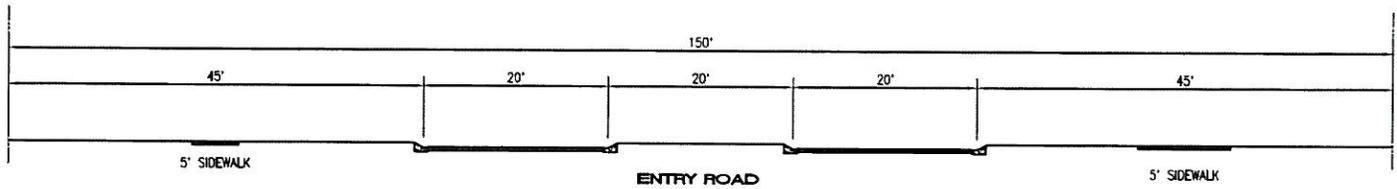
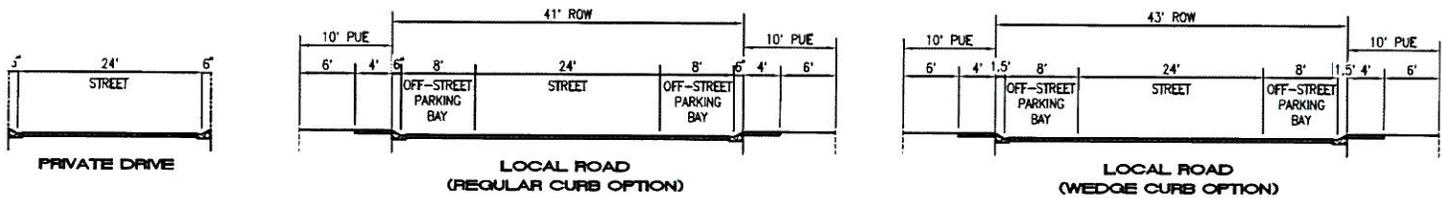
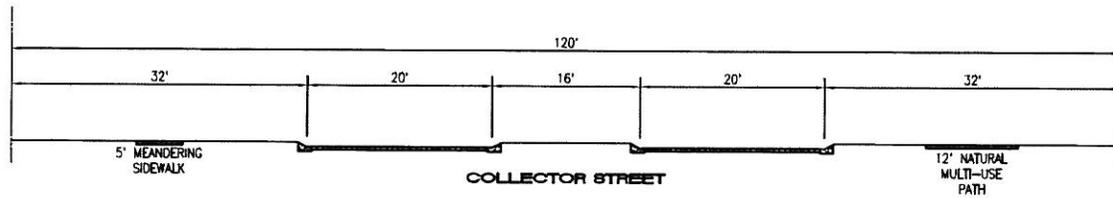
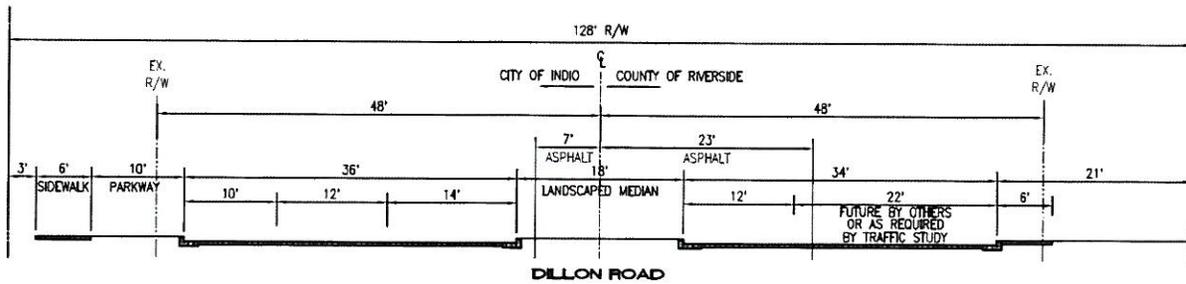
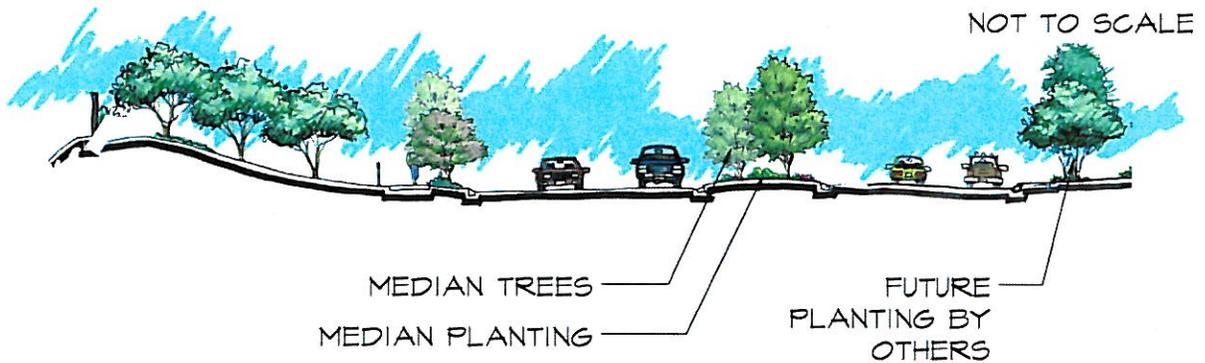
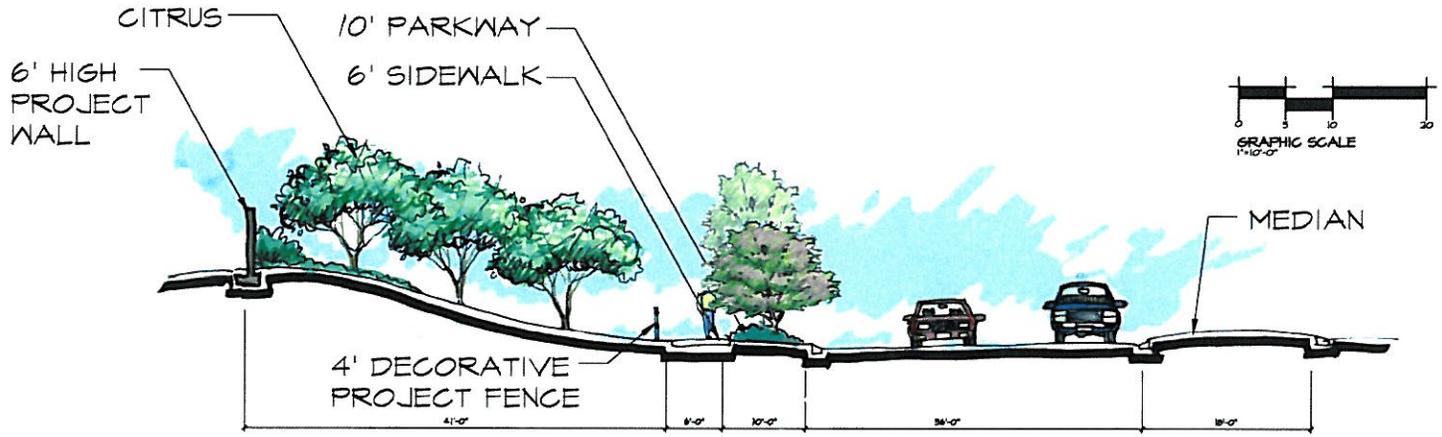


Figure 3-7
 Guardhouse and Gates
 at Spine Road

SUNCAL CITRUS RANCH STREET SECTIONS





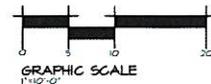
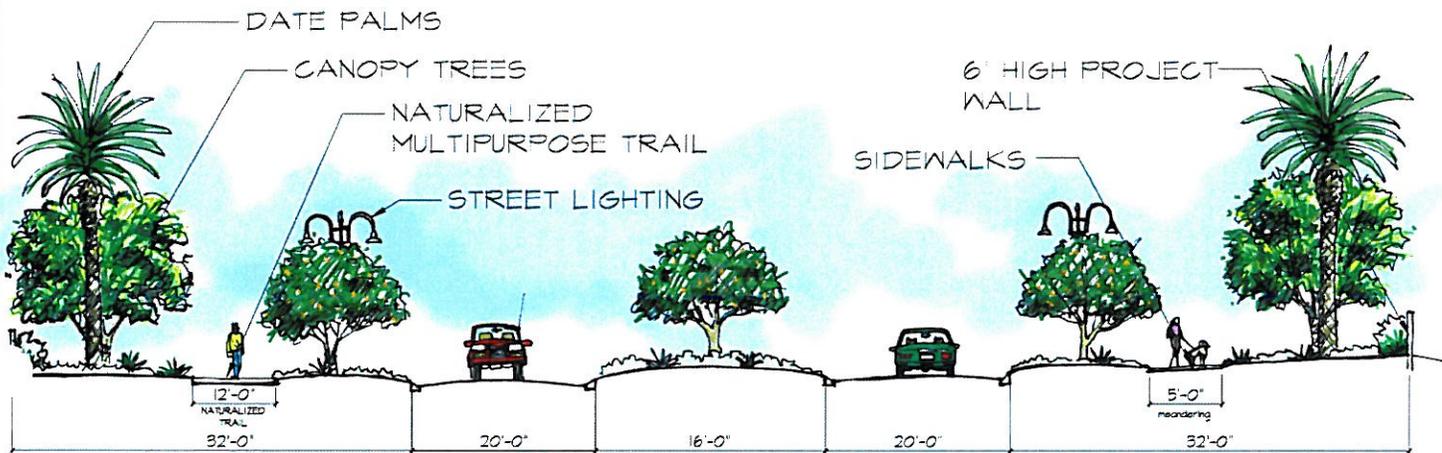
* Note: The height of the slope along the West side of Dillon Road may vary.



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Figure 3-9
Dillon Road Cross Section



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Figure 3-10
Collector Street Cross Section

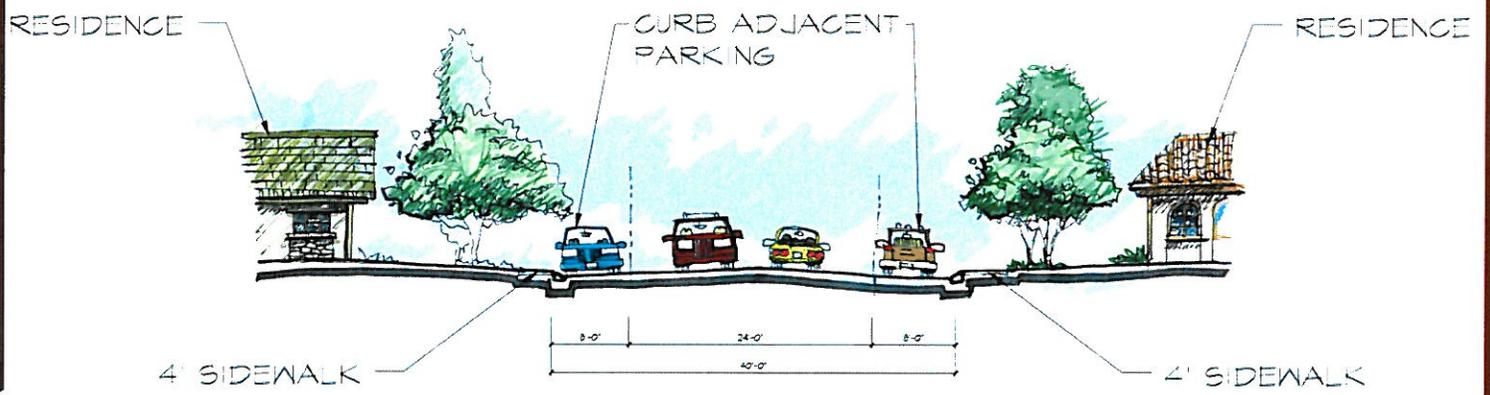
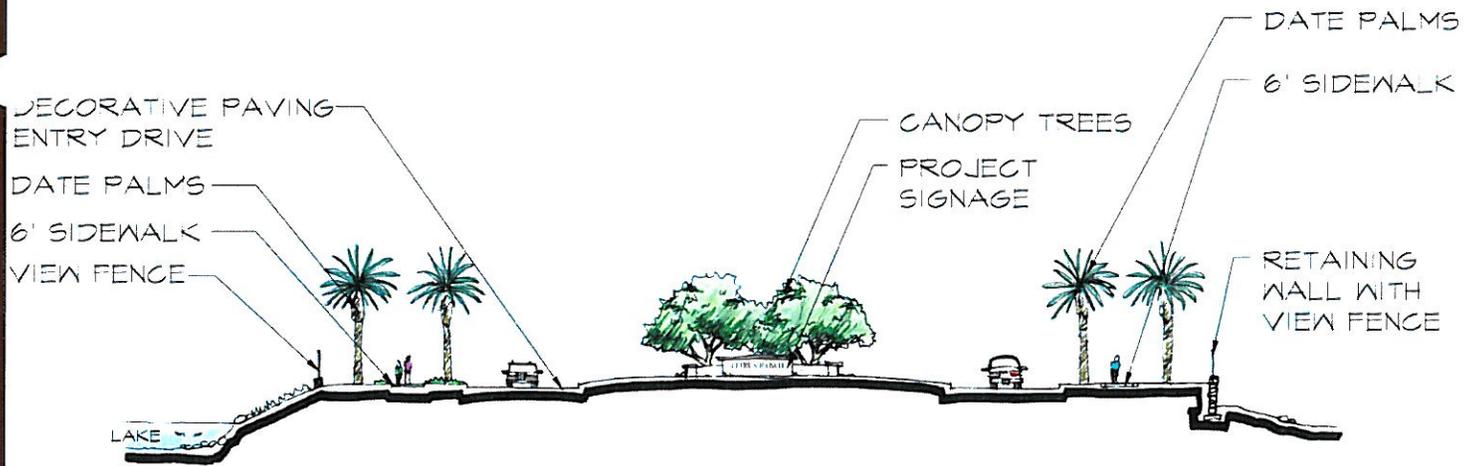
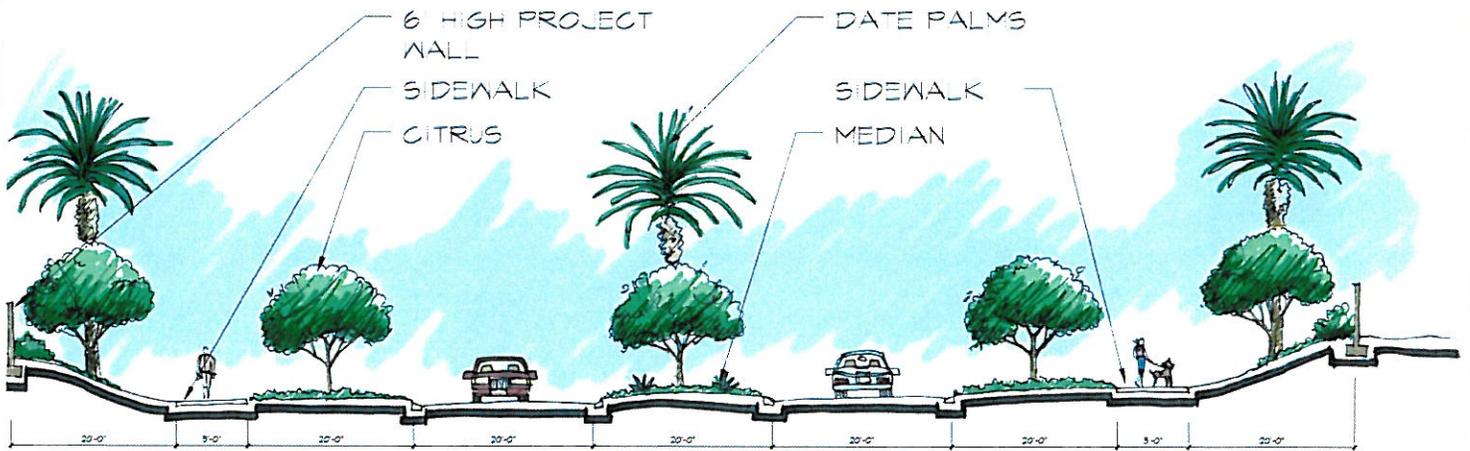
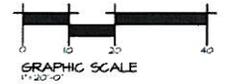


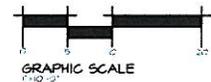
Figure 3-11
Local Road Cross Section

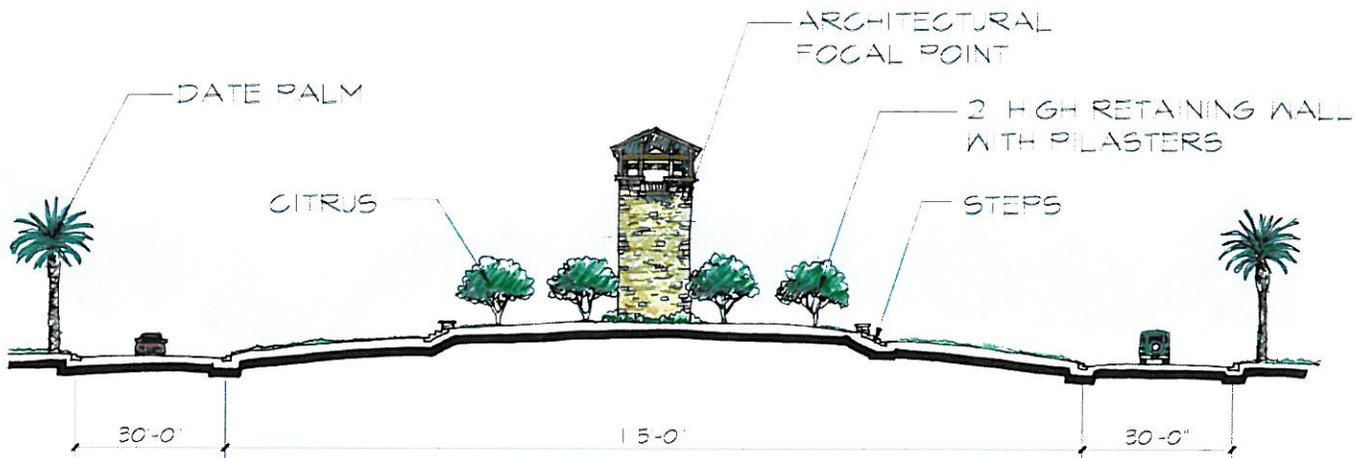


Entry at 38th Avenue

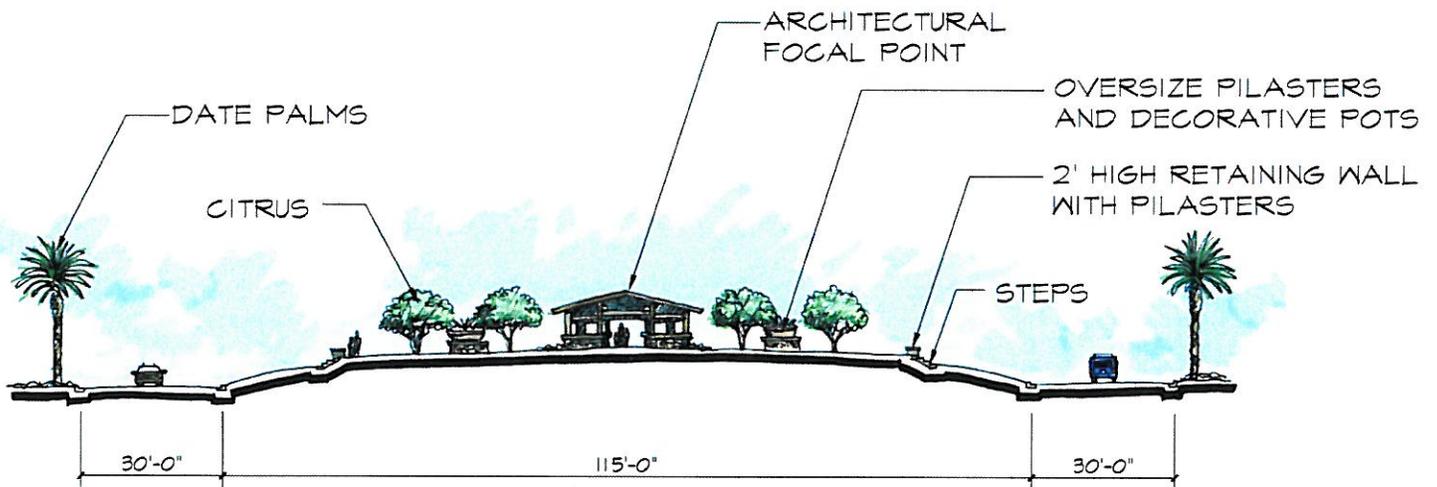
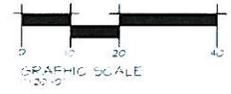


Main Entry Road





Main Entry Roundabout



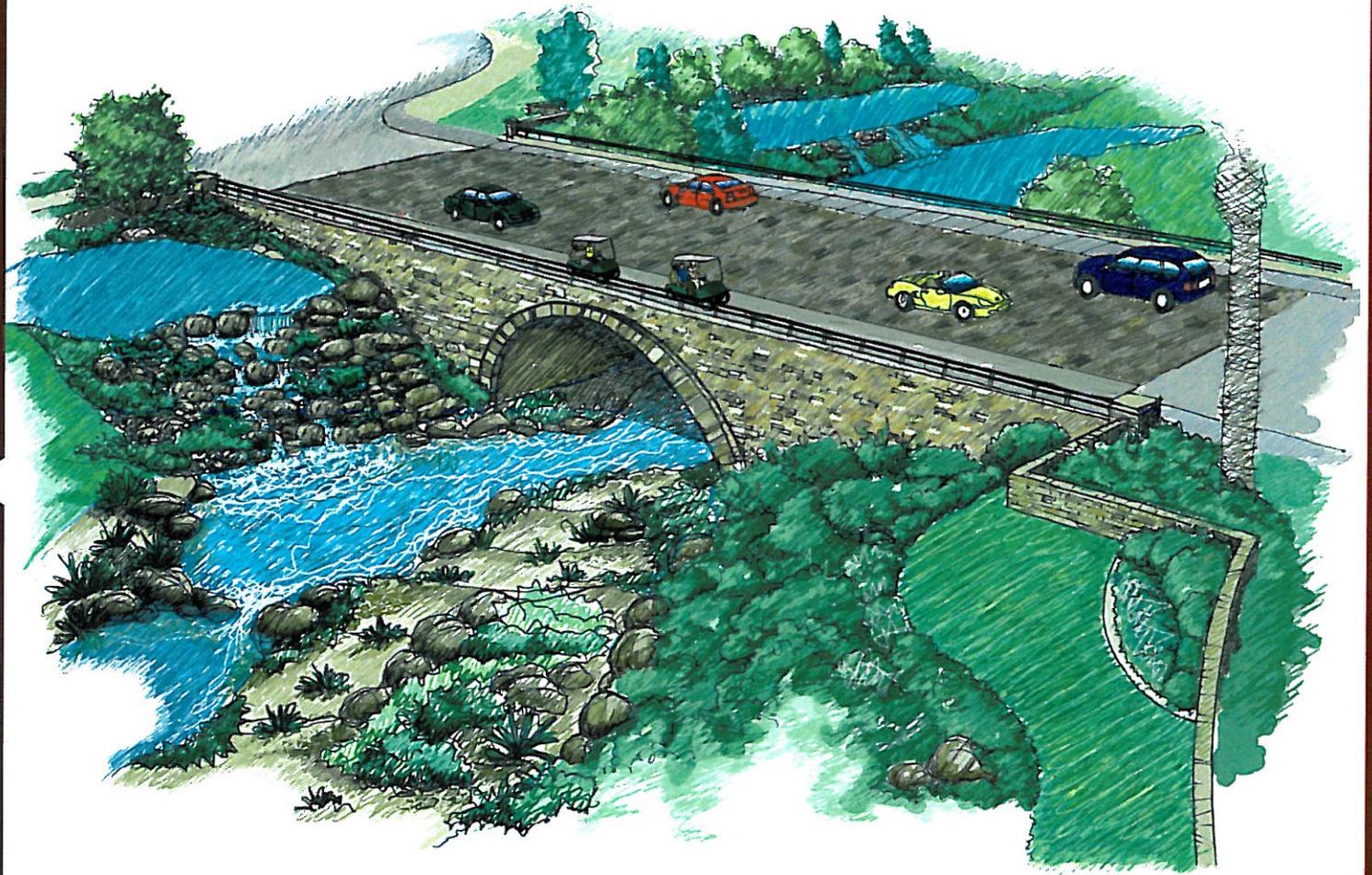
Phase III Roundabout



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Figure 3-13
Citrus Ranch Roundabouts



CITRUS RANCH



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Figure 3-14
Conceptual Golf Course Bridge

3.4 GRADING AND DRAINAGE PLAN

3.4.1 Grading and Drainage Plan Objectives

The Grading and Drainage Plan has been developed to achieve the following objectives:

- Provide for management and conveyance of peak flows and volumes for the 3-hour, 100-year storm event (consistent with the Riverside County Hydrology Manual- the design criteria used by the City of Indio).
- Provide a rough-graded "sheet flow" golf course condition for the golf course and a mass-graded "sheet flow" condition for the residential Planning Areas.
- Accomplish a balance of cut and fill within the project boundaries.
- Integrate drainage elements into the golf course and active parks to achieve efficient land uses.
- Identify approximate locations of 100-year storm retention basins.
- Provide approximate locations for debris basins.
- Provide drainage channels to convey regional off-site flows through the project.

3.4.2 Grading and Drainage Plan Description

Conceptual Grading

Figure 3-15, Conceptual Grading and Drainage Plan, illustrates the conceptual grading and drainage proposed for the project. The plan is designed to provide a "balanced" condition for onsite earthwork. It is assumed that the golf and residential grading will be performed in one operation.

With minor grading modifications, and including subsidence and shrinkage, the preliminary site grading concept plan balances the earthwork onsite. The plan identifies flow directions and major contours and the tentative map identifies proposed contours. The Grading and Drainage Plan is subject to modifications based on the final site plan for the development, including golf course configuration and final offsite and onsite hydrology conditions.

Final engineering for regional and offsite flood improvements planned along the northern border of the site and within the golf course through the heart of Citrus Ranch may result in minor adjustments to the outer edges and alignment of the resulting conveyances. Negotiations with permitting agencies may also result in modifications to the grading along these corridors. These adjustments may impact the configuration of adjacent Planning Areas. Such spatial modifications to adjacent Planning Areas are acceptable subject to the provisions of Section 7.5.1, Density Transfer, and Section 7.5.2, Acreage Transfer.

Off-Site Drainage

Figure 3-15, Conceptual Grading and Drainage Plan, illustrates design features that accept offsite drainage and convey it through the project area. The Citrus Ranch is located in proximity to the Indio Hills (on the west) and the Little San Bernardino Mountains (on the east). Off-site drainage is generated from both these areas. The Little San Bernardino Mountains are the main source of these flows. Four (4) major watersheds are located in these mountains. They consist of the Pushwalla Canyon, West Berdoo Canyon, Sky Valley area, and Berdoo Canyon. As illustrated in the **Figure 3-15**, the proposed grading and drainage will allow regional and offsite flows to pass through the site via open channels (within golf course areas), under bridge structures at major crossings and closed conduit as necessary. The flows coming from the north are intercepted by a channel located along the northern, western, and eastern boundaries of the portion of Citrus Ranch located to the north of Avenue 38. Offsite flows will be conveyed across Avenue 38 and conveyed into flood channels designed within the golf course and directed to the south. Offsite flows from Indio Canyon will be conveyed across Dillon Road at the southeast portion of the project and directed south in a channel. These drainage features will convey the offsite flows (and any emergency overflows) without increasing velocities to natural release points at the south end of the site. Conceptual cross sections of the various channel conditions are identified in **Figure 3-15**. Lakes/water hazards are planned in the golf course fairways and recreation amenities are planned in the northern drainage channels. Low flow conveyance systems are designed in these areas to reduce sedimentation and nuisance issues with these amenities. The channels include a series of grade control structures, matting, buried revetments, and grasses to implement velocity and scour control.

On-Site Drainage

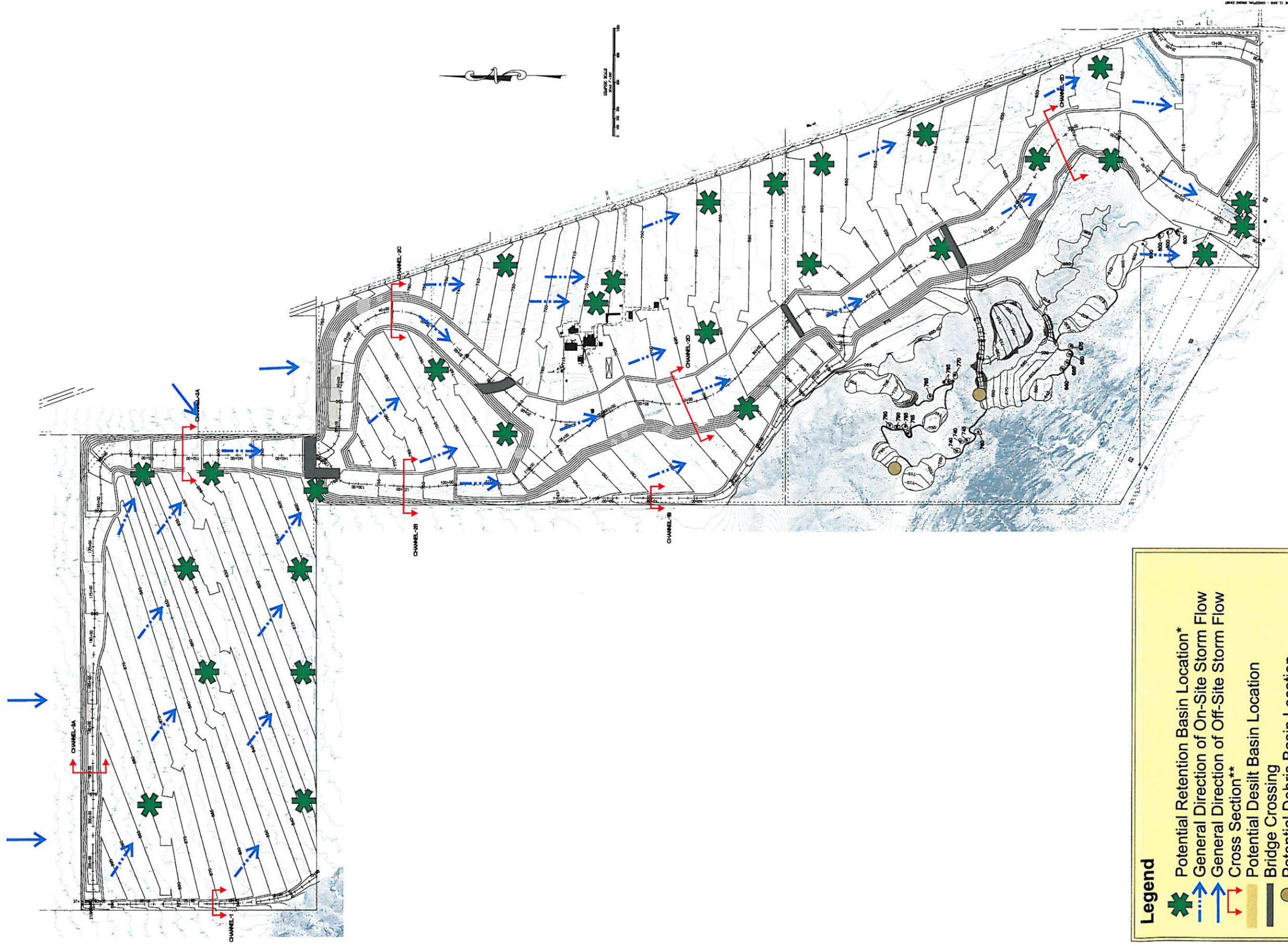
The general direction of onsite stormwater flow is from the northwest to the southeast. The Conceptual Grading and Drainage Plan illustrates concept mass grading and drainage for the thirty-seven (37) Planning Areas planned for residential development within the Specific Plan. The Conceptual Plan identifies potential areas for the retention of the incremental onsite 100-year storm flows. These are illustrated conceptually at low points for each Planning Area. The preliminary hydrology study for Citrus Ranch provides for peak flows and volumes for the 3-hour, 100-year storm event (consistent with the Riverside County Hydrology Manual- the design criteria used by the City of Indio). However, final engineering may result in modifications to grading and creation of retention areas that service multiple Planning Areas. Each Planning Area is graded in a manner in which on-site flows are conveyed within streets and/or drainage features to the retention areas. The final design provides that the 10-year event be contained within the curbs of the onsite streets, and the 100-year event to be contained within the street right-of-way (curb to curb plus P.U.E.). The emergency overflow for each retention area will be directed to the proposed drainage channel(s) planned for conveyance of offsite flows. Preliminary debris basin locations are identified on the plan and will be installed at canyon mouths to protect property and safeguard life. The design of the debris basins will be refined during final engineering.

3.4.3 Grading and Drainage Development Standards

- a) All work shall be done in accordance with the current City of Indio grading standards and any special requirements of the grading permit.

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- b) Storm drainage retention for the incremental site development shall be designed to provide for the 100-year event (3-hour).
- c) Improvements to internal street sections (curb and gutter, and paving) shall be designed to allow the 100-year, 1-hour storm to be contained within the street right of way and/or public utility easement.
- d) Subdrain installation, if required, shall be approved by the City of Indio, the project soils engineer and civil engineer. The Homeowner's Association will maintain all subdrains.
- e) All proposed drainage shall comply with the current drainage standards administered by the City of Indio.
- f) Graded areas on the permitted area perimeter shall drain away from the face of slopes at the conclusion of each work day. Drainage shall be directed toward de-silting facilities.
- g) The applicant/developer shall be responsible for preventing public trespass onto areas where impounded water creates a hazardous condition.
- h) The applicant/developer shall prepare and file a Notice of Intent and National Pollutant Discharge Elimination System permit containing a Best Management Practices Plan and Stormwater Pollution Prevention Plan with the State Water Resources Control Board and the City of Indio.
- i) All site preparation, grading and compacting of soils shall be done in accordance with the recommendations outlined in the Geotechnical Report prepared by Earth Systems, Inc. A licensed geotechnical engineer shall observe site clearing, grading and the bottom of excavations prior to placing fill. Local variations in soil conditions may warrant increasing the depth of compaction and over-excavation. A copy of the Geotechnical Report shall be made available to the structural engineer who prepares any construction drawings for public or private improvements on the project.
- j) A licensed geotechnical engineer shall inspect foundation excavations prior to the placement of reinforcing steel or concrete. Any loose soil or construction debris shall be removed from footing excavations prior to the placement of concrete.
- k) A Fugitive Dust PM-10 Mitigation Plan shall be submitted prior to the issuance of any grading permits or building permits. During construction, the applicant shall utilize the mitigation measures contained in the Air Quality Analysis prepared for the Citrus Ranch Environmental Impact Report.
- l) Although no contaminated soils were found in the Phase I Environmental Investigation, if needed, the applicant/developer shall comply with the Phase II Environmental Investigation requirements by removing any contaminated soil before grading activities begin. A report shall be submitted to the City indicating that the contaminated soil area is clean of pesticides and petroleum prior to the issuance of a grading permit.



Legend

- Potential Retention Basin Location*
- General Direction of On-Site Storm Flow
- General Direction of Off-Site Storm Flow
- Cross Section**
- Potential Desilt Basin Location
- Bridge Crossing
- Potential Debris Basin Location

* Hydrologic calculations for retention pond sizing are available in the Preliminary Hydrology Report for TTM 3445

** Detailed Channel Cross Sections are available in the Preliminary Hydrology Report for TTM 3445



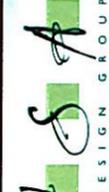
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Figure 3-15
Conceptual Grading and Drainage Plan

- m) The applicant/developer shall be required to submit a construction plan prior to issuance of a grading permit indicating construction hours in compliance with the City's General Plan. Construction activities shall be limited to the hours of 7:00 a.m. to 7:00 p.m. Monday through Saturday. Construction activities shall be prohibited on Sundays and national holidays unless a special permit is granted by the City of Indio.
- n) All grading and excavation in areas identified as likely to contain paleontological/archeological resources shall be monitored by a qualified paleontologist/archeologist. The monitor shall be equipped to salvage fossils as they are unearthed to avoid construction delays and to remove samples of sediment which are likely to contain the remains of small fossil invertebrates and vertebrates. The monitor shall have the authority to halt or divert grading equipment to allow for removal of abundant or large specimens.
- o) The applicant/developer shall design the project to retain 100-year incremental stormwater for a 24-hour duration on site for project generated runoff (developed & undeveloped), for existing and ultimate conditions, and to accept upstream incoming runoff on any proposed additional impervious improvement. There shall be no ponding in the retention basins during dry weather. The retention basins shall have landscaping.
- p) Retaining walls shall be required if slopes are in excess of 2:1 between lots throughout the project and in relation to adjacent boundary properties.
- q) A comprehensive soils report shall be provided for any tentative tract map.
- r) A grading plan shall be submitted along with the PM-10 plan.

3.5 WATER AND SEWER PLAN

3.5.1 Water and Sewer Plan Objectives

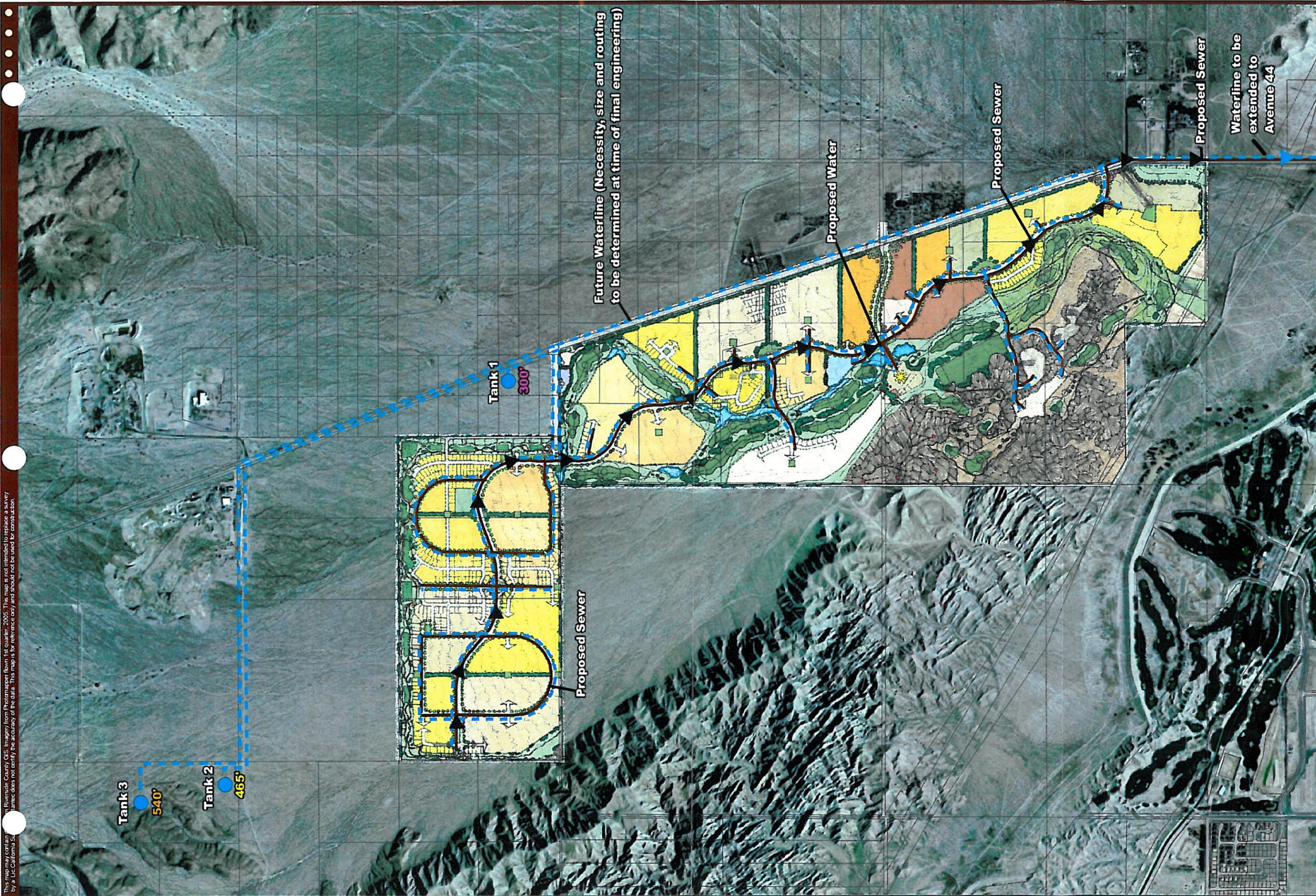
The water and sewer plans have been developed to achieve the following goal:

- Provide potable water and sanitary sewer service as appropriate to all development areas within the project.

3.5.2 Water and Sewer Plan Description

Figure 3-16, Conceptual "Backbone" Water and Sewer Plan, illustrates the conceptual "backbone" or primary water system and the outlet for the sewer system proposed for the project. The Indio Water Authority provides water service to the City and will provide water to the proposed project upon annexation. Domestic water is obtained from water wells throughout the valley and conveyed through transmission mainlines. Water pressure is maintained by pumps and/or storage facilities. It is anticipated that the development will require three (3) water storage reservoirs within or adjacent to the site. Each reservoir is anticipated to provide approximately 3 million gallons of storage. The reservoirs

This map may contain imagery from Riverside County GIS. Imagery from Photomapper (down 1st quarter, 2005). This map is not intended to replace a survey by a Lic California Surveyor. Stantec does not certify the accuracy of the data. This map is for reference only and should not be used for construction.



Geographic Information Systems



Cartographic Design By: Stephanie Cardona

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1 inch equals 1,400 feet
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Infrastructure Exhibit - Citrus Ranch

Figure 3 - 16

a Suncal development



is designed to be located at elevation 300 feet, 465 feet, and 540 feet. Final location of the reservoirs is anticipated to be determined by the final site development plan. Transmission and pumping facilities are provided to allow movement of water within these pressure zones. Where topography does not screen the water reservoirs, additional screening is included where possible through fencing, plantings, and berms. The screening techniques used are determined during final design. Reservoirs will be located on property owned or controlled by the developer.

Sewer service is provided by Valley Sanitation District. It is anticipated that the site development would necessitate construction of "offsite" transmission lines from the southerly end of the development to the existing Valley Sanitation District transmission facilities located near Van Buren and Golf Center Parkway. Valley Sanitation District currently has plans to expand the capacity of their wastewater treatment plant. This expansion allows them to be able to treat effluent from Citrus Ranch as well as several other projects planned for the area. The internal sewer collection facilities consists of gravity mains within the residential development(s) connecting to the "offsite" facilities near the southerly boundary of the project.

3.6 FIRE/EMERGENCY MANAGEMENT PLAN

3.6.1 Fire/Emergency Management Plan Objectives

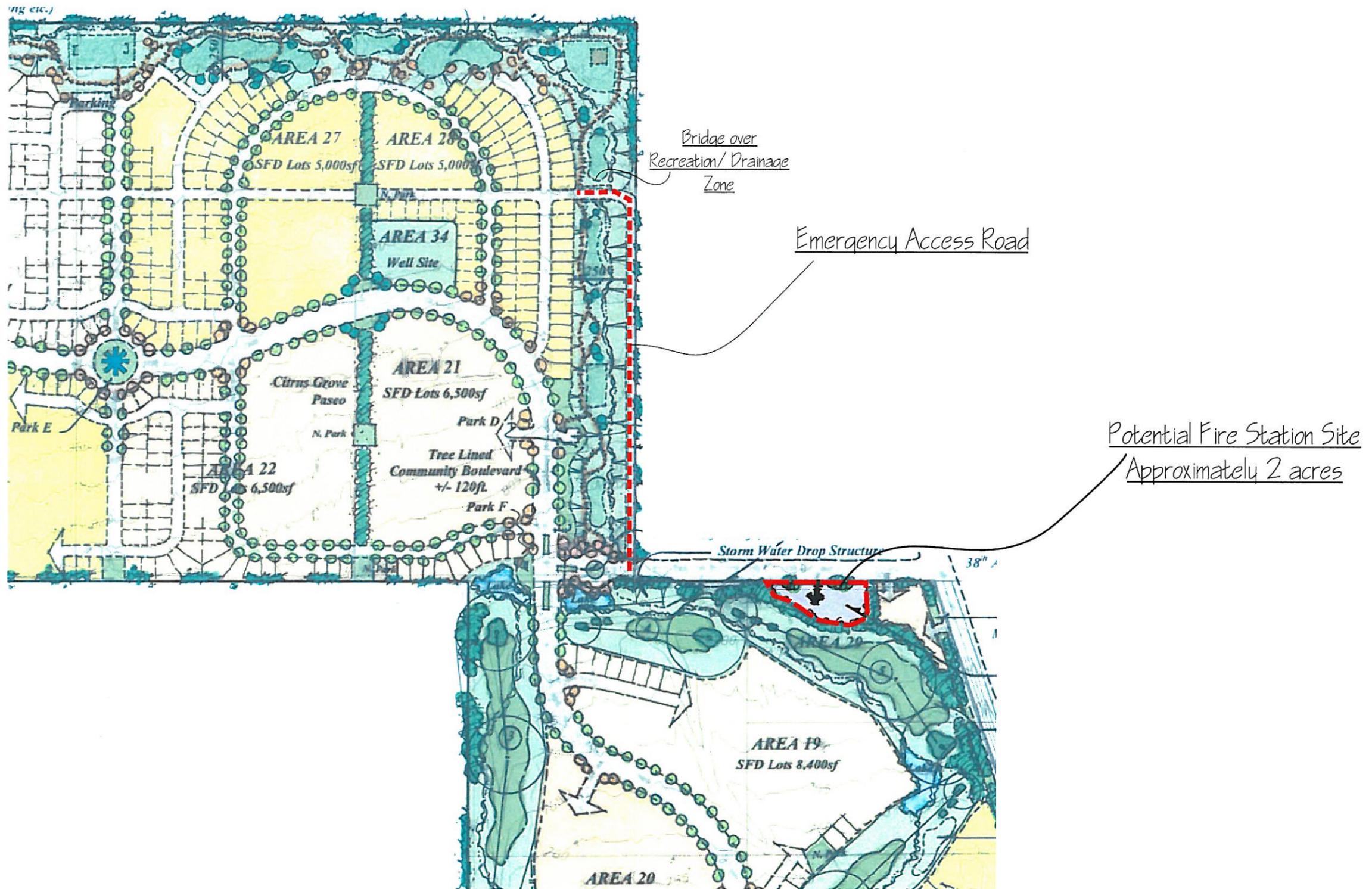
The Fire/Emergency Management Plan has been designed to:

- Provide suitable access for fire fighting and other emergency vehicles.
- Provide adequate water supply for fire fighting purposes.

3.6.2 Fire/Emergency Management Plan Description

The project site is just outside the ideal response times set by the City of Indio Fire Services Department. Currently there are plans to construct a new fire station at Golf Center Parkway and Avenue 44, approximately 4 ½ miles from the south border of the site. However, this is still outside the goal of a station within 1 ½ miles and 10 minutes. Due to the distance of the site to the nearest current fire station and future planned fire stations, it may be necessary to construct a fire station somewhere on the project site to meet emergency needs. A two-acre fire station site has been reserved along Avenue 38 adjacent to the Golf Course Maintenance Area. If this space is not needed, fairway five of the golf course may be realigned and Planning Area 19 may be expanded.

In addition, a secondary emergency access is provided to the northern portion of the project near the Avenue 38 project entrance. This access road is conceptually designed to run along the recreation/drainage zone that is planned for the eastern boundary of the north section of the community, cross a bridge over the channel, and enter the neighborhoods through a separate entrance. The ultimate location of the secondary access road is subject to final engineering and design. The Fire/Emergency Plan is illustrated in **Figure 3-17**.



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Figure 3-17
Conceptual Fire Management Plan

3.6.3 Fire/Emergency Management Plan Development Standards

- a) If warranted, the fire station property shall have a minimum size of 1.5 acres.

3.7 UTILITIES SYSTEM

3.7.1 Electricity

Imperial Irrigation District supplies electrical power to the area in which the project is located.

3.7.2 Natural Gas

Natural gas for the Citrus Ranch project is provided by the Southern California Gas Company.

3.7.3 Irrigation Water

Irrigation water is required for irrigation of the project common areas, golf course and neighborhood parks. The Coachella Valley Water District (CVWD) and Desert Water Agency provide the management of the aquifers in the Coachella Valley. Based on current CVWD policies, the golf course's primary water source must not be the domestic water system. Further, irrigation wells are required for back-up or primary (subject to CVWD approval) irrigation sources.

3.7.4 Broadband Connections

The latest technological advances, such as fiber optics and expanded bandwidth and high-speed Internet connections, are available to all areas of the development. State-of-the-art broadband services provide high-speed telephone, cable television and Internet service (voice, video, and data) to residents. Basic service, consisting of an "always on" Internet service that is faster than DSL or cable modem service, and a community intranet network are typically provided through the community's Homeowners Association.

3.7.5 Solid Waste Management

Residents of the City of Indio are required to contract for their own waste pickup through Waste Management of the Desert.

3.7.6 Utility Development Standards

- a) Utilities along the west side of Dillon Road at the Citrus Ranch property line and within the development (excluding the high-voltage utility corridor along the south of the property) are designed to be placed underground per the requirements of the applicable utility provider.

- b) Utilities shall be constructed per the applicable utility requirements.
- c) Utilities shall be placed in rights-of-way or easements, per utility company requirements, and, in the case of easements, dedicated to the applicable company. Maintenance of the facilities is the responsibility of the utility.
- d) Wherever possible and practical, utilities shall be placed in rights-of-way, either public or private.

3.8 SECURITY PLAN

3.8.1 Security Plan Objectives

The Security Plan has been developed to:

- Control trespass of off road vehicles and target shooters.
- Control access to neighborhoods with manned and keyed security gates.
- Prevent unauthorized gathering in public areas after business hours.
- Control access to the wilderness trails in Indio Hills
- Provide safety to the residents of the development through security and/or low-level path lighting along pedestrian paths and roadways.

3.8.2 Security Plan Description

There are several security concerns due to the proximity of the site to BLM lands historically used by off road vehicles and target shooters. Vehicular access to the site is limited to the entrances located on Dillon Road and Avenue 38. These entrances are gated and access to the secondary entrances is limited to pass-holding residents. Security guards maintain control of incoming public and visitor traffic at the main entrance in the center of the property during business hours.

Access to the golf course parking lot is controlled through the use of gates at the entrance to the parking lot. This restricts public use of the parking lot after business hours. Additionally, this effectively limits public access to the wilderness trails in the Indio Hills since the trailhead is located adjacent to the clubhouse. The wilderness trails are gated and signs are posted to prevent the use of the trails from dusk until dawn each day.

Off road vehicles and target shooters have historically used the BLM open space to the north of the site. To prevent unwanted trespass of these users, several measures are taken:

- a.) Signs are posted along the northern and western boundaries to delineate the project property from the BLM land. A telephone number is provided on the sign to contact the Homeowner's Association for further questions.

CITRUS RANCH SPECIFIC PLAN
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- b.) A block wall and/or view fence is placed along the perimeter of the site as shown in Chapter 6, **Figure 6-12**.
- c.) Vehicle access is limited to the controlled access points as stated above.
- d.) Emergency access is provided along the northern boundary of the site through a service road off Avenue 38 or Dillon Road.



CITRUS RANCH

I N D I O

Planning Area Standards

4.0 Planning Area Standards

Development standards for the Citrus Ranch community have been established at two levels: (1) standards that apply universally to the overall project as set forth in Sections 3.0 and 6.0, and; (2) those standards found in this chapter that apply specifically to the individual Planning Areas and further reinforce the overall project standards. The Planning Areas are grouped into similar housing densities. In addition, development regulations can be found in Section 5.0.

This chapter provides a description of each Planning Area comprising the Citrus Ranch Specific Plan. The description of each density category is followed by a list of design features/standards anticipated for the particular Planning Area and a Planning Area exhibit detailing the above mentioned information in terms of development density, access, roadway landscape treatments, adjacent land uses and other planning regulations and criteria as appropriate. The Citrus Ranch community provides diverse housing types to appeal to many lifestyles, a concept that follows Goal LU-1 of the City of Indio General Plan 2020.

Each residential density category includes a target number of units planned for that density category throughout the site. As detailed lotting studies are completed, the number of units may be adjusted higher or lower, so long as the total number of dwelling units does not exceed 3,075. The final lotting is subject to the density transfer provision described in Chapter 7.0, Administration and Implementation.

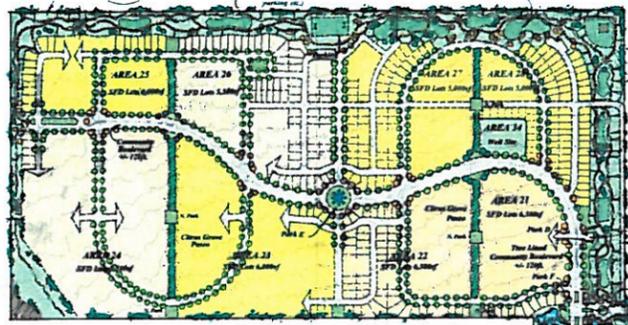
4.1 LOW DENSITY RESIDENTIAL (AREAS 1, 2, 3, 6, 14, 16, 17, 18, 19, 20, 21, 22, 23, & 25)

4.1.1 Descriptive Summary

Planning Areas 1, 2, 3, 6, 14, 16, 17, 18, 19, 20, 21, 22, 23, and 25 are proposed for low density residential housing (see **Figure 4-1**). The housing densities range up to 4.4 dwelling units per acre. 959 units are planned for 262.9 acres distributed throughout the site. This total number of units is based on a gross density calculation. Planning Areas 1, 2 and 3 are intermingled through the Indio Hills in the southernmost portion of the site. These residences provide scenic vistas of both the Citrus Ranch community and the surrounding natural open space. Planning Areas 6, 14, 16, 17, 18, 19 and 20 abut the golf course as it meanders through the community. Many of these residences have the advantage of golf course views. Planning Areas 21, 22, 23, and 25 are located along the southern edge of the northern parcel and border the BLM open space to the south. Lot sizes in each of the Planning Areas are detailed in **Table 4-1**.

LOW DENSITY RESIDENTIAL PLANNING AREAS 1, 2, 3, 6, 14, 16, 17, 18, 19, 20, 21, 22, 23, & 25

Planning Areas 21, 22, 23, & 25
in close proximity to the
Recreation Zone



Views of open space
to the South

In proximity to
the 38th Avenue
Entrance

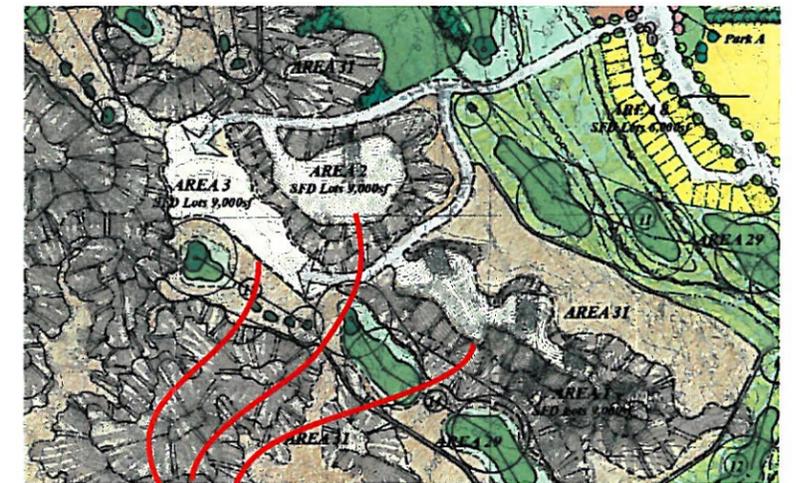
Views of open space
to the West



Citrus Grove Paseos
serve as pedestrian
corridors and buffers

Views of golf
course fairways

Controlled Vehicle Access to all Residential Areas



Areas 1, 2, & 3 are within
the Indio Hills, providing an
interesting residential experience

Views of the golf course fairways
and the Indio Hills

Planning Area Details

- PA 1: 11 units on 5.0 acres; 2.2 DU/AC
 - PA 2: 10 units on 4.9 acres; 2.0 DU/AC
 - PA 3: 15 units on 5.9 acres; 2.5 DU/AC
 - PA 6: 41 units on 9.5 acres; 4.3 DU/AC
 - PA 14: 56 units on 15.1 acres; 3.7 DU/AC
 - PA 16: 60 units on 14.3 acres; 4.2 DU/AC
 - PA 17: 92 units on 34.5 acres; 2.7 DU/AC
 - PA 18: 80 units on 18.7 acres; 4.3 DU/AC
 - PA 19: 79 units on 24.8 acres; 3.2 DU/AC
 - PA 20: 94 units on 25.1 acres; 3.7 DU/AC
 - PA 21: 74 units on 20.0 acres; 3.7 DU/AC
 - PA 22: 103 units on 27.7 acres; 3.7 DU/AC
 - PA 23: 162 units on 38.1 acres; 4.3 DU/AC
 - PA 25: 82 units on 19.3 acres; 4.2 DU/AC
- Single Family Detached Housing
Total of 262.9 Acres



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Figure 4-1
Low Density Residential Planning Areas

Table 4-1
Planning Area Lot Sizes

Planning Areas	Typical Lot Size
1, 2, 3, and 17	75' x 120'
19	70' x 120'
14, 20, 21, and 22	65' x 100'
6, 16, 18, 23, and 25	60' x 100'

4.1.2 Planning Area Standards

- Planning Areas shall contain single-family detached housing units.
- Minimum lot sizes are provided in Section 5.1 of this document.
- Lots at the corner of Local streets or Community Collector streets shall be at least five (5) feet wider than the adjacent interior lots.
- Residential unit design shall be subject to design review as explained in Section 7.2 and shall follow the guidelines set forth in Section 6.0 of this document.
- Residential development shall be in accordance with the standards for Low Density Residential Planning Areas as contained in Section 5.0 of this document.
- Living space shall be oriented to take advantage of mountain and golf course views.

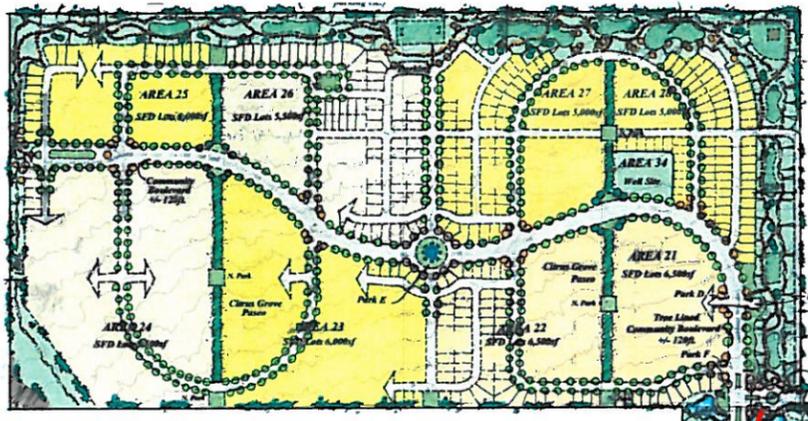
4.2 MEDIUM DENSITY RESIDENTIAL (AREAS 4, 5, 7, 8, 9A, 13, 15, 24, 26, 27, & 28)

4.2.1 Descriptive Summary

Planning Areas 4, 5, 7, 8, 9A, 13, 15, 24, 26, 27, and 28 are proposed for medium density residential housing (see **Figure 4-2**). The housing densities range from 4.5 to 7.9 dwelling units per acre. 1,347 units are planned for 260.3 acres distributed throughout the site. This total number of units is based on a gross density calculation. Planning Area 4 is located along the southern border of the property and abutting Hole 13 of the golf course allowing for views of the Indio Hills in the west. Planning Areas 5, 7, 8, 9A, 13, and 15 are located along the eastern border of the property near Dillon Road. A heavily landscaped Citrus Grove Greenbelt along with a berm will provide a buffer between the residential land uses and the Dillon Road traffic. The views beyond Dillon Road will be expansive valley views of the scenic vistas to the east.

Planning area 24 is located along the southern edge of the northern parcel and borders the BLM open space to the south. Planning Areas 26, 27, and 28 are located along the northern boundary of the site and are bordered by the open space recreation area. The views beyond the borders of the development are expansive views of undisturbed desert scrubland and desert mountains beyond. Lot sizes in each of the Planning Areas are detailed in **Table 4-2**.

MEDIUM DENSITY RESIDENTIAL
 PLANNING AREAS 5, 7, 8, 9A, 13, 15, 24, 26, 27, & 28



Views of open space to the South

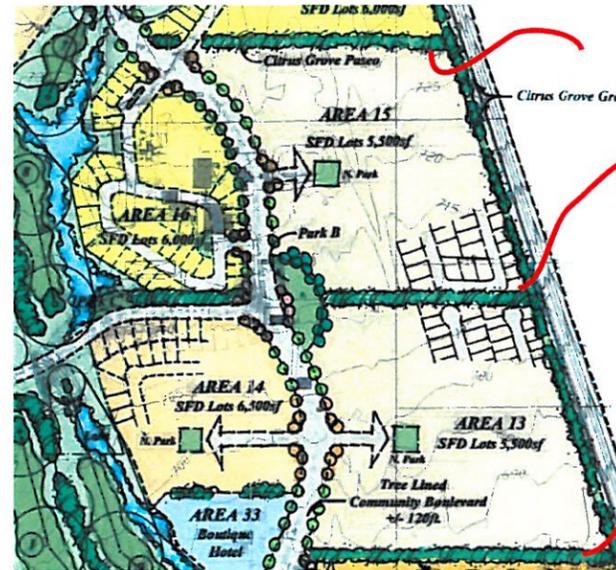
Planning Areas 26, 27, & 28
 in close proximity to the
 Recreation Zone

In proximity to the
 38th Avenue Entrance

Planning Area Details

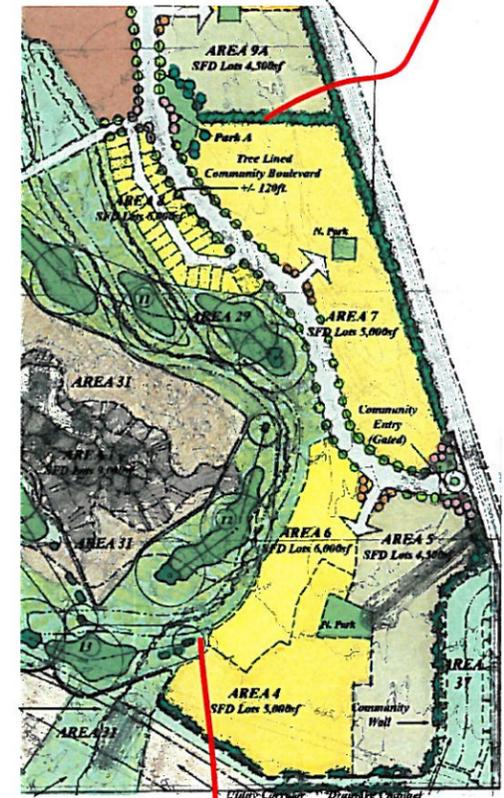
- PA 4: 89 units on 15.2 acres; 5.9 DU/AC
 - PA 5: 107 units on 16.8 acres; 6.4 DU/AC
 - PA 7: 127 units on 24.0 acres; 5.3 DU/AC
 - PA 8: 34 units on 7.1 acres; 4.8 DU/AC
 - PA 9A: 59 units on 10.5 acres; 5.6 DU/AC
 - PA 13: 143 units on 29.4 acres; 4.9 DU/AC
 - PA 15: 134 units on 27.4 acres; 4.9 DU/AC
 - PA 24: 211 units on 43.6 acres; 4.8 DU/AC
 - PA 26: 167 units on 34.7 acres; 4.8 DU/AC
 - PA 27: 167 units on 31.2 acres; 5.4 DU/AC
 - PA 28: 109 units on 20.4 acres; 5.3 DU/AC
- Single Family Detached Housing
 Total of 260.3 Acres

Controlled Vehicle Access to all Residential Areas



Citrus Grove Paseos
 serve as pedestrian
 corridors and buffers

Citrus Grove Paseos
 serve as pedestrian
 corridors and buffers



Views of Golf Course and
 Scenic Indio Hills to the West



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Figure 4-2
 Medium Density Residential Planning Areas

Table 4-2
Planning Area Lot Sizes

Planning Areas	Typical Lot Size
8, 13, 15, 24, and 26	55' x 100'
4, 7, 27, and 28	50' x 100'
5 and 9A	45' x 100'

The neighborhoods may include community and neighborhood parks as well as paseos and greenbelts.

4.2.2 Planning Area Standards

- Planning Areas shall contain single-family detached housing.
- Minimum lot sizes are provided in Section 5.2 of this document.
- Lots at the corner of Local streets or Community Collector streets shall be at least five (5) feet wider than the adjacent interior lots.
- Residential unit design shall be subject to design review and shall follow the guidelines set forth in Section 6.0 of this document.
- Living space shall be oriented to take advantage of mountain and golf course views.
- Residential development shall be in accordance with the standards for Medium Density Residential Planning Areas as contained in Section 5.0 of this document.

4.3 HIGH DENSITY RESIDENTIAL (AREAS 9B, 10, 11, & 12)

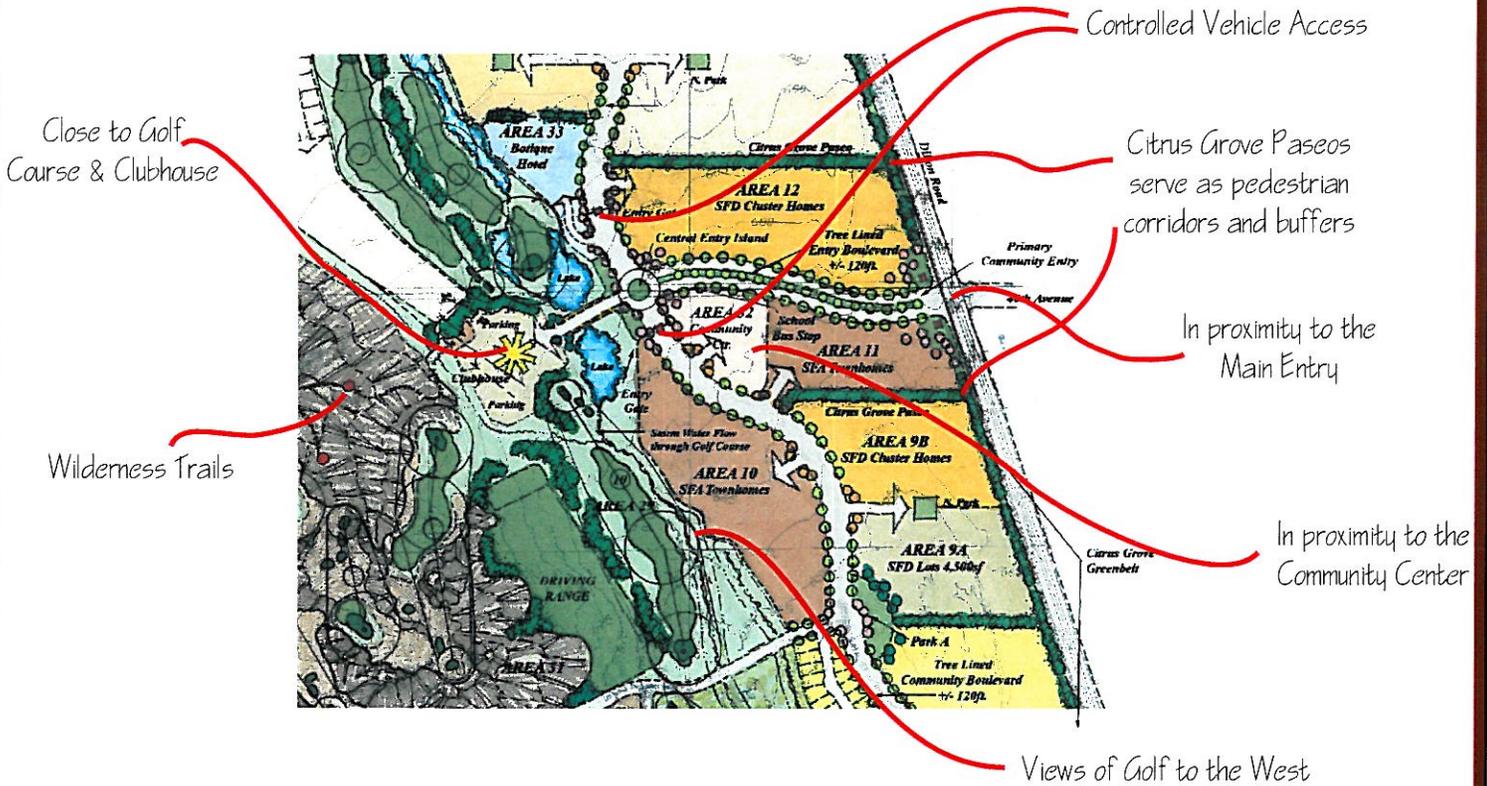
4.3.1 Descriptive Summary

Planning Areas 9B, 10, 11, and 12 are proposed for high density residential housing (see **Figure 4-3**). The housing densities range from 8.0 to 15.0 dwelling units per acre. Several floor plans of both attached and detached condominiums are offered in these Planning Areas. The area is planned for the flexibility to offer a range of residence types and styles that appeal to many market segments, including first-time buyers, seniors, and families. This section of the development, the center along the main entry boulevard, is in close proximity to the golf course, the clubhouse, the wilderness trailhead, and the community center, providing a variety of recreational opportunities for the residents. There will be 747 units on 52.8 acres. This total number of units is based on a gross density calculation.

4.3.2 Planning Area Standards

- Planning Areas may contain single-family attached and/or single-family detached, high density residential housing.
- Residential unit design shall be subject to design review and shall follow the guidelines set forth in Section 6.0 of this document.

HIGH DENSITY RESIDENTIAL PLANNING AREAS 9B, 10, 11, & 12



Planning Area Details

PA 9B: 135 units on 10.0 acres; 13.5 DU/AC
 PA 10: 232 units on 15.5 acres; 15 DU/AC
 PA 11: 144 units on 9.6 acres; 15 DU/AC
 PA 12: 236 units on 17.7 acres; 13.3 DU/AC
 Attached and Detached Housing
 Total of 52.8 Acres



- Residential development shall be in accordance with the standards for High Density Residential Planning Areas as contained in Section 5.0 of this document.
- Living space shall be oriented to take advantage of mountain and golf course views.

4.4 GOLF COURSE (AREAS 29 & 35)

4.4.1 Descriptive Summary

The Citrus Ranch Golf Course (**Figure 4-4**) blends natural desert beauty with the challenge of a desert-landscaped course design. Citrus Ranch provides 18 holes of desert golf totaling 233.1 acres. The golf course meanders through the development and up into the Indio Hills where the fairways and greens make use of the existing topography and integrate into the desert landscape. A series of lakes and detention basins provide unique views to the golf course while serving to convey stormwater flows through the development. The maintenance area provides a central facility for the maintenance equipment, personnel and materials for the entire project, especially the golf course. The area comprises 1.6 acres and includes storage buildings for equipment, parking for employees, landscaping materials, an office, restrooms for staff, a break room, and other accessory uses and buildings. There also is expected to be minor maintenance of equipment on-site whereas major maintenance will occur off-site.

4.4.2 Planning Area Standards

- Planning Areas are intended to contain a golf course and facilities to support it (i.e. golf clubhouse, maintenance, driving-range).
- Naturalized areas abutting the golf fairways shall be implemented where feasible.
- Lakes and streams incorporated into the golf course shall be utilized for drainage and flood-control purposes.
- Grass shall be limited to tees, greens, roughs, landing areas, and practice facilities.
- See Chapter 6.0 for applicable landscape requirements.
- Golf Course development shall be in accordance with the standards contained in Section 5.0 of this document.
- Landscaped transition shall be provided from manicured areas to landscaped naturalized desert and then to natural desert.
- Maintenance area shall be screened from the adjacent properties by a block wall and/or landscaping.

Existing Mountains - Undisturbed



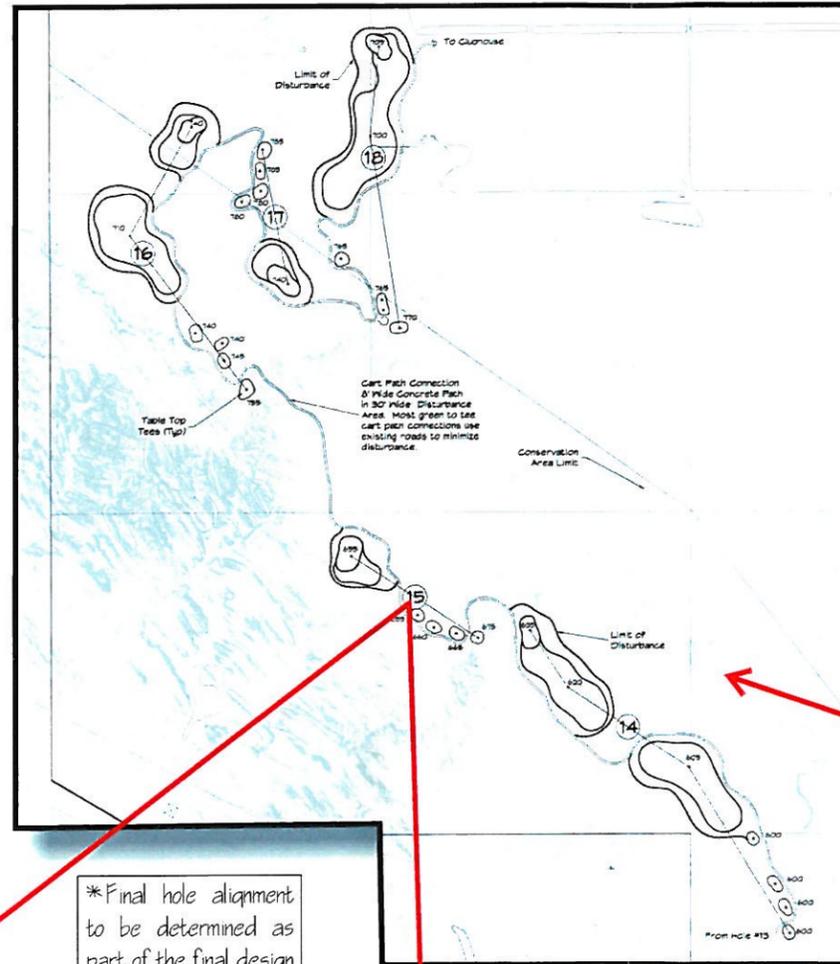
Waste Bunker Transitions into Native Area

Table Top Tees

Cart Path

Target Style Golf Hole Example

Five golf holes, #14 through #18 play through the foothills. These "target style" holes make use of existing terrain resulting in minimal grading and disturbance to the area. Disturbed areas that are not put back in turf will be temporarily irrigated and revegetated with plant material that consists of Creosote bush and native grasses. There are additional non-disturbed areas around holes that could be enhanced with vegetation for mitigation purposes. When possible cart paths connecting holes have been located on existing dirt roads to minimize disturbance.



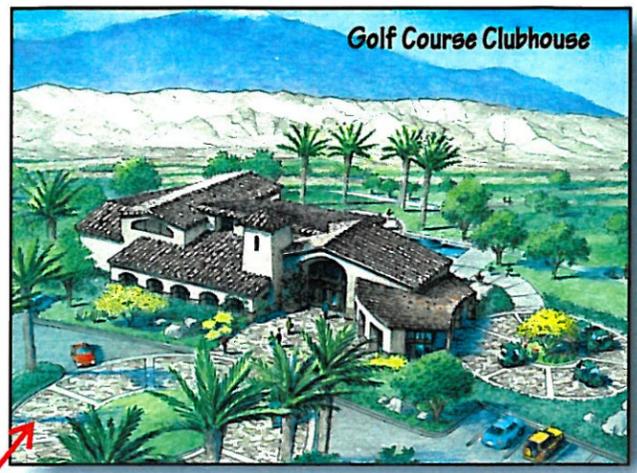
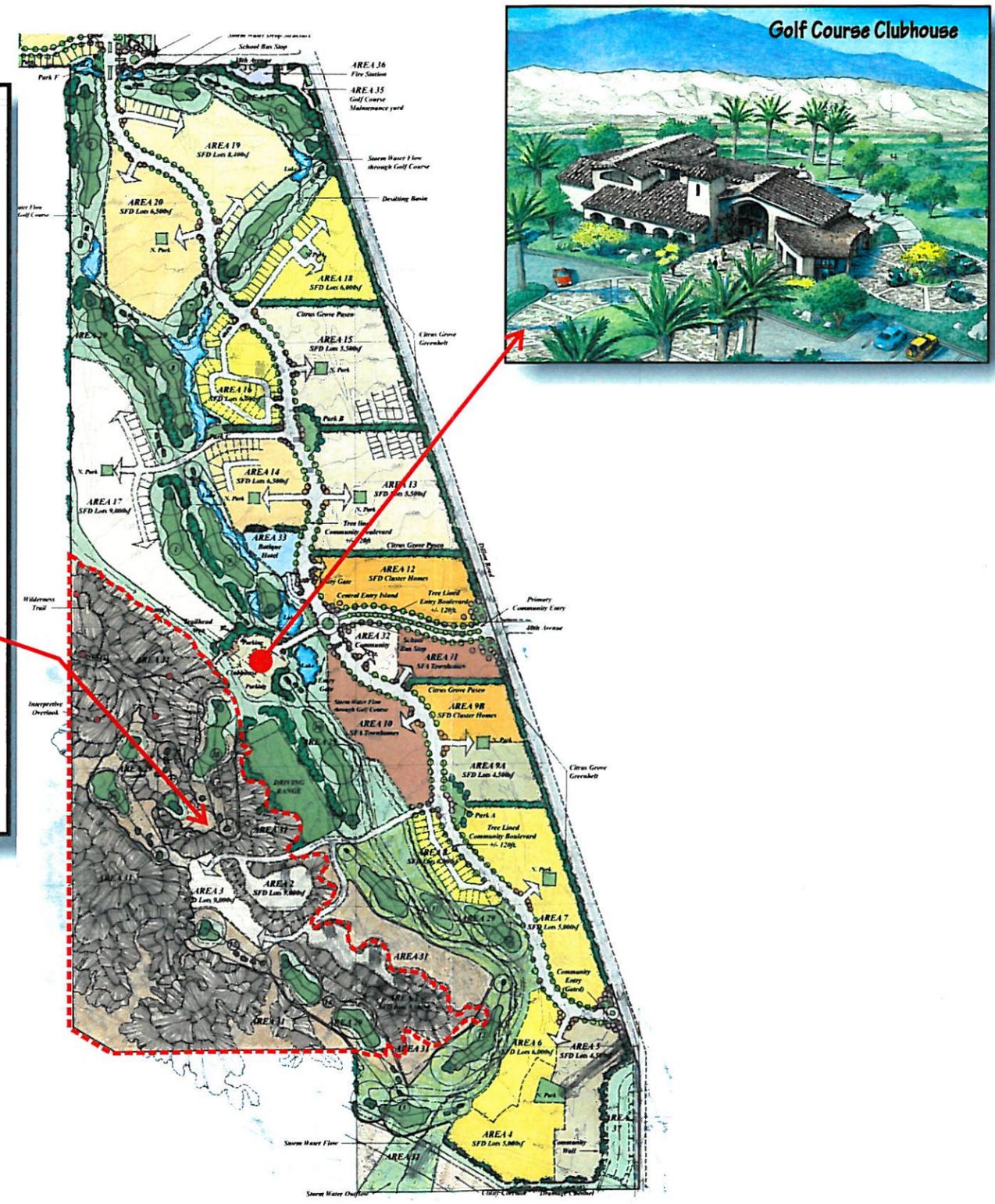
*Final hole alignment to be determined as part of the final design process.



Hole #15 Existing



Hole #15 Proposed



Golf Course Clubhouse

- Maintenance building design shall incorporate the architectural, landscaping and site design techniques found in Section 6.0.
- Maintenance area development shall be in accordance with the standards as contained in Section 5.0 of this document.

4.5 RECREATION/OPEN SPACE AREA (AREA 30)

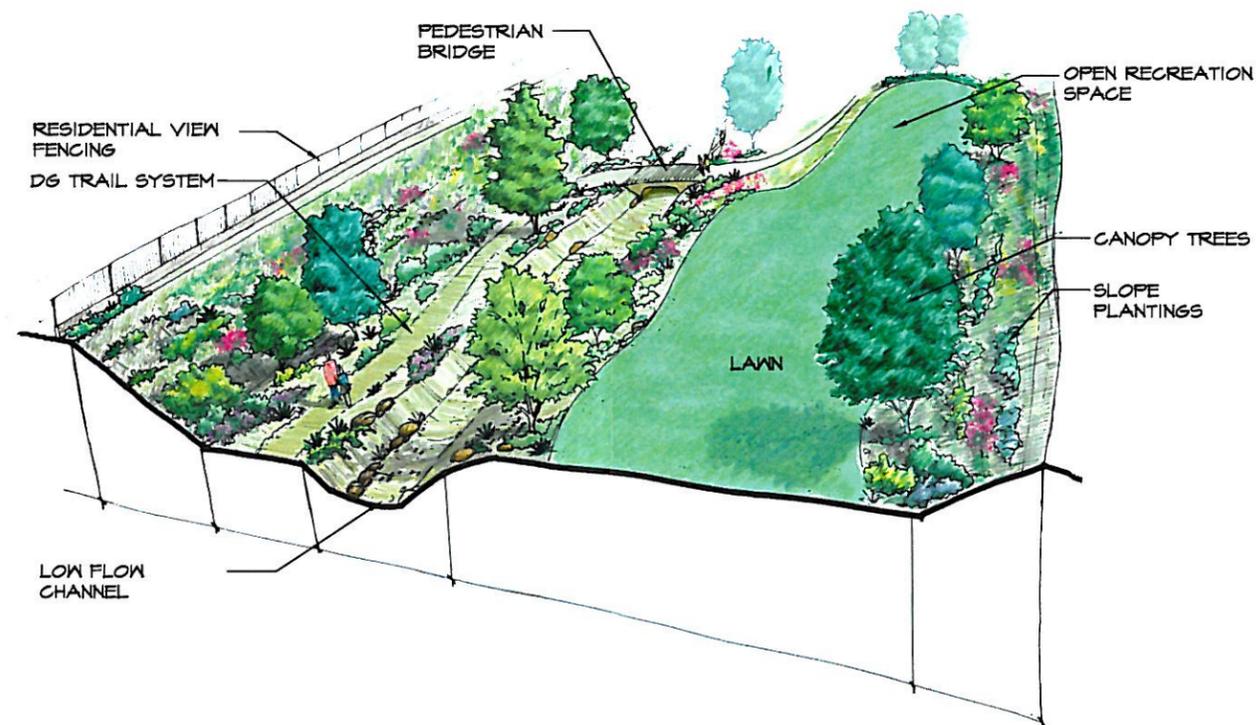
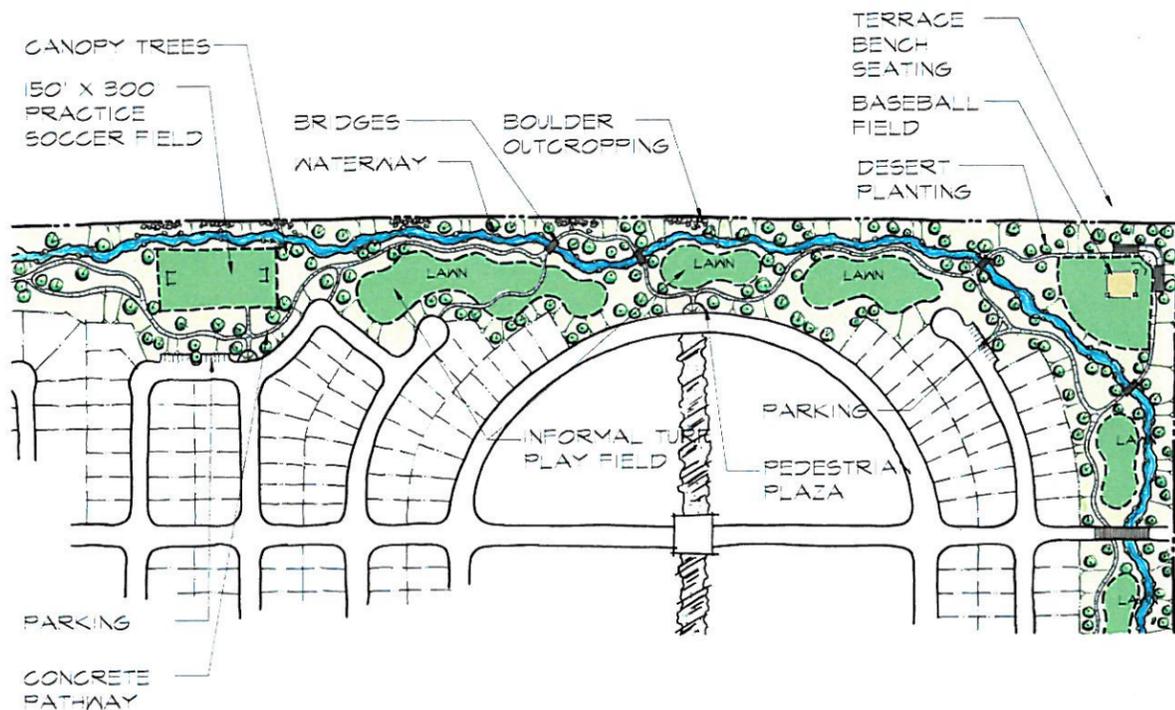
4.5.1 Descriptive Summary

The northern boundary of the development is designed to be a 200-250 foot wide corridor with recreational play fields and trails throughout the area. This corridor also includes drainage features that convey offsite drainage from the north to the golf course drainage system located south of Avenue 38. The area provides the opportunity for mitigation planting if required by regulatory agencies while providing a drainage corridor combined with recreational fields (**Figure 4-5**).

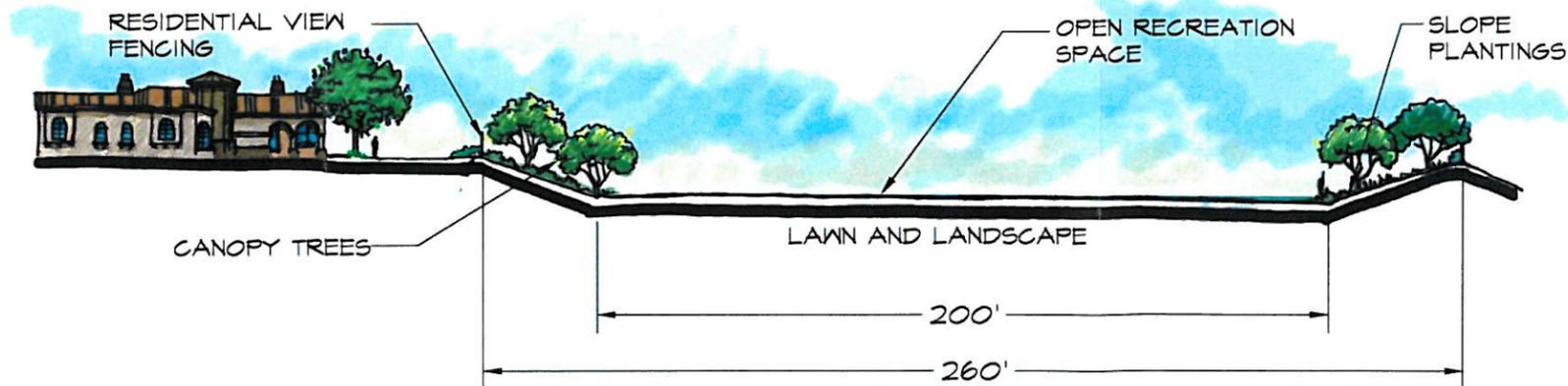
4.5.2 Planning Area Standards

- Recreational opportunities shall be provided for the community.
- Drainage channel shall be provided for the site to accommodate low flow as well as 100-year storm events in the recreation area to employ it as a multi-use zone in the development.
- Planting guidelines set forth in Section 6.0 of this document shall be followed.

PLANNING AREA 30: Recreation/ Open Space Zone



PLANNING AREA 37: SE Drainage Channel



4.6 HILLSIDE OPEN SPACE (AREA 31)

4.6.1 Descriptive Summary

The Citrus Ranch project highlights the use of open space integrated into the design of the neighborhoods and golf course. Approximately 200 acres of the Indio Hills cross the property along the southwestern corner of the site. The hillside areas are designed to remain in a natural state in order to preserve the desert environment. Wilderness trails and interpretive overlooks meander through the desert foothills. The trailhead is located near the golf course clubhouse in order to restrict access to the area after hours.

4.6.2 Planning Area Standards

- Landscape transition to the golf course shall be provided.
- Southwestern portion of the site shall be preserved to protect the wilderness.
- Wilderness trails shall be provided to allow residents exploration of the natural desert landscape.

4.7 COMMUNITY CENTER (AREA 32)

4.7.1 Descriptive Summary

The Community Center (see **Figure 4-6**) is maintained by the community Homeowners' Association and provides recreation and meeting space for residents and key-holding hotel visitors. A swimming pool, tennis courts, basketball courts, spas, a weight and exercise room, a multi-purpose room, and recreational play fields are all examples of the amenities that may be included at the Citrus Ranch Community Center. With its planned location along the primary entry boulevard, the building lives up to its name as a center for Citrus Ranch residents to play, swim, relax, and meet.

4.7.2 Planning Area Standards

- Community center is designed to provide active and passive recreational areas for residents of the project and key-holding hotel visitors.
- Center design shall incorporate the architectural, landscaping and site design techniques found in Section 6.0.
- Community center development shall be in accordance with the standards as contained in Section 5.0 of this document.
- Community center shall be maintained by the Citrus Ranch Homeowners Association.



CITRUS RANCH



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Figure 4-6
Planning Area 32:
Community Center

4.8 BOUTIQUE HOTEL (AREA 33)

4.8.1 Descriptive Summary

The planned boutique hotel is designed to have approximately 65 rooms available for use of visitors to the golf course and development. The hotel is oriented to take advantage of the views of the golf course and foothills beyond. Approximately 5 acres of the project site is set aside for this hotel adjacent to a proposed lake, across from the 9th green, and near the clubhouse, community center, wilderness trailhead, and driving-range. If the hotel is not developed, the area is anticipated to be developed according to the standards set forth for Planning Area 14 (low density residential), and this is expected to add a maximum of 22 additional residential units to the development.

4.8.2 Planning Area Standards

- The Boutique Hotel (Planning Area 33) shall provide accommodations for visitors to the golf course and/or community and provide dining and meeting facilities for visitors and residents of the community.
- Planning Area 33 shall incorporate the architectural, landscaping and site design techniques found in Section 6.0.
- The hotel shall be developed in accordance with the standards for the Boutique Hotel as contained in Section 5.0 of this document.
- If the hotel is not developed, the area shall be developed according to the standards set forth for Planning Area 14 in Section 4.1.

4.9 WELL SITE (AREA 34)

4.9.1 Descriptive Summary

The Well Site Planning Area provides 3.0 acres for potential well sites to serve the project. Should less than 3.0 acres be required for the well sites, the remaining area is anticipated to be developed with residential uses according to the standards set forth for Planning Area 28 (medium-density residential).

4.9.2 Planning Area Standards

- Develop well site / utility site in accordance with the standards for the Well Site as contained in Section 5.0 of this document.
- If the well site is not needed, the area shall be developed with residential uses according to the standards set forth for Planning Area 28 in Section 4.2.

4.10 FIRE STATION (AREA 36)

4.10.1 Descriptive Summary

The Fire Station Planning Area provides 2 acres for a potential City of Indio Fire Station to serve the project. If the site is not needed for a fire station, the area is anticipated to be developed with golf course uses according to the standards set forth for Planning Area 29 (Golf Course).

4.10.2 Planning Area Standards

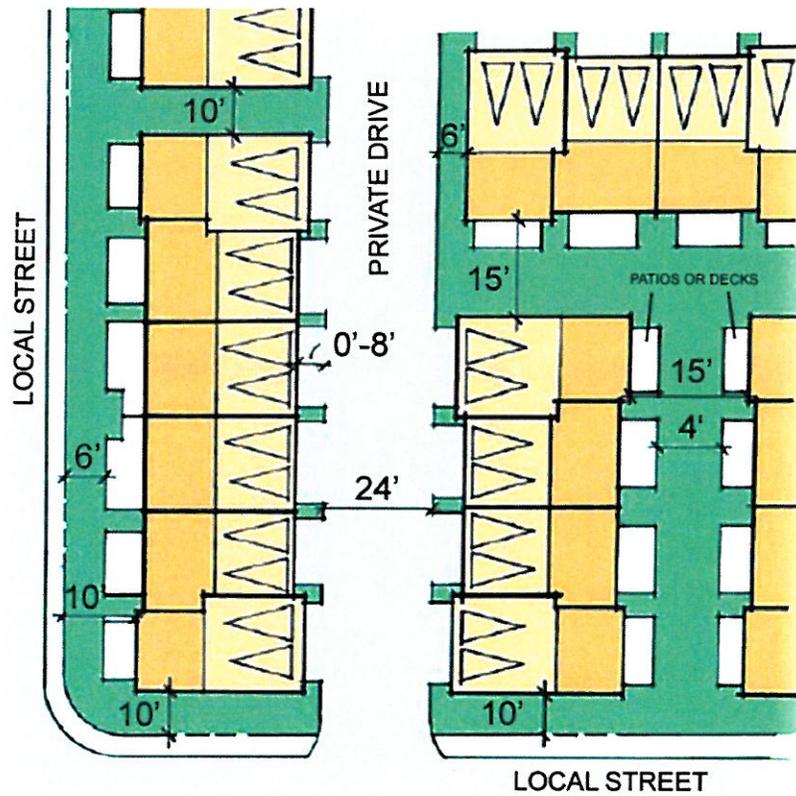
- Develop Fire Station site in accordance with the standards for the Well Site as contained in Section 5.0 of this document.
- If the Fire Station site is not needed, the area shall be developed as golf course according to the standards set forth for Planning Area 29 in Section 4.4.



CITRUS RANCH

I N D I O

Development Regulations



Setbacks

Front:	10 feet
Open Porch/ Balcony at Street:	6 feet from back of walk
Porch/ Balcony to Porch/ Balcony:	4 feet
Side, at Local Street:	10 feet
Side, at private drive:	6 feet
Private Drive Accessed Garage:	0-8 feet
Front Facade to Facade:	15 feet
Side Facade to Side or Rear:	10 feet
Rear Facade to Rear Facade:	15 feet

*Note: This graphic is illustrative of the setbacks and is not meant to convey actual building footprints.



Figure 5-4
Typical Single Family
Attached Condominiums

3. PROPERTY DEVELOPMENT STANDARDS

General Development Standards	
Maximum height of hotel	52 feet, not including architectural accent features, such as clock towers, spires, etc., that may project up to 10 feet above the building height
Maximum coverage of lot	40% for actual structure, not including parking or recreational areas
Street frontage setback	20 feet
Rear setback	20 feet or half the height of the building, whichever is greater
Hotel greater than two stories in height	Setback must be no less than 50 feet from the adjacent residential area to the north (Planning Area 14)
Accessory structures	1-story maximum
Parking Requirements	
Hotel Rooms	1.1 parking spaces for each room
Ancillary Commercial Uses	One parking space for each 200 square feet of ancillary commercial uses (such as day spas, retail shops, and similar uses, not including hotel offices).

5.5 GOLF COURSE

This category is intended to provide for the development of an 18-hole golf course. A maintenance facility is also included in this planning area.

1. PRINCIPAL USES PERMITTED

- Golf course and related facilities including, but not limited to, cart paths, golf cart storage, and maintenance buildings.
- Utility facilities.
- Maintenance buildings.
- Office for the operations of the maintenance area.
- Offices for maintenance employees.
- Flood-control facilities.
- Resource mitigation sites.

2. ACCESSORY USES PERMITTED

- Accessory recreation uses such as tennis courts, swimming pools, putting greens, driving-range, etc.
- Accessory building, uses or structures.
- Refueling equipment.
- Equipment wash-down area with oil separator.
- Public or quasi-public utility facilities, public service facilities, or well sites.

3. **PROPERTY DEVELOPMENT STANDARDS**

Golf Course	
Landscaping design for retention basin/open space parks and common landscaped areas shall require design review and Planning Commission approval.	
Parking Requirements	
Driving-range	One space per each tee
Golf Course	Five spaces per each hole for a total of 90 spaces.
Maintenance Buildings	
Maximum Building Height	25 feet
Minimum Building Setback	10 feet from any public or private road
Parking Requirements	Fifteen (15) unenclosed parking spaces
The architectural style shall blend with the overall community architectural elements found in Section 6 of this document.	
Structures with a temporary appearance, such as metal sheds, shall not be used.	
Any outdoor maintenance or storage area shall be fully enclosed within a 6 foot high wall or landscape hedge.	

5.6 GOLF COURSE CLUBHOUSE

This category is intended to provide for the development of a Clubhouse to accompany the planned 18-hole golf course.

1. **PRINCIPAL USES PERMITTED**

- Clubhouse facilities including pro shop, golf cart storage, and lounge areas.

2. **ACCESSORY USES PERMITTED**

- Snack bar.
- Restaurant/dining facilities.
- Accessory recreation uses, such as locker rooms, saunas, whirlpool spas, etc.
- Meeting rooms.
- New home information, sales, and reservation center.
- Public or quasi-public utility facilities, public service facilities, or well sites.

3. PROPERTY DEVELOPMENT STANDARDS

Maximum building height	48 feet, not including architectural accent features, such as clock towers, spires, etc., that may project up to 10 feet above the building height.
Minimum setback	10 feet from any public or private roads.
Parking requirements	One parking space shall be provided for each 150 square feet of clubhouse space.

5.7 COMMUNITY CENTER

This category is intended to provide for the development of a Community Center. Use of the facility will be limited to residents of Citrus Ranch Development and key-holding customers of the boutique hotel.

1. PRINCIPAL USES PERMITTED

- Recreation facilities including, but not limited to, swimming pool, basketball courts, tennis courts, weight and exercise room, multi-purpose room, recreational play areas, meeting rooms, dining rooms, and food service.
- Utility facilities.

2. ACCESSORY USES PERMITTED

- Snack bar.
- Accessory recreation uses, such as locker rooms, saunas, whirlpool spas, etc.
- New home information, sales, and reservation center.
- Public or quasi-public utility facilities, public service facilities, or well sites.

3. PROPERTY DEVELOPMENT STANDARDS

Maximum building height	48 feet, not including architectural accent features, such as clock towers, spires, etc., that may project up to 10 feet above the building height.
Minimum setback from property lines	10 feet
Parking requirements	One parking space shall be provided per 150 square feet of air-conditioned square footage.

5.8 OPEN SPACE

This category includes those areas designated for open space uses including natural open space and mountainous terrain.

1. **PRINCIPAL USES PERMITTED**

- Natural open space
- Hiking trails.
- Interpretive Overlooks, including benches, gazebos and other similar features.
- Parking.
- Grading and improvements associated with golf course, golf cart paths, utilities, and roadways.
- Flood-control facilities.
- Water storage tanks, well sites and access roads.
- Public or quasi-public utility or public service facilities.

5.9 ACTIVE RECREATIONAL FACILITIES

1. **PRINCIPAL USES PERMITTED**

- Neighborhood Parks
- Community Parks
- Recreational Open Space Area along northern border
- Flood-control facilities.
- Water storage tanks, well sites and access roads.
- Public or quasi-public utility or public service facilities.

2. **PROPERTY DEVELOPMENT STANDARDS**

Parking requirements for Neighborhood and Community Parks	5 parking spaces will be provided for each park, provided as on-street parking on directly adjacent streets.
Parking requirements for Recreation Open Space Area along the northern border	5 parking spaces will be provided per 1 acre of usable recreation area (i.e. playfields, trails, bike paths).

5.10 WELL SITE

This category includes area that has been reserved for well sites to serve the project.

1. **PRINCIPAL USES PERMITTED**

- Wells

2. PROPERTY DEVELOPMENT STANDARDS

Screening	Equipment must be properly screened from public view according to the design guidelines in Section 6.3.10.
Security	Infrastructure facilities will be fenced and secured from public interference.

5.11 FIRE STATION SITE

This category includes the area that has been designated for use as a Fire Station site.

1. PRINCIPAL USES PERMITTED
- Fire Station and associated uses

2. PROPERTY DEVELOPMENT STANDARDS

Maximum Height	25 feet
Minimum Setback from Property Lines	10 feet



CITRUS RANCH

I N D I O

Design Guidelines

6.0 Design Guidelines

Set against the backdrop of the Indio Hills, Indio Trails is envisioned to be a gated golf course community. The community is designed to be accessed by three entries. The parkways and medians of these entrances are enhanced with citrus and palm trees, as well as indigenous and drought-tolerant desert landscaping. The main circulation spine, a parkway running through the center of the community, is also planted with similar landscaping.

Consistency in the architecture, landscaping, site design, and community elements will provide a unifying theme to the development. The community buildings, including the golf course clubhouse, the community center, and the hotel, are designed in a contemporary expressions and variations of Spanish Colonial Revival style. The residential developments are designed in the styles of contemporary expressions of California Mission, Santa Fe, Early California Territorial, and similar themes found in the Indio area. Architectural guidelines and guidelines for community elements, such as walls, fences, signage, and gateways, are described later in this chapter and reflect this style. Use of native materials such as stone and desert plantings further support this theme.

General Intent. The Design Guidelines for the Citrus Ranch Specific Plan present a method of implementing a design philosophy that results in a high quality, cohesive design character for the development of the Citrus Ranch community unique to the City of Indio.

These guidelines shall be applied by the Planning Commission during design review of each of the Planning Areas in the Citrus Ranch Development as detailed in Section 7.2.

By addressing Site Planning Design, Landscape Design, and Architectural Design, the guidelines provides specific design criteria for the development of Planning Areas within the project, as well as encouraging creativity, imagination and a high level of attention to harmony and consistency within both the built community and the natural environment. Adherence to the Design Guidelines creates a desirable living environment and enhances the community's overall value.

In addition to providing a basis for evaluating design consistency of the project within the Citrus Ranch Specific Plan, these guidelines serve as an instrument for the following:

- To provide the City of Indio with the necessary assurance that the Specific Plan area develops in accordance with the quality and character proposed;
- To provide guidance to developers, builders, engineers, architects, landscape architects and other professionals to maintain the desired design quality;
- To provide guidance to City staff, the Planning Commission and the City Council in the review of future development projects in the area; and
- To provide guidance in the formulation of Covenants, Conditions and Restrictions for the use of land in the Specific Plan area.

CITRUS RANCH SPECIFIC PLAN

Design Guidelines

January 17, 2007

Specific Intent. The design approach taken in the City of Indio encourages project developers to establish unique residential and golf resort environments based on refined and creative architectural and landscape treatments. Since rigid rules tend to produce uniformly mediocre development projects, the Design Guidelines are intended as a statement of general design “intent” which encourage excellence and creativity on the part of builders and design professionals in achieving exceptional results.

Further, in order not to limit design possibilities, but rather to allow flexibility and freedom of expression, the Design Guidelines are illustrative in nature, offering a typical visual expression of potential character and appropriate design response. This flexibility is meant to enhance the project’s economic viability to meet ever changing conditions, including buyer’s lifestyles and tastes, economic conditions, community desires and the marketplace.

Design guidelines for the Citrus Ranch project will:

- Assist in implementing the intent of the Specific Plan by establishing project design compatibility with the existing design concepts of neighboring development;
- Provide a philosophical basis for the creation of precise design guidelines for architectural and landscape design in low and medium density residential Planning Areas;
- Delineate criteria for enhancing the natural site features and native plant materials; and
- Provide a consistent approach to site planning, building design, landscaping and other design elements that will endure for the life of the community.

The Design Guidelines identify elements for all recreation, residential and other land use proposals within the Citrus Ranch Project. These guidelines shall be used for the preparation and review of subsequent site development permits, conditional use permits, and subdivision maps submitted to the City for approval, unless it is demonstrated that certain guidelines are not applicable, appropriate, or feasible under specific circumstances of the project.

6.1 SITE PLANNING DESIGN GUIDELINES

The neighborhoods within the Citrus Ranch community have been planned to effectively adhere to the following site planning guidelines:

- Whenever possible, home sites should take advantage of local and distant views.
- Courtyard-oriented products and cul-de-sacs should promote “clustered” living environments.
- Community boulevards should be designed to create interest and avoid long straight sightlines.

CITRUS RANCH SPECIFIC PLAN

Design Guidelines

January 17, 2007

- A system of paseos and trails should link neighborhoods together and to link neighborhoods with open space, golf, parks and the Indio Hills.
- Neighborhood streets (with few exceptions) should be double-loaded for maximum efficiency and conservation of open space.
- Golf tees, greens, landscape, land forms and water features should provide community and village gateways, points of interest and focal points.
- The boutique hotel should be oriented to provide expansive views of the golf course and the Indio Hills beyond.
- Setbacks should be established relative to golf safety, SCE easement, street frontages and major roadway buffers.
- All roads and intersections will meet City of Indio design requirements. Private drives (**Figures 5-3** and **5-4**) have separate standards (see **Figure 3-8** cross section).
- Pedestrian circulation systems should provide maximum safety and accessibility.
- Interior and exterior walls shall complement the architectural theme as discussed herein.

6.2 LANDSCAPE DESIGN GUIDELINES

The purpose of the landscape design guidelines is to establish landscape standards that will contribute to the thematic development of the Citrus Ranch community identity. The project-wide enhancement of major arterials, collector streets, interior streets, and entries are important to the development of a coordinated project image and identity. These elements are designed to establish levels of hierarchy that will provide a varied and high quality experience at the pedestrian and vehicular level within the project.

The development of the project identity focuses on the following areas:

- To unify all structural elements of the plan in order to present a coordinated project image;
- To incorporate building and plant materials compatible with the project area to develop a project image that is not only unique for Citrus Ranch, but that also mirrors previous and surrounding agricultural uses and blends harmoniously with the surrounding environment;
- To provide enhanced entries, intersections and circulation patterns; and
- To provide the opportunity to create individualized neighborhood area identities within the overall project framework.

6.2.1 Landscape Theme

The Citrus Ranch Specific Plan focuses on developing images of a citrus grove oasis that integrates with the desert region and complements the project site. The landscape theme seeks to develop this association by utilizing site design elements and materials that reflect the dramatic landforms that are the project background. The planting concept is designed to strengthen both the basic fabric of the development and the overall theme through the use of specific plant materials to define and reinforce street patterns, existing site conditions, and neighborhood identity.

The look and feel of Citrus Ranch is communicated through the regionally-influenced architecture and the desert/oasis character of the landscape. Shady, tree-lined community boulevards, drought-tolerant shrubs and groundcovers, the open green expanses of parks, and meandering pedestrian paths through landscaped paseos set the scene for this resort community. A dense canopy of trees provides food and refuge for birds and other visitors to the garden, and helps to create a calm, relaxing setting for desert resort living.

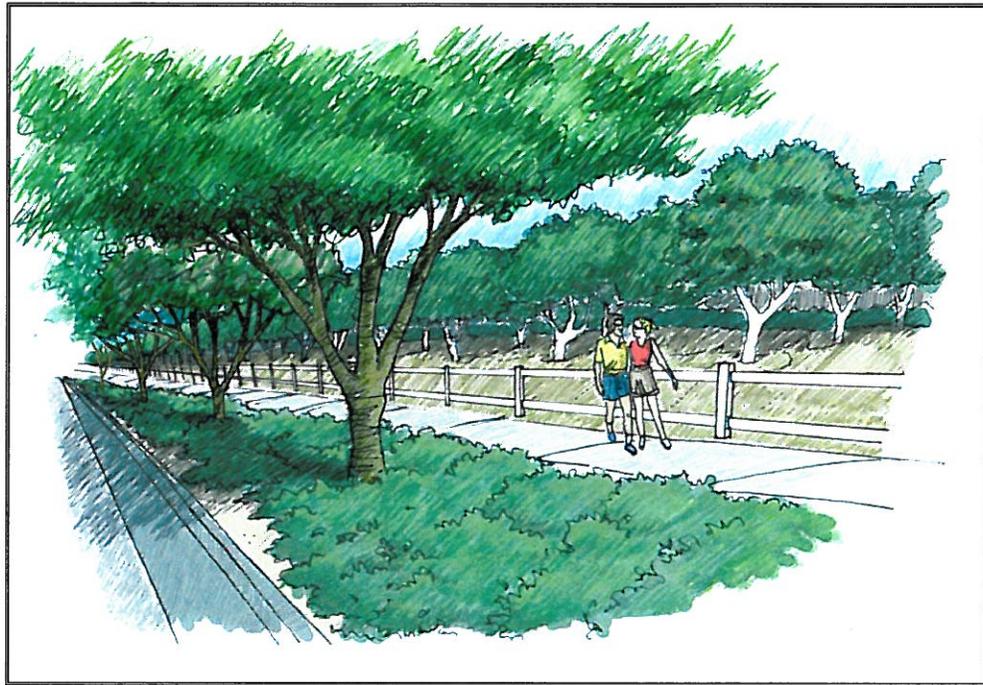
6.2.2 Community Elements

The Landscape Plan consists of community elements that form the basic structure of the plan. These features consist of project entries, parks, trails, paseos, open space, and streetscapes. Individually, the elements identify specific conditions of the plan and a coordinated landscape treatment. Collectively all elements are coordinated with the selection of building and plant materials that provide reinforcement of the overall project theme.

a) Project Entry Treatments

Primary monument signage is provided at the eastern boundary along Dillon Road to announce the community. Smaller facility-specific signage and way-finding signage is provided at the golf clubhouse, community center, golf maintenance facility, and the many community and neighborhood parks. **Figure 6-1** displays some examples of signage details for the Citrus Ranch project site.

Typical main entrance – The main entrance is located at the center of the community along Dillon Road (refer to **Figure 3-1**, Illustrative Master Land Use Plan, for exact location). This provides the main entrance for visitors to the golf course, clubhouse, and hotel. Citrus trees line Dillon Road and identify the theme of the community, while architectural details such as stone steps and a tower or other feature reflect the architectural theme.



Citrus-lined Parkway typical of planned Dillon Road improvements

As shown in **Figure 6-2** and **Figure 3-7**, these entry features includes:

- Plaster wall with pilaster and cap
- Citrus and Palm tree planting
- Community Identification Signage
- Central roundabout with an architectural element to create a focal point
- Gates to the residential areas:
 - Median island with gate house
 - Wrought iron vehicular gate
 - Wrought iron pedestrian gate

Typical Secondary Entries

Two secondary entries to the community are provided to residents and their visitors. As shown in **Figure 6-3** the keyed entries may include:

- Median island with keycard access
- Plaster wall with plaster pilaster and cap
- Wrought iron vehicular gate
- Wrought iron pedestrian gate

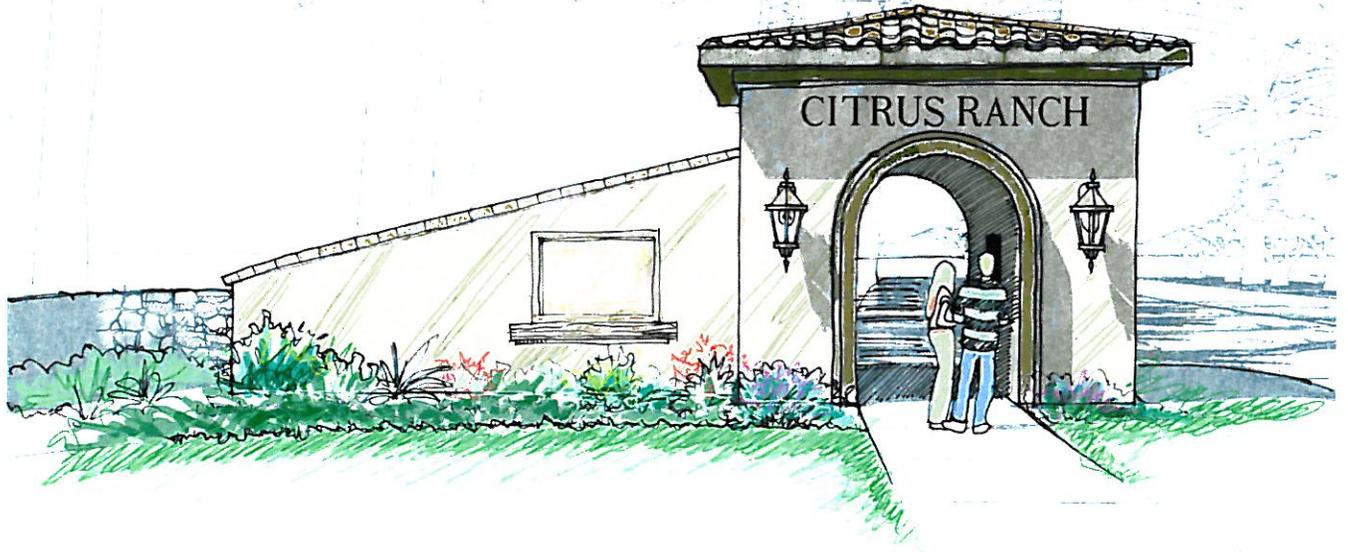
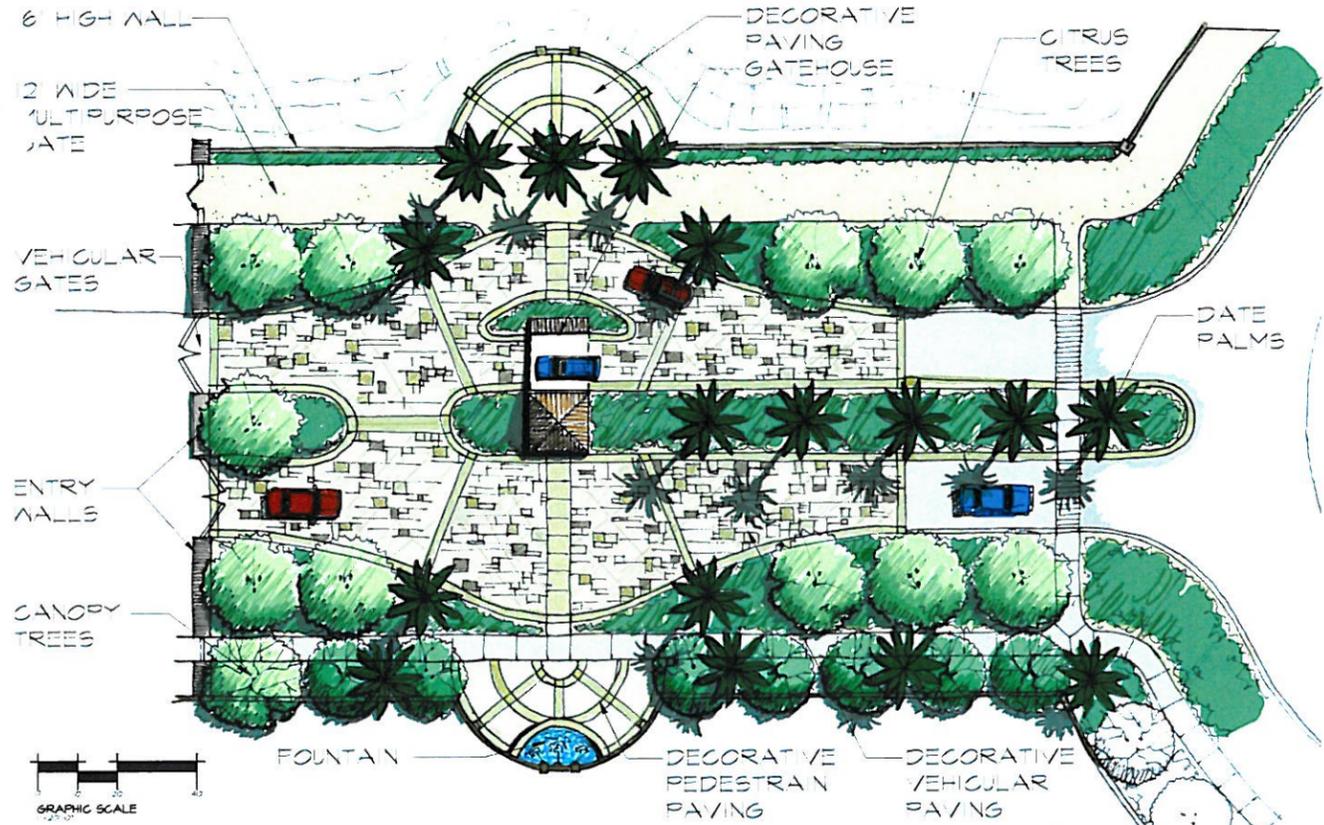
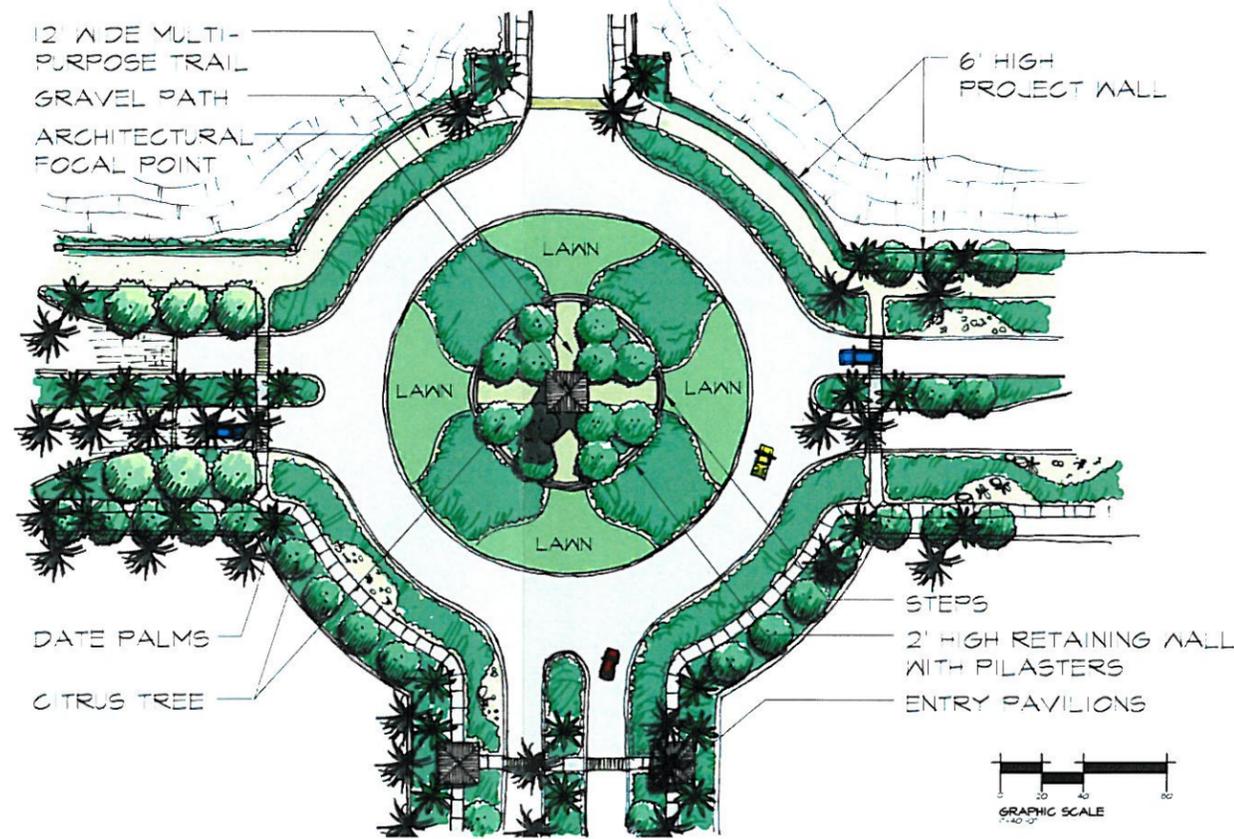


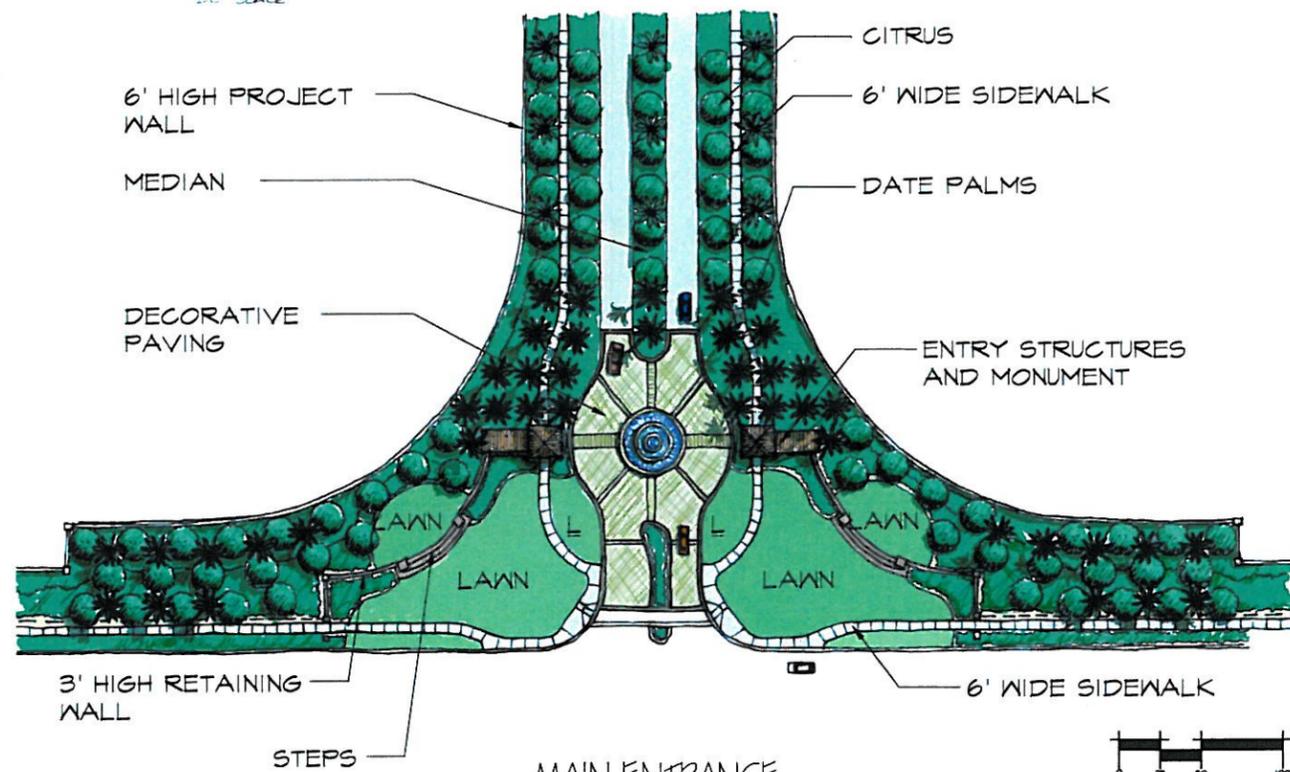
Figure 6-1
Typical Monumentation Styles



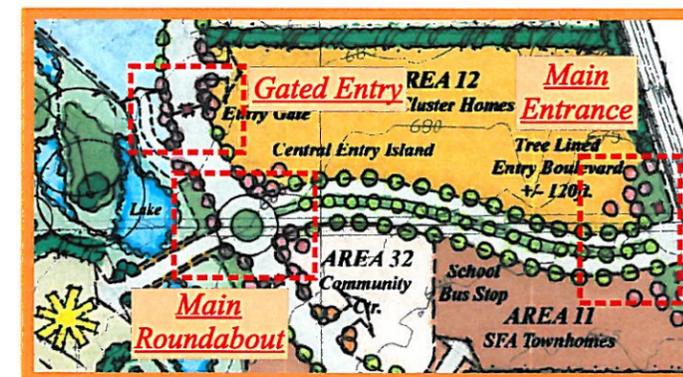
GATED ENTRY



MAIN ROUNDABOUT



MAIN ENTRANCE



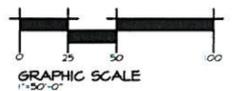
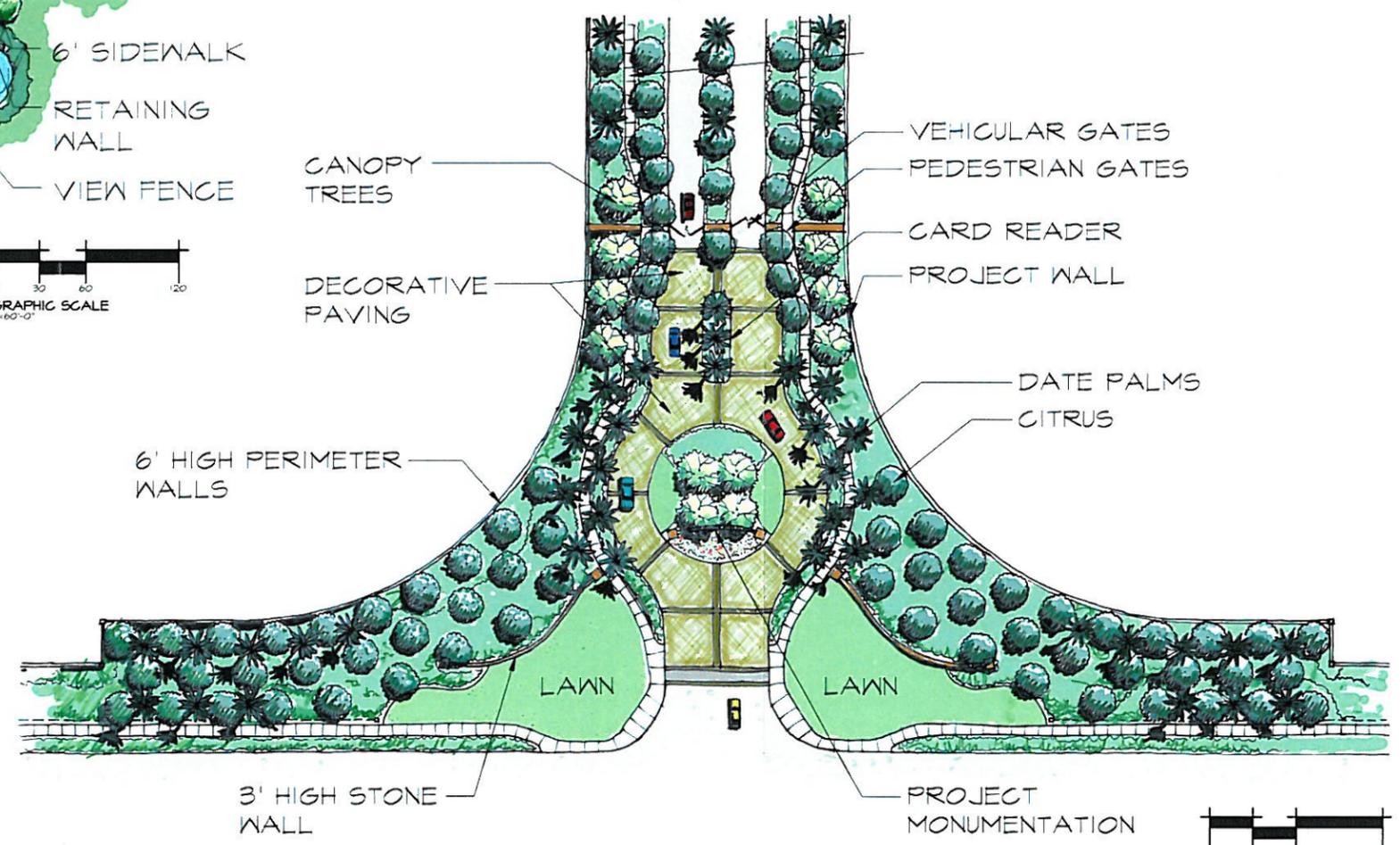
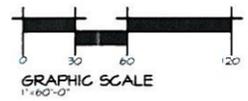
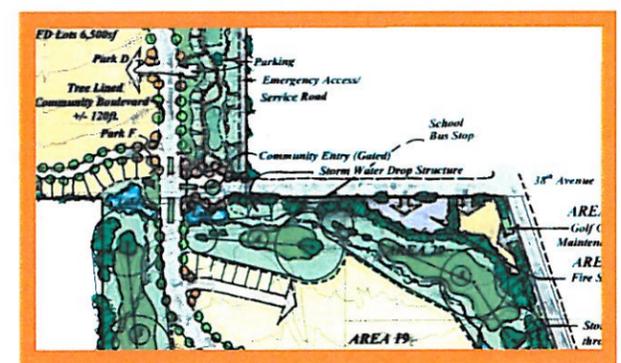
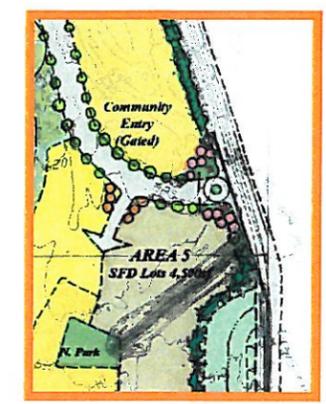
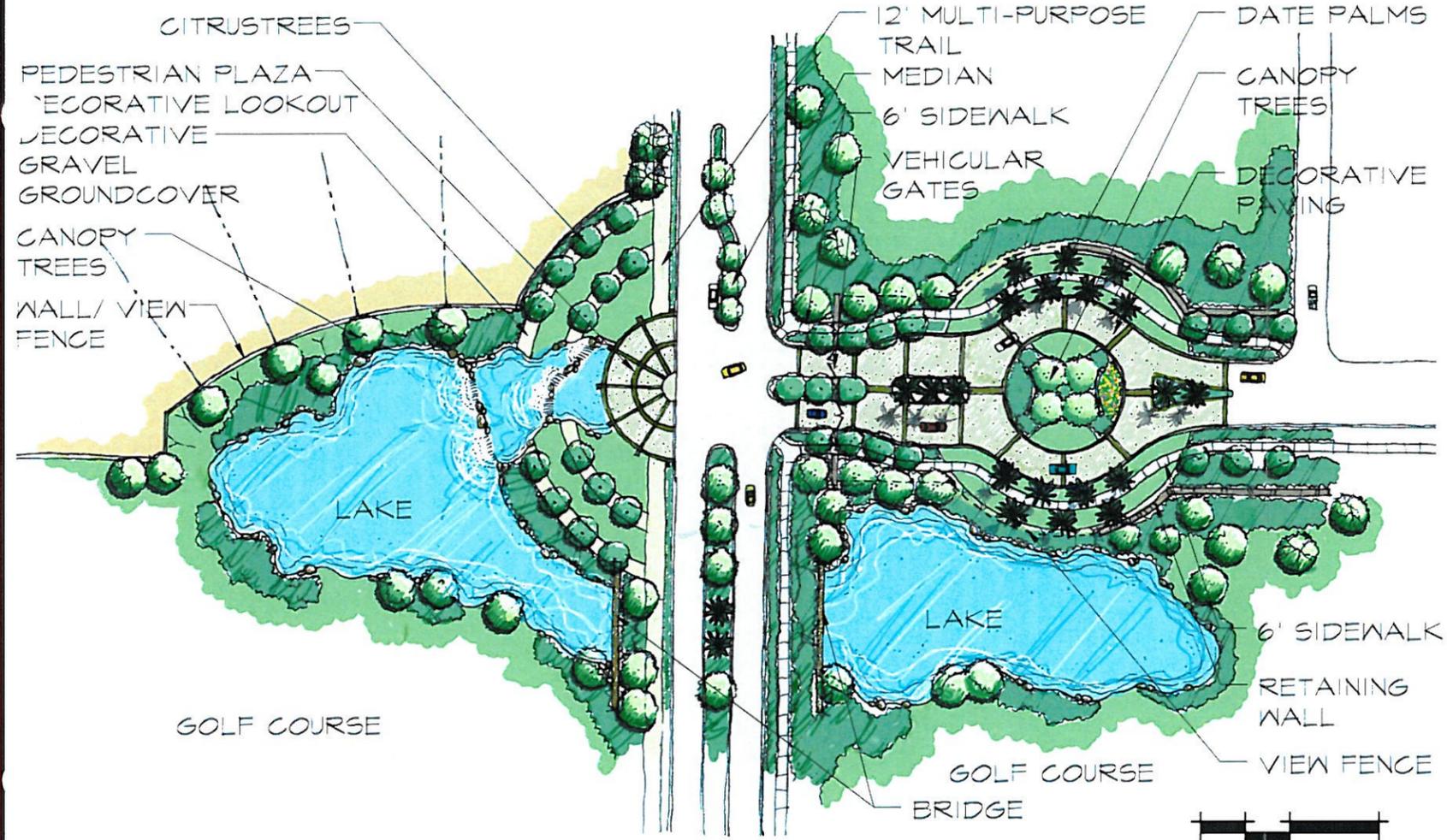


Figure 6-3
Secondary Entrance Details

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- Accent palm and citrus planting
- Community monumentation

Additional signs, such as temporary model home complex signs, flags, and banners, will also be provided within the community. Such signs will be permitted through a subsequent sign program or permit.

b) Parks, Trails, Paseos, and Open Space

Citrus Ranch provides an outstanding variety of recreational opportunities throughout the master planned community. A new 18-hole golf course, a new community center, several community and neighborhood parks, and a system of trails and pedestrian walkways are proposed throughout the community.

The community parks, including the 56-acre recreation zone in the north, provide wider and more expansive recreational opportunities than the planned neighborhood parks. Soccer fields, baseball or softball diamonds, hard court areas for basketball or other court games, and tot lots and youth play areas may be included in the plans for these parks. The park perimeters are heavily landscaped with citrus and palm trees and a desert landscape understory.

Small neighborhood parks are included throughout the Planning Areas to provide an oasis to the residents nearby each of the neighborhoods. These may include tot lots, but may also be passive open spaces to provide more recreation space to the residents. The extensive pedestrian network, including the citrus paseos, links the neighborhood parks to the community parks and the golf course and community center beyond.

The citrus tree-lined paseos provide interconnectivity in the development. Walks are lined with citrus trees providing shade and scenery. Benches are placed along the paseo to allow residents to rest and relax in the shade. In addition, access is provided through central intersections near neighborhood cul-de-sacs and parks.



The wilderness trails planned for the Indio Hills provide a unique experience for the residents of Citrus Ranch. The trails include several overlooks to view the BLM land beyond the boundaries of the development. The overlooks may include benches and informational kiosks that will be constructed to blend with the surrounding desert landscape through the use of light colors and natural materials, such as rocks and stonework.

The High Density Residential Planning Areas provide residents with additional lawn space through the construction of pocket parks and tot lots among the condominium units. Neighborhood pools may also be installed for use by the residents of these areas.

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c) Streetscapes

The street landscape concept is developed to correspond to the hierarchy of the main circulation corridors in the Citrus Ranch Specific Plan. The concept seeks to provide a varied experience that reflects the project's landscape theme character.

The streetscape design shall be a coordinated effort. The initial landscape palette (as depicted below) shall be used for the development of subsequent streetscapes in order to obtain visual uniformity and cohesiveness. It is not the intent to restrict variation in landscape design, but rather to create a feeling of connection throughout the Planning Areas.

Residential streets within Citrus Ranch are designed to connect residential neighborhoods within the project to the main boulevard running in a north-south direction along the length of the project. It is the design intent to allow individual project identity development beyond the neighborhood entry and within each of the Planning Areas. Landscape plantings are used to define the neighborhood.



Landscape plant material utilized within the residential Planning Areas shall be drought tolerant. Large turf areas should be limited to community open space. Examples of conceptual streetscapes can be seen in **Figure 6-4**.

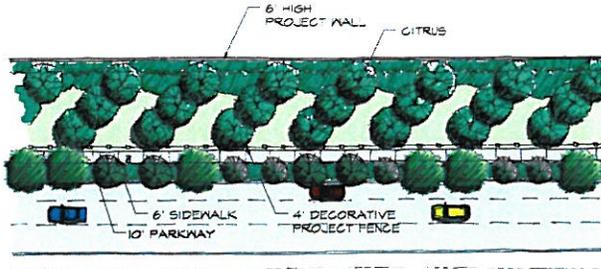
6.2.3 Plant Palette

The plant palette for Citrus Ranch has been carefully selected from the accepted Coachella Valley Water District plant list to help create a rich desert setting. In addition, the project biologist provided a list of plants that could be used to plant for resource mitigation within the Citrus Ranch development.

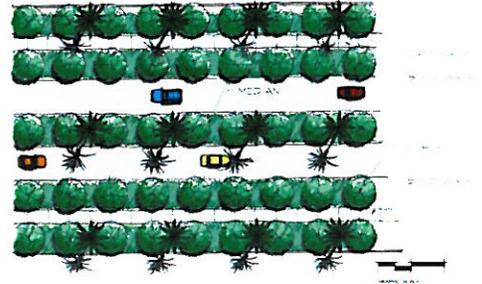
All the plant materials are appropriate for the climate of the Coachella Valley region, which encompasses Sunset Western Climate Zone 13 (Kathleen Norris Brenzel, ed., Western Garden Book, Sunset Publishing Corporation, 2001). Water use is also an important consideration. Most of the plants selected are low water use plantings. Plant grouping will be zoned according to their water needs to provide efficient, water wise irrigation. All landscape irrigation is intended to be controlled with programmable automatic timers to allow irrigation as needed.



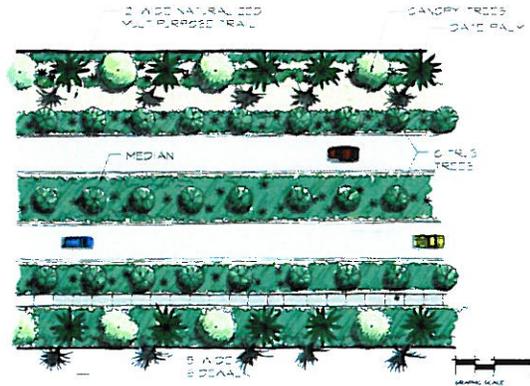
There are three categories of plants for each of the three planting zones that will be onsite: formal desert landscaping falls into the "Desert Dry" category and includes low-water, native plantings; a more lush landscaping falls into the "Desert Lush" category, and includes low-water plantings with showier flowers and greener foliage; and a transitional category, "Desert Transitional" for areas on the borders of the development and in the Indio Hills on the borders



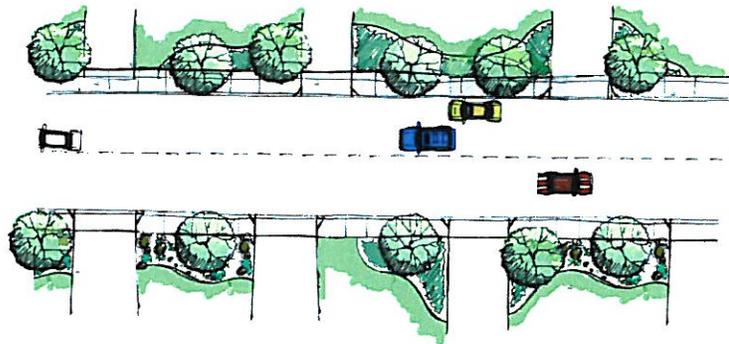
Dillon Road



Main Entry Road



Collector Street



Local Street



Stantec

73-733 Fred Waring Drive Palm Desert, CA 92280 Phone 760 346 0944 Fax 760 346 9388 www.stantec.com

Figure 6-4
Conceptual Streetscapes

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of the golf course fairways to provide a shift from the more lush landscape to natural desert conditions. Each of the lists of acceptable plant materials are included in **Tables 6-1, 6-2, and 6-3**. These plant lists can be supplemented with additional plants that are equivalent as to water efficiency and category as described above.

**Table 6-1
Desert Dry Plant Palette**

Botanical Name	Common Name
Trees	
Cercidum praecox	Sonoran Palo Verde
Chilopsis linearis	Desert Willow
Dalea spinosa	Smoke Tree
Olneya tesota	Desert Ironwood
Shrubs	
Calliandra californica	Fairy Duster
Encelia farinosa	Brittle Bush

**Table 6-2
Desert Lush Low Water Plant Palette**

Botanical Name	Common Name
Trees	
Acacia smallii	Sweet Acacia*
Acacia salicina	Willow Acacia*
Acacia stenophylla	Shoestring Acacia*
Cercidium 'Desert Museum'	Palo Verde
Citrus	Citrus Tree
Fraxinus uhdei 'Majestic Beauty'	Evergreen Ash
Lysiloma thornberi	Feather Bush
Olea Europe 'Wilsoni' or 'Swan Hill'	Olive*
Prosopis chilensis	Chilean Mesquite
Prosopis glandulosa	Texan Honey Mesquite
Quercus virginiana 'Heritage'	Heritage Live Oak
Rhus lancea	African Sumac
Thevetia peruviana	Yellow Oleander
Palms	
Butia capitata	Pindo Palm
Chamerops humilis	Mediterranean Fan Palm
Cocos plumose	Queen Palm
Cycas revoluta	Sago Palm
Phoenix dactylifera	Date Palm*
Phoenix roebelenii	Pigmy Date Palm
Washingtonia hybrid	Mexican Fan Palm*
Shrubs	
Buxus microphylla japonica	Japanese Boxwood
Cassia nemophilla	Green Cassia
Callistemon viminalis 'Little John'	Dwarf Weeping Bottlebrush
Carissa macrocarpa 'boxwood beauty'	Natal Plum
Carissa macrocarpa 'Tuttlei'	Natal Plum
Euryops p. 'Viridis'	Green-leaf Euryops
Ilex vomitoria 'Stokes'	Stokes Holly

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**Table 6-2
Desert Lush Low Water Plant Palette**

Botanical Name	Common Name
<i>Justicia californica</i>	Chuparosa
<i>Justicia spicigera</i>	Mexican Honeysuckle
<i>Lantana montevidensis</i> 'Trailing Purple'	Purple Spreading Lantana
<i>Lantana monevidensis</i> 'New Gold'	Golden Mound Lantana
<i>Leucophyllum frutescens</i> 'Green Cloud'	Texas Ranger
<i>Leucophyllum frutescens</i> 'Thunder Cloud'	Texas Ranger
<i>Ligustrum j.</i> 'Texanum'	Texas Privet
<i>Myrtus communis</i> 'Compacta'	Dwarf Myrtle
<i>Nandina domestica</i> 'Compacta'	Compact Heavenly Bamboo
<i>Nandina domestica</i> 'Harbor Dwarf'	Dwarf Heavenly Bamboo
<i>Nandina domestica</i> 'Nana'	Dwarf Heavenly Bamboo
<i>Nerium oleander</i> 'Petite Pink'	Dwarf Oleander*
<i>Photinia fraseri</i>	Fraser's Photinia
<i>Raphiolepis i.</i> 'Ballerina'	Indian Hawthorn
<i>Raphiolepis i.</i> 'Springtime'	Indian Hawthorn
<i>Rosemarinus officinalis</i> 'Prostratus'	Dwarf Rosemary
<i>Ruellia peninsularis</i>	NCN
<i>Pittosporum tobira</i> 'Variegata'	Variegated Mock Orange
<i>Pittosporum tobira</i> 'Wheeleri'	Dwarf Mock Orange
<i>Salvia gregii</i>	Red Salvia
<i>Salvia leucantha</i>	Mexican Sage
<i>Thevetia peruviana</i>	Yellow Oleander
<i>Wedelia trilobata</i>	Wedelia
<i>Xylosma c.</i> 'Compacta'	Dwarf Xylosma
<u>Groundcover</u>	
Annual Color	Seasonal Flowers
<i>Baccharis p.</i> 'Centennial'	Coyote Bush
<i>Carissa macrocarpa</i> 'Green Carpet'	Natal Plum
<i>Gazania</i> 'Mitsua Orange'	Gazania
<i>Gazania</i> 'Mitsua Yellow'	Gazania
<i>Gazania rigens leucolaena</i>	Trailing Gazania
<u>Espaliers & Vines</u>	
<i>Bougainvillea</i> 'Barbara Karst'	Bougainvillea
<i>Bougainvillea</i> 'Lavender Queen'	Bougainvillea
<i>Calliandra inequilatera</i>	Pink Powder Puff
<i>Ficus pumila</i>	Creeping Fig
<i>Gelsemium sempervirens</i>	Carolina Jessamine
<i>Tecomaria capensis</i>	Cape Honeysuckle

Table 6-3
Desert Transitional Plant Palette

Botanical Name	Common Name
Trees	
Acacia smallii	Sweet Acacia*
Acacia salicina	Willow Acacia*
Acacia stenophylla	Shoestring Acacia*
Cercidium 'Desert Museum'	Palo Verde
Lysiloma thornberi	Feather Brush
Prosopis chilensis	Chilean Mesquite
Prosopis glandulosa	Texan Honey Mesquite
Palms	
Washingtonia hybrid	Mexican Fan Palm*
Shrubs	
Baileya multiradiata	Desert Marigold
Caesalpinia gilliesii	Mexican Bird of Paradise
Cassia nemophilla	Green Cassia
Cassia phyllodinea	Silvery Cassia
Justicia californica	Chuparosa
Justicia spicigera	Mexican Honeysuckle
Lantana montevidensis 'Trailing Purple'	Purple Spreading Lantana
Lantana montevidensis 'New Gold'	Golden Mound Lantana
Leucophyllum frutescens 'Green Cloud'	Texas Ranger
Leucophyllum frutescens 'Thunder Cloud'	Texas Ranger
Leucophyllum langmaniae 'Rio Bravo'	Texas Ranger
Oenothera beriandieri	Mexican Primrose
Ruellia peninsularis	NCN
Salvia gregii	Red Salvia
Salvia leucantha	Mexican Sage
Verbena rigida	Sandpaper Verbena
Verbena gooddingii	Goodding Verbena
Desert Accents	
Agave Gemniflora	Twin-Flowered Agave
Agave Americana	Century Plant
Caesalpinia pulcherrima	Red Bird of Paradise
Dasyliirion wheeleri	Desert Spoon
Echinocactus grusonii	Golden Barrel Cactus
Fouquleria splendens	Ocotillo
Hesperaloe parviflora	Red Yucca
Muhlenbergia capillaries 'Regal Mist'	Regal Mist
Pachycereus marginatus	Mexican Pipe Organ
Penstemon parryi	Parry Penstemon
Euphorbia milli	Crown of Thorns
Yucca gloriosa	Soft Tip Yucca

*These species are not allowed within the boundaries of the East Indio Hills Conservation Area as delineated by the Draft Coachella Valley Multiple Species Habitat Plan. See discussion below.

Discussions with regulatory agencies may result in mitigation plans that require use of native plant materials. **Table 6-4** identifies plants that can be used in these natural areas as well as a supplement to the overall plant palette. This palette can be augmented with plant material that

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is determined to be equivalent and consistent with any established mitigation plan by a professional biologist.

Table 6-4
Mitigation Plant Palette

Botanical Name	Common Name
Larrea tridentata	Creosote Bush
Encelia farinosa	Brittlebush
Cercidium floridum	Blue Palo Verde
Psoralea argophylla	Smoke Tree
Cryptantha angustifolia	Forget-me-not
Psoralea emoryi	Dyeweed
Psoralea schottii	Indigo Bush
Palafoxia arida	Spanish Needles
Croton californicus	Desert Croton
Petalonyx thurberi	Sandpaper plant
Ambrosia dumosa	White Bursage
Plantago ovata	Desert Plantain
Atriplex hymenelytra	Desert Holly
Atriplex canescens	Fourwing Saltbush
Hyptis emoryi	Desert Lavender
Bebbia juncea	Sweetbush
Prosopis glandulosa	Mesquite
Gnaphalium sp.	Gnaphalium
Lupinus concinnus	Bajada Lupine

In addition, portions of the development are within the Draft Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP) East Indio Hills Conservation Area. There are some plants in the Citrus Ranch plant palette that are included in the "prohibited invasive plants" list in the CVMSHCP. They are the Acacia species (*Acacia smallii*, *Acacia salicina* and *Acacia stenophylla*), Olive Trees (*Olea europea*), Date Palms (*Phoenix dactylifera*), Mexican Fan Palms (*Washingtonia hybrid*) and Dwarf Oleanders (*Nerium oleander*). These plant materials are not allowed within the proposed boundaries of the East Indio Hills Conservation Area, including Planning Areas 1 through 8, portions of Planning Areas 9 and 10, and most of golf holes 10 through 18.

6.2.4 Landscape Plan

Landscape and irrigation plans for landscaped lots, clubhouse, golf course, streetscapes, entry treatments, perimeter area lake edges and parks/retention basins shall be prepared by a licensed landscape architect. Landscape and irrigation plans shall be approved by the Development Services Department. The applicant shall submit landscape and irrigation construction plans to the City of Indio Community Development Department for review and approval. Landscape areas shall have permanent irrigation improvements meeting the requirements of the City Engineer. The applicant shall ensure that landscaping plans and utility plans are coordinated to provide visual screening of above-ground utility structures.

6.3 ARCHITECTURAL DESIGN GUIDELINES

The purpose of this section is to establish the architectural character for Citrus Ranch and set a framework of quality standards within which the developer/designer will be afforded the opportunity for creativity and innovation. It is the intent of these guidelines that the architecture of the Citrus Ranch project is of appropriate design to complement the area in which it occurs.

6.3.1 Architectural Objectives

Because architecture is the primary component that reflects the Citrus Ranch community theme and is most visible to the general public, careful consideration was given to the architectural objectives listed below.

- Create architectural variety by combining building materials, colors and textures in conjunction with architectural features such as porches, balconies, columns, windows and doors.
- Develop an integrated street scene by providing a mix of architectural styles within each neighborhood.
- Provide a variety of housing opportunities by encouraging builders to offer several different floor plans.
- Utilize architectural styles that are both compatible with the desert climate and landscape and unique to create interesting neighborhoods.
- Incorporate architectural styles historically used in the region to promote the project theme and provide a strong project identity.
- Achieve contemporary interpretations of historical styles rather than exact recreations.

6.3.2 Unit Mix

A mix of housing types should be used to establish an interesting streetscape and blend separate neighborhoods, thereby creating a unified community. A minimum of three floor plans are required for each housing type and each floor plan shall have a minimum of three different architectural elevations. Identical elevations should be separated by at least three lots. A variety of façade treatments should be used to articulate specific elements and further enhance residences.

6.3.3 Articulation

Front, rear, and side articulation is an important component of the Citrus Ranch architectural theme. Of particular significance are the sides and rears of residences facing public areas such as roads, recreation areas, or paseos. When these conditions exist, side yards must provide at least two design elements along the side and/or rear. Design elements should consist of

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treatments including varied wall planes coupled with shutters, balconies, awnings, trellises, columns, offset roof planes and similar features.

6.3.4 Architectural Guidelines

Public Architecture (Community Buildings, Walls, Entry Statements, Streetscapes)

The architectural design of community buildings provide a unifying element and provide a cohesive neighborhood. As mentioned above, the style generally is designed in contemporary expressions and variations of Spanish Colonial Revival style.



The Community Center serves as the social hub of Citrus Ranch. Its location at a major turning circle at the main entry to the Community makes this public building key to the community identification of Citrus Ranch. This building and its ancillary uses must make a prominent statement for the Planning Area. Pedestrian entries, parking locations, and circulation access should be inviting and convenient.

The Community Center should contain prominent architectural statements, such as vertical architectural elements, diversity of planes, and articulated roof elements that match the architectural theme for the development. Building materials should blend with the architecture, yet reflect compatibility with the harsh desert climate. In addition, all four sides of the Community Center should be articulated with compatible architectural and landscape treatments (such features as patios, balconies, colonnades, trellis structures, recessed or extended windows and doors, shutters, relief in flat walls, treated sidewalks, and paths). Colonnades and other similar architectural elements are encouraged along the façades of the buildings in order to provide shade for the visitors to the Community Center.

Outdoor activity areas will be important for the social interaction of the community. They may include such features as a pool and spa area, cabanas, plazas, patio areas, court game areas, and sitting areas, all of which should consider shade through use of both vegetation and structures. Such areas should be readily identifiable and walls and connecting walks used to identify, separate, and connect these activities should reflect the architecture of the structure. Landscaping should reflect the theme of the development with a blend of "lush" material where people will gather with more drought-tolerant materials in the periphery and parking areas.

The Boutique Hotel provides a unique opportunity to expose visitors to the lifestyle available at Citrus Ranch and to provide community residents with an opportunity to enjoy services available at the facility. This major building complex is located in proximity to the other major community buildings (Golf Clubhouse and Community Center). This building and its ancillary uses must make a prominent statement for the Planning Area to ensure commercial success. Pedestrian entries, parking location, valet service, and circulation access should be inviting and convenient.

The building should contain prominent architectural statements, such as vertical architectural elements, diversity of planes, and articulated roof elements that match the architectural theme for the development. Building materials should blend with the architecture, yet reflect compatibility with the harsh desert climate. All four sides of the Community Building should be articulated with compatible architectural and landscape treatments (such features as patios,

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balconies, colonnades, trellis structures, recessed or extended windows and doors, shutters, relief in flat walls, treated sidewalks, paths, and patios).

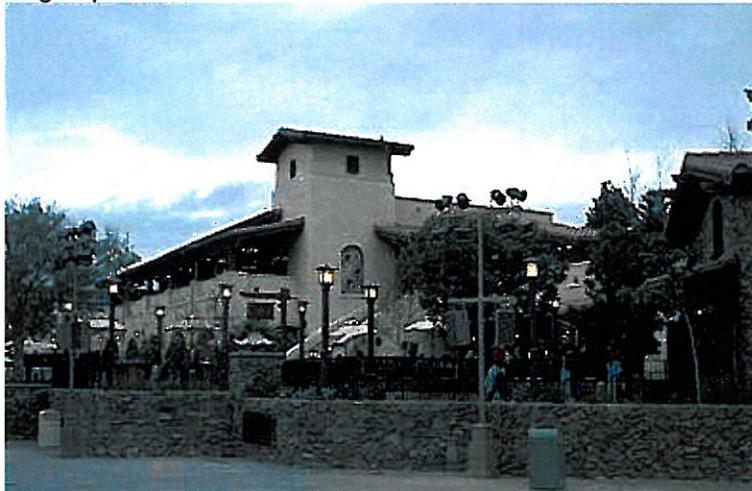
The resort hotel outdoor activity areas may include such features as pool and spa area, cabanas, plazas, patio areas, court game areas and sitting areas. All should consider shade through use of both vegetation and structures. Such areas should be readily identifiable and walls and connecting walks used to identify, separate, and connect these activities should reflect the architecture of the structure. Landscaping should reflect the theme of the development with a blend of "lush" material where people will gather with more drought-tolerant materials in the periphery and parking areas.

The perimeter major arterial, Dillon Road, displays a 45-foot landscaped parkway dominated by a citrus theme. The main collector spine road contains an additional landscaped parkway of 32 feet.

The design of streetscapes shall be a coordinated effort. The initial landscape palette shall be used for the development of subsequent streetscapes in order to obtain the visual uniformity and cohesiveness. It is not the intent to restrict variation in landscape design but to create a feeling of connection throughout the development.

Golf Course Component

The golf course is a unifying component through the center of the development. The 18-hole golf course shall reflect the historic character of the citrus groves while meandering through the development. As the course reaches the Indio Hills in the southwest portion of the site, the natural desert landscape will border the fairways and holes preserving the undisturbed hills for a unique desert golfing experience.



The Clubhouse, located in the center of the development, enhances the architectural theme of the community buildings. The clubhouse serves a main focal point of the Citrus Ranch, as it is the terminus of the main entry to the Community. As such, building placement mandates that it dominates the Planning Area. Pedestrian entries, parking locations, and circulation associated with bag drops, valet, and restaurants should be inviting and convenient.

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The building should contain prominent architectural statements, such as vertical architectural elements, diversity of planes, and articulated roof elements that match the architectural theme for the development. The building materials should blend with the architecture, yet reflect compatibility with the harsh desert climate. In addition, all four sides of the Clubhouse should be articulated with compatible architectural and landscape treatments (such features as patios, balconies, recessed or extended windows and doors, shutters, relief in flat walls, water features, treated sidewalks, and paths). Colonnades and other similar architectural elements are encouraged along the façades of the buildings in order to provide shade for the visitors to the Community Center.

Outdoor activity areas, such as plazas, patio areas, golf staging and sitting areas should consider shade, through use of both vegetation and structures. Such areas should be readily identifiable and separating walks and connecting walks should reflect the architecture of the structure. Landscaping should reflect the theme of the development with a blend of "lush" material where people will gather with more drought-tolerant materials in the periphery and parking areas.

Residential Areas

The architecture within the Citrus Ranch development responds to the Coachella Valley environment. The design and orientation of residential units emphasizes the magnificent views that surround the project area and also the views created by amenities within the project such as golf fairways, water features, and other landscape features planned for the development.

Climate consideration is a major factor when dealing with architecture in the desert region. Attention shall be given to the orientation of windows, doors, the sun and the wind, accordingly. Building materials, wall surfaces, shading and window coverings, etc., are important elements of the architectural integrity of a project. These and other design features can be accommodated by incorporating a variety of architectural styles, utilizing a variety of construction materials. **Figures 6-5, 6-6, 6-7, 6-8, 6-9, 6-10, 6-11** show some of the details, materials, and styles that may be utilized in the Citrus Ranch development.

Water Storage and Electrical Substations

All electrical substations and water reservoirs shall be screened from the view of the residents. Alternative treatments that may be used include elements such as a block wall, landscape treatment, berms, or other similar view screens.

6.3.5 Architectural Theme

The desired architecture style of the community buildings will follow the theme of contemporary expressions and variations of Spanish Colonial Revival style. The residential architectural styles are based on contemporary expressions of California Mission, Santa Fe, Early California Territorial and similar themes found in the Indio area.

6.3.6 Color

A range of earth-tone colors is acceptable on residential units. Neutral colors such as off-white, beige and sand are acceptable, as well as deeper earth tones. The community buildings are finished with richer, deeper colors.

Finish material with "natural" colors such as brick, stone, copper etc., should be used where practicable.



6.3.7 Acceptable Building Materials

Acceptable building materials include textured stucco; masonry including flagstone, slump stone, split-faced block, fluted split-faced block, or slump stone stabilized adobe; wood including exposed, heavy timber, rough sawn beams, glue-laminated beams, and peeler poles with transparent or opaque stain finishes; and glass block. Manufactured stone and wood may also be used in the community.

6.3.8 Garages

There are four types of allowable garages within Citrus Ranch: forward-projecting, recessed, side drive and swing-in. All garages are required to use roll-up doors. Each neighborhood shall incorporate a variety of garage treatments to create an interesting street scene.

Front-facing garages must be set back from the property line a minimum of 18 feet. Three-car wide garages are prohibited, but a third garage may be provided using a combination of recessed and tandem or swing-in parking. Front-projecting and recessed garages on corner lots must be located on the interior side of the lot, away from the street.

Side-drive garages allow for either attached or detached garages located along the side of the residence. These garages provide a longer driveway and position the garage farther away from the street. Side drive garages may not be wider than a two car garage.

Swing-in garages may also not exceed two cars in width and are not permitted on more than 25 percent of the lots. Third garages are allowed in conjunction with swing-in garages provided that they are recessed and located on a different plane of the house. Swing-in garages must be set back from the property line a minimum of 10 feet and must be placed on the interior side of the corner lots.

6.3.9 Roof Styles and Materials

Hip, gable, flat roofs with raised parapets and shed roof designs or combinations thereof consistent with the general architectural theme are acceptable and encouraged. Spanish-style concrete tiles shall be the primary roofing material used, however other styles may be incorporated where appropriate to the style of the home. A multi-hued mixture of earth tones (terracotta, buff, olive, and similar tones) shall be used.



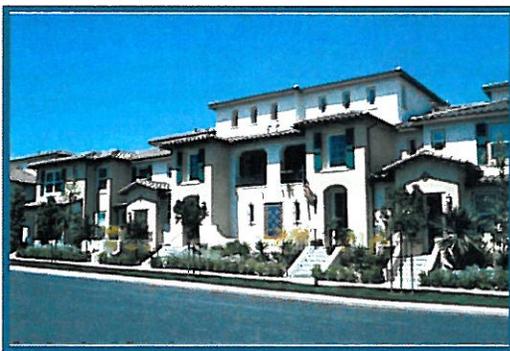
Controlling the mass of a building through design articulation of the building facades, attention to rooflines, and variation in vertical and horizontal planes effectively reduces the visual mass of a building and ensures that building mass does not overwhelm the street.

Long, unbroken facades and box-like forms shall be avoided. Building facades shall be broken up to give the appearance of a collection of smaller structures.



Reduce large expanses of flat walls by utilizing projections and recesses to provide shadow and relief at exterior walls and roof areas.

Combine single and two-story architectural elements when appropriate for the architectural style, including patio walls, balconies, and other features to break up exterior walls.





Color is intended as a primary thematic element of the community. Consequently, the building material colors need to be compatible with the indigenous elements of the environment.



Building materials and colors are important elements when used to achieve a true representation of a specific architectural style. Each structure should have a different predominant facade material or color than the immediately adjacent structure to promote individuality within the neighborhood context.



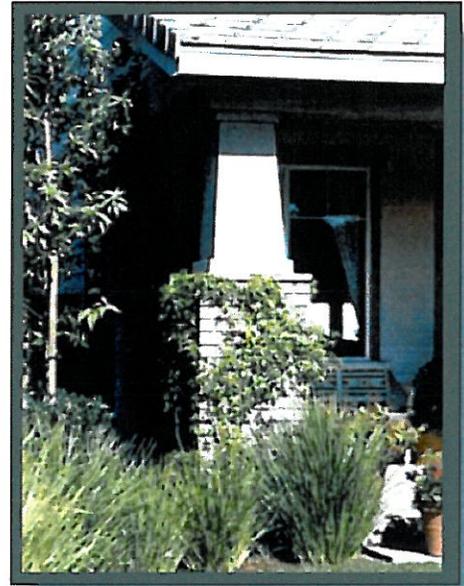
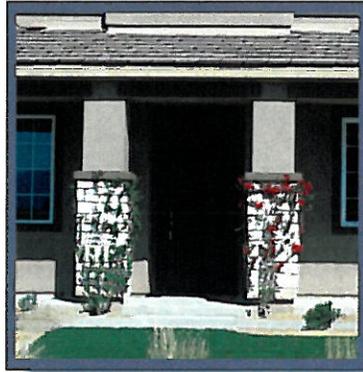
A variety of colors and textures of building materials is encouraged while maintaining overall design continuity in the neighborhood.



Figure 6-6
Building Materials and Colors



Columns and posts should be incorporated as structural and aesthetic design elements and should be dimensioned appropriately so that a solid and durable image is conveyed.



The elements shall reflect the selected style when they are introduced in the design proposals.

The scale and dimension of these elements varies depending on the architectural style chosen.



A variety of garage conditions with less prominent visibility are important. Recessed or backyard garages, tandem garages, side entry and split garages all prevent a repetitive streetscene that is dominated by garage doors.

Corner lots are encouraged to allow garage entries from intersecting streets and include wrap-around architecture.



Garage facades should be softened by utilizing landscape materials in the immediate vicinity.

The garages can be recessed from the front plane to give a strong shadow line to help decrease the impact of the garage doors.



Standard three car garages are encouraged to have at least one garage that is partially setback.

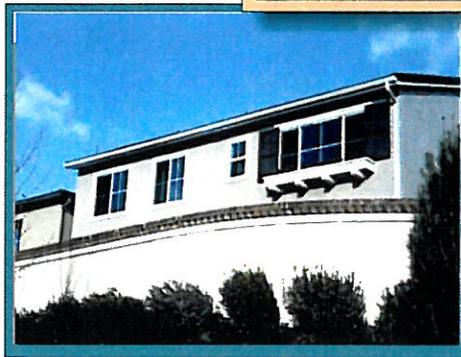
Installation of single car garages can add variety and break up the front elevation.



To encourage architectural interest and to reduce the emphasis of the garage along the street scene, a mix of garage configurations should be incorporated into home design throughout the community.



Long unarticulated building facades shall be avoided by incorporating varying setbacks of the building footprint along the residential street.



Design elements should also be included on the rear facades and sides of homes which are adjacent to or visible from public streets or open spaces.

Projecting architectural features such as bowed or bay windows, columns, offset roof planes, and similar features should be used to create both vertical and horizontal articulation on the building elevations.



Special design features, such as covered front porches, garage placement to the rear of a lot, use of multiple floor plans, window and door articulation, extended overhangs and building edge treatments (such as arbors, awnings, or trellises) are encouraged.

Houses should be arranged in a manner that creates a harmonious, varied appearance of building heights and setbacks to create a diverse streetscene.

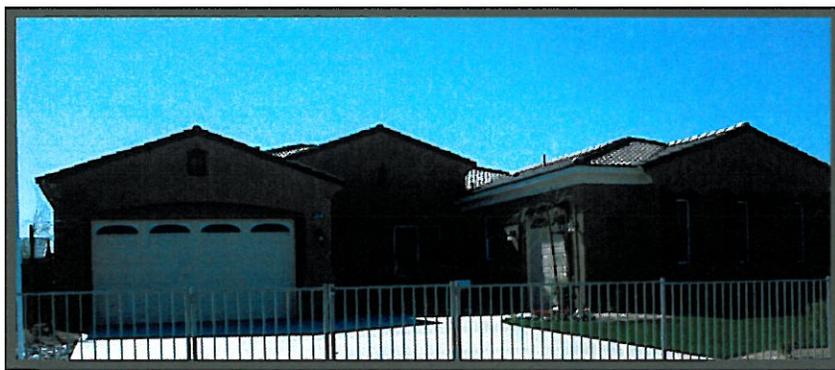




Utilize vertical and horizontal roof articulation to introduce additional shapes, angles and shadows and add visual relief to the tops of buildings.

Roofs should also be designed as an integral component of the form of the building, its mass and facade.

Flat roofs and A-frame roofs are prohibited. Finish roof flashings, rain gutters and down-spouts, vents and other roof protrusions should match adjacent finish materials and/ or colors.



Roof articulation may be achieved by changes in plane or through the use of traditional roof forms and through effective use of roof overhangs.





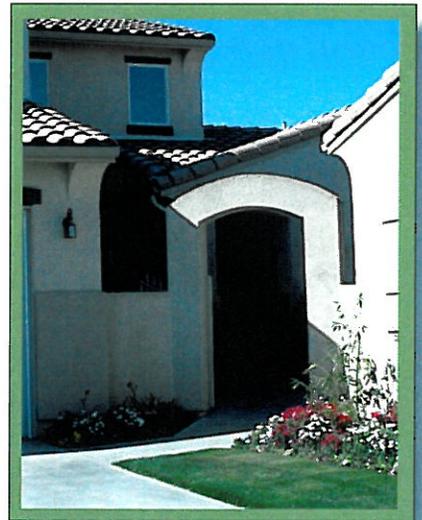
Circular, elliptical or other special window shapes may be used as accent windows appropriate to the architectural style.

Architectural projections and recesses such as pop-out windows and doors, shutters and pot shelves may be used to achieve articulation and shadowing effects. The front entry should be articulated through the use of roof elements, porches, columns, arches or other architectural features.

Entrances should be clearly defined and inviting. Inset window glass from the exterior wall surface and/or provide with dimensional trim as a method of providing a sense of depth.

A variety of window treatments shall occur. Dormer windows and decorative shutters should be incorporated into the building design when appropriate to the architectural style.

Consider privacy of adjacent residences when locating windows. Window frames, mullions, awnings, and door frames should be color coordinated with the rest of the building and appropriate for the architectural style.



Front entry doors shall be wood, wood appearance or wood and glass, designed to be consistent with the style.



Figure 6-11
Windows and Doors

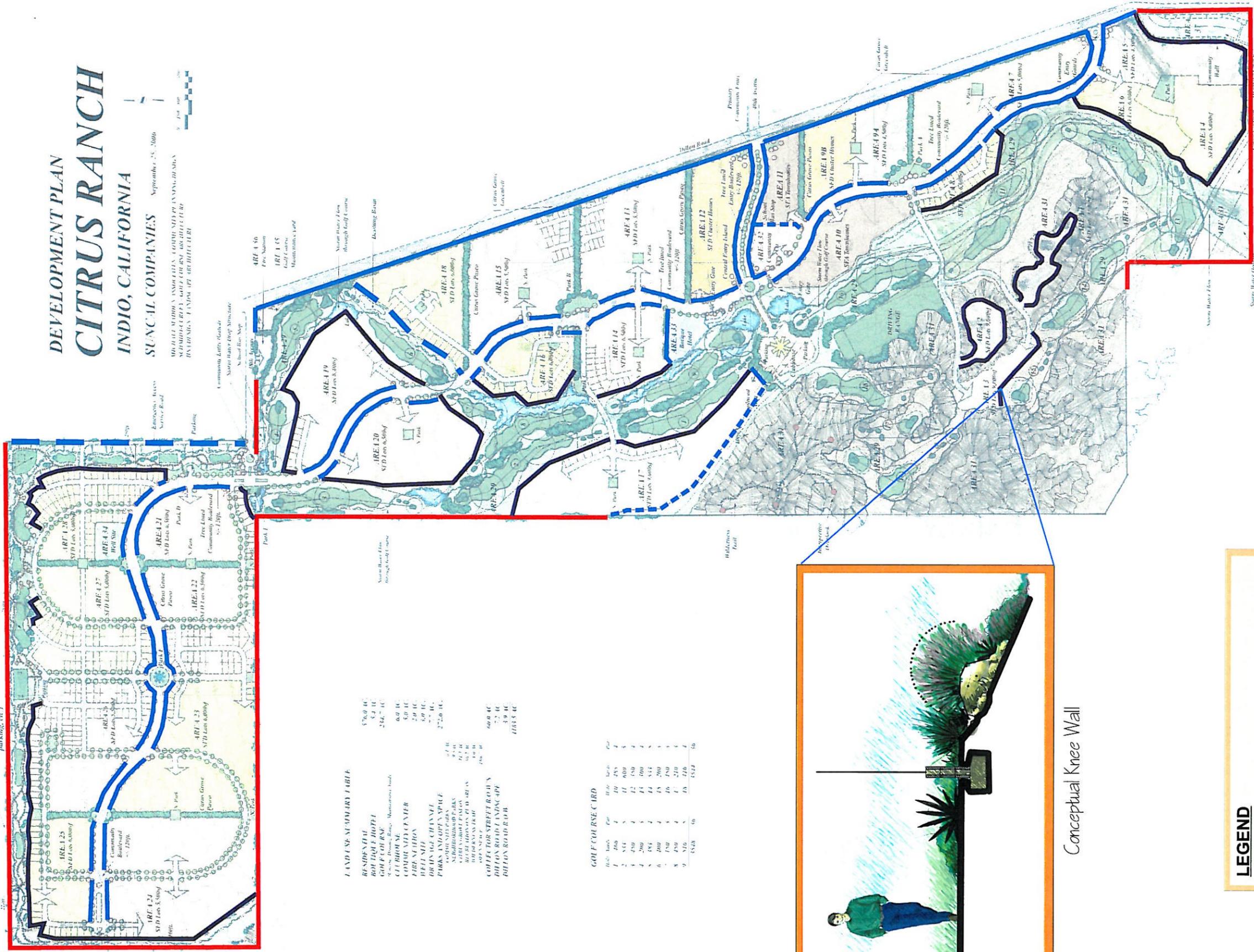
DEVELOPMENT PLAN CITRUS RANCH INDIO, CALIFORNIA

SUNCAL COMPANIES September 25, 2006

MOBILE MAPPING AND DESIGN GROUP, INC. 1000 N. AVENUE, SUITE 100
MILPITAS, CALIFORNIA 95035
TEL: 408.352.1000 FAX: 408.352.1001



AREA 110
RECREATION - OPEN SPACE AREA
56.2 Acre Recreation and Open Space area which approx. 18.7 acres is to be used for active and passive recreation activities (open field play areas, trails, parking, etc.)

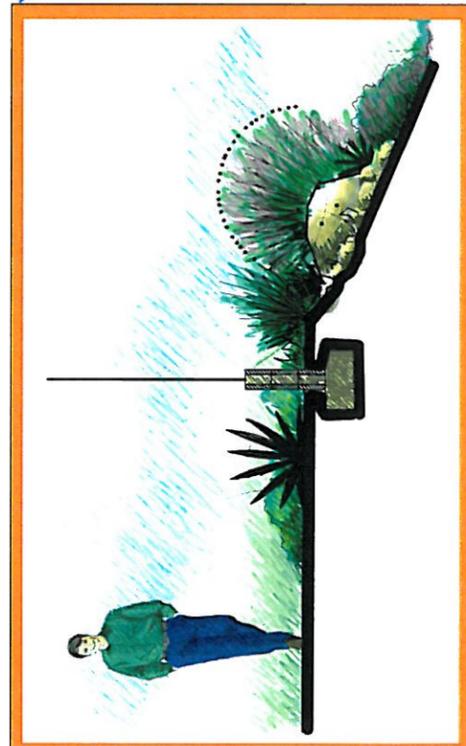


LAND USE SUMMARY TABLE

RESIDENTIAL	576.0 AC
BOULEVARD HOTEL	5.4 AC
GOLF COURSE	284.7 AC
CLUBHOUSE	6.0 AC
COMMUNITY CENTER	5.0 AC
RECREATION	2.0 AC
RETAIL	5.9 AC
DRIVING RANGE	27.6 AC
PARKS AND OPEN SPACE	57.6 AC
COMMUNITY CENTER	5.0 AC
CLUBHOUSE	6.0 AC
RECREATION	2.0 AC
RETAIL	5.9 AC
DRIVING RANGE	27.6 AC
PARKS AND OPEN SPACE	57.6 AC
GOLF COURSE	284.7 AC
BOULEVARD HOTEL	5.4 AC
RESIDENTIAL	576.0 AC

GOLF COURSE CIRD

Area	Area	Area	Area	Area
1	100	100	100	100
2	100	100	100	100
3	100	100	100	100
4	100	100	100	100
5	100	100	100	100
6	100	100	100	100
7	100	100	100	100
8	100	100	100	100
9	100	100	100	100
10	100	100	100	100
11	100	100	100	100
12	100	100	100	100
13	100	100	100	100
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15	100	100	100	100
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26	100	100	100	100
27	100	100	100	100
28	100	100	100	100
29	100	100	100	100
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33	100	100	100	100
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36	100	100	100	100
37	100	100	100	100
38	100	100	100	100
39	100	100	100	100
40	100	100	100	100
41	100	100	100	100
42	100	100	100	100
43	100	100	100	100
44	100	100	100	100
45	100	100	100	100
46	100	100	100	100
47	100	100	100	100
48	100	100	100	100
49	100	100	100	100
50	100	100	100	100



Conceptual Knee Wall

LEGEND

- Solid Wall
- View Fence
- - - Either Solid Wall or View Wall/Fence
- Knee Wall at Backyards



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6.3.10 Equipment Screening

Roof-mounted mechanical equipment is prohibited on residential structures. All roof-mounted equipment on public buildings must be screened by a parapet wall at least as tall as the tallest piece of equipment. In addition, all utility, cable, and electric boxes must be screened with landscaping elements (shrubs, bushes, block walls) while providing unobstructed clearance as required by the utility provider.

6.3.11 Lighting

Light sources shall be directed downward and shall be arranged to reflect light away from adjoining properties. Up-lighting in landscaping, low-level walk lights and lighting diffused off wall surfaces is encouraged.

6.3.12 Monument Signs and Mailbox Stands

Monument signs at the project entryways shall have lettering sized per local codes, engraved in sandstone or other soft natural rock formation surrounded by the same architectural elements. Signs shall be lit from the ground.



Community mailboxes are proposed and shall be designed to meet postal standards. They shall be in an enclosure that complements the project theme and architecture.



6.3.13 Walls and Fences

Walls and fences assist in the establishment of project identity and architectural character of the development. Proposed perimeter walls are designed to alleviate noise from adjacent land uses. A buffer area of trees and shrubs is planted in conjunction with walls to provide additional screening at sensitive areas. All perimeter walls are constructed at the time of development as identified in the anticipated phasing plan. The plan for placement of boundary walls or view fences is shown in **Figure 6-12**.



The height of walls and fences shall match the perimeter walls and shall not conflict with the corner cut-off area as defined by the City. Chain link and barbed wire are prohibited. All fencing and walls are to be provided by the builder at the time of development and as approved by the City at time of submittal.



CITRUS RANCH

I N D I O

Administration and Implementation

7.0 Administration and Implementation

The administration and implementation section of this document is provided herein to further define the relationship between the Specific Plan, City of Indio development codes and standards, and the process by which the Citrus Ranch Specific Plan will obtain additional discretionary approvals as the project proceeds through the remaining phases of the development process.

7.1 ADMINISTRATION

7.1.1 Citrus Ranch Specific Plan

Upon its approval/adoption, the Citrus Ranch Specific Plan, as filed with the City of Indio Community Development Department, will become the primary document governing land use regulations pertaining to the Specific Plan area.

7.1.2 Regulatory Effects

Whenever the provisions and development standards contained herein are in conflict with equivalent standards contained in the City of Indio zoning ordinance, the provisions of the Citrus Ranch Specific Plan shall supercede. Where the Specific Plan does not address a particular standard, the applicable City code/ordinance shall apply.

7.1.3 Interpretation

Unless otherwise provided, should ambiguities occur concerning the content and appropriate application of the Citrus Ranch Specific Plan, said ambiguities shall be resolved by the Director of Community Development of the City of Indio or his/her designee, in a manner most consistent with the intent, goals and policies set forth in the Specific Plan. The Director's decision can be appealed to the Planning Commission and City Council in accordance with Indio Zoning Code.

7.2 TYPES OF APPROVALS AND PERMITS

As the Citrus Ranch Specific Plan proceeds through the remaining phases of the entitlement process, additional site specific and/or planning area specific proposals will be filed subject to approvals/permits pursuant to the guidelines outlined herein. In addition, the development is subject to the City of Indio design review process which includes (from §159.720 through §159.735 of the City of Indio Municipal Code):

- Submittal of an application to the Community Development Department for design review by the Planning Commission

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- Report by staff on the consistency of the application with the design guidelines established for Citrus Ranch
- Public hearing of the Planning Commission, which must make the following findings before granting approval of the project:
 - That the project is consistent with the established SP land use designation;
 - That the proposed use is not detrimental to the public health, safety or welfare; and
 - That the project complies with the development regulations of the SP

Any decision of the Planning Commission may subsequently be appealed to the City Council.

7.3 IMPLEMENTATION PROGRAM

According to Government Code 65451 of the California Planning Law, the Specific Plan shall include a program for implementation including regulations, conditions, programs and additional measures as necessary to carry out the plan. In response to this requirement, the Implementation Program for the Citrus Ranch Specific Plan consists of the following:

- Adoption (by ordinance) and Administration of the Specific Plan
- Grading Plan
- Financing Mechanisms
- Project Maintenance

7.3.1 Environmental Review and Mitigation Monitoring Program

This Specific Plan has been subjected to Environmental Review pursuant to the provisions of CEQA. An Environmental Impact Report was certified by the City Council.

7.3.2 Grading and Improvement Plans

A mass grading plan(s) shall be submitted to the City for approval with the Master Tentative Tract Map. Approval of a mass grading(s) plan allows the developer(s) to begin grading the site for development of the individual tentative maps. A National Pollution Discharge Elimination System (NPDES) approval is required prior to approval of mass grading plan(s). Improvement plans such as street, water, sewer and drainage plans shall be submitted to the City of Indio and all affected agencies for review and approval prior to issuance of a mass grading permit(s).

7.3.3 Financing Mechanisms

The major infrastructure and facilities within the Specific Plan and offsite areas are financed through appropriate funding mechanisms acceptable to the City of Indio, which may include private and/or developer(s) financing; community facilities district(s); the formation of one or more assessment district(s); the application of funds from City, County, State and other agency programs; and/or other financing mechanism accepted by the City.

7.3.4 Project Maintenance

During construction, maintenance of all facilities is the responsibility of the developer. After the project has been constructed and landscaping established, ongoing maintenance of private

CITRUS RANCH SPECIFIC PLAN

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facilities including the community center, internal streets, street lighting, landscaping, entry monumentation and similar items is the responsibility of the individual private homeowner or Homeowners Association (HOA) as appropriate. The HOA is responsible for enforcement of Community Codes and Regulations (CC&Rs) and for remedy and upkeep/maintenance problems regarding structures or landscaping on private lots. Public roads such as Dillon Road and Avenue 38 and public facilities such as sewer, water, recycled water mains, water tanks and similar items are the responsibility of the appropriate public agency. Maintenance of the golf course is the responsibility of the golf course operator.

7.4 AMENDMENTS TO THE SPECIFIC PLAN

It is the intent of this section to set criteria for interpretation of the Citrus Ranch Specific Plan, and to define types of changes that require minor modifications and administrative approvals to the Specific Plan. Minor modifications to the approved Specific Plan are allowed at the discretion of the Community Development Director or his/her designee. Modifications to the Specific Plan must be consistent with the purpose and intent of the originally approved Specific Plan. All modifications to the approved Specific Plan, other than minor changes, are to be processed as a Specific Plan Amendment. Amendments to the Specific Plan require a public hearing before the Planning Commission for action.

7.4.1 Minor Modification Process

The Director of Community Development may allow minor adjustments to the Specific Plan that are consistent with the intent of the Plan through an administrative review process. These modifications may result in changes to the number of dwelling units and the acreage contained within each Planning Area. Modifications may be warranted to accommodate changes resulting from final design and engineering that cause adjustments in roadway alignments or location of utilities and other infrastructure, development of innovative product design, changes in landscape materials, refinement of Design Guidelines contained in Section 6.0 of the Specific Plan, or other similar modifications deemed to be minor by the Community Development Director. The following criteria shall be used to evaluate any request for a minor modification. Any modification that does not meet the following criteria shall require a hearing before the Planning Commission.

- The number of units within Citrus Ranch shall not exceed 3,075.
- The number of units transferred into any Planning Area shall not exceed ten percent of the units in that Planning Area.
- Transfers of dwelling units shall not result in a change in density category to a higher density category, i.e., the transfer may not result in a Planning Area moving from the low to the medium or the medium to the high density category.
- The transfer of acreage from one Planning Area to another shall not result in the increase in size by over ten percent of its original acreage. Any transfer of acreage shall result in a commensurate reduction in acreage in one or more other Planning Areas.
- Concurrent with the tentative tract map submittal, residential land use statistics are provided as a summary of the final unit count in each Planning Area. These statistics shall be presented in the same format as **Table 3.2** of the Specific Plan. This summary shall be used by city staff to ensure that overall unit limits are being adhered to per the provisions of this chapter.
- Denials by the Community Development Director may be appealed to the Planning Commission, and ultimately the City Council.

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7.4.2 New Information

The addition of new information to the Specific Plan maps or text that does not change the effect of any regulation is allowed with administrative review. The new information may include more detailed, site specific data. If this information demonstrates that development area boundaries are inaccurately designated, based upon the goals and objectives of the plan, said boundaries may be adjusted to reflect a more accurate depiction of on-site conditions, without requiring a Specific Plan amendment. Administrative changes do not require amendments to the Specific Plan and may be approved by the Director of Community Development of the City of Indio.

7.4.3 Detail Changes to the Specific Plan

The Specific Plan is intended to provide a certain degree of flexibility with respect to the details of project development, as well as those items discussed in general terms in the document. As the project becomes more refined, it may be demonstrated that modification of certain details are appropriate and consistent with the intent of the Specific Plan. These details are administrative in nature and may be approved by the Director of Community Development of the City of Indio.

7.5 PHASING PLAN

Development of the Citrus Ranch Specific Plan is anticipated to occur in three phases. The phases are illustrated in **Figure 7-1**. Adjustments to the construction sequence within phases are permitted provided that utilities, infrastructure, and public facilities are available to provide service. Construction sequences will be finalized at the time of map recordation.

As shown in **Figure 7-1**, development is phased in an orderly, logical progression with each development phase consisting of residences and the necessary infrastructure and facilities to serve them. Project phasing is planned to commence in the south, transition northward, and finish along the northwestern portion of the project site.

Parks and recreation facilities will be constructed in conjunction with the related Planning Areas as indicated in Section 3.2.2 and on the Phasing Plan exhibit. The phases are expected to be developed as follows:

- Phase One
 - Residential Planning Areas: 1, 2, 3, 4, 5, 6, 7, 8, 9A, 9B, 10, and 11
 - Planning Area 29, Golf Course: Holes 10 through 18, Driving Range
 - Planning Area 31, Open Space: Wilderness Trails and Interpretive Overlooks
 - Planning Area 32, Community Center
 - Planning Area 37, SE Drainage Channel
 - Primary Community Entry and Central Roundabout
 - Dillon Road south of the Primary Community Entry
 - Spine Road south of the Primary Community Entry
 - Secondary Community Entry located along Dillon Road near the southern boundary of the project

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- All public utilities needed to serve the residences and community buildings in Phase One
- Water reservoir located at 320' elevation
- Offsite sewer connections

- Phase Two
 - Residential Planning Areas: 12, 13, 14, 15, 16, 17, 18, 19, and 20
 - Planning Area 29, Golf Course: Holes 1-9, Clubhouse
 - Planning Area 33, Boutique Hotel
 - Planning Area 35, Golf Course Maintenance Yard
 - Planning Area 36, Potential Fire Station Site
 - Avenue 38 Entry
 - Dillon Road south of the Avenue 38 Entry
 - Spine Road south of the Avenue 38 Entry
 - All public utilities needed to serve the residences, community, and commercial buildings in Phase Two
 - Water reservoir located at 450' elevation
 - Offsite sewer connections

- Phase Three
 - Residential Planning Areas: 21, 22, 23, 24, 25, 26, 27, and 28
 - Planning Area 30, Recreation Zone
 - Planning Area 31, Well Site
 - Remainder of Spine Road north of Avenue 38 Entry
 - All public utilities needed to serve the residences and community buildings in Phase Three
 - Water reservoir located at 600' elevation
 - Offsite sewer connections

Due to the phasing of the project, the entire flood-control corridor is not expected to be completed until the commencement of Phase Three residential construction. The first two phases rely on preliminary flood-control measures to channel the natural sheet flow of flood waters into the flood-control corridor in Phase One and Two. These preliminary flood-control measures are to be installed according to recommendations from the hydrology consultant, Exponent, and approved by the City of Indio Public Works Department.

5.0 Development Regulations

The development regulations contained herein provide specific standards relative to permitted land uses in addition to design and construction criteria to be applied within each of the various planning areas.

Application of the following zoning regulations is intended to create a harmonious relationship between the various land uses approved within the Citrus Ranch Specific Plan to protect the health, safety and general welfare of the Citrus Ranch community. Upon adoption of the Specific Plan, these regulations supersede otherwise applicable City of Indio zoning regulations. Whenever a development standard contained in this document conflicts with the City of Indio Zoning Ordinance, the provisions of the Citrus Ranch Specific Plan shall supersede. In instances where the Specific Plan does not address a particular regulation, the applicable City of Indio code shall apply.

Setbacks and other measured parameters are measured as follows:

- Lot Depth: The average horizontal distance between the front and rear lot lines measured in the mean direction of the side lot lines.
- Lot Width: The horizontal distance between the side lot lines, measured at right angles to the lot depth at a point midway between the front and rear lot lines.
- Front Setback: Measured as the distance between the building line and the back of the sidewalk.
- Rear Setback: Measured as the distance between the building line and the rear property line.
- Side Setback: Measured as the distance between the building line and the property side line.

Note: These setbacks allow for flag lots with an access strip not less than 20 feet in width at any point. A flag lot is defined as a lot designed so the main building site area is set back from the street on which it fronts. The front lot line is defined as that closest to the street from which the lot is accessed. Flag-type lots require review and acceptance by the Fire Department prior to approval of the final map.

5.1 LOW DENSITY RESIDENTIAL HOUSING

1. PRINCIPAL USES PERMITTED

- Single-family detached dwellings.
- Neighborhood parks, community centers, recreational center and similar facilities.
- Open space and conservation areas.
- Guest house/casita/senior housing unit (granny flat).

2. ACCESSORY USES PERMITTED

- Accessory buildings, uses or structures.
- Walls and fences according to the design guidelines set forth in Section 6.0 of this document.
- Patios and patio covers.

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Development Regulations

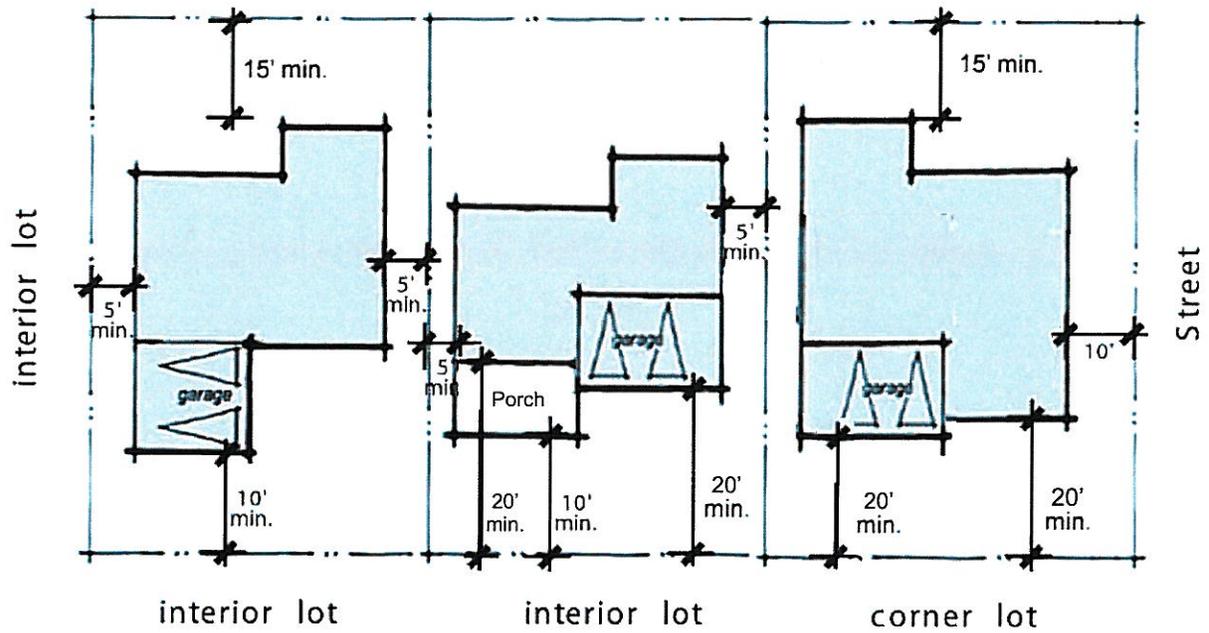
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- Garage sales.
- Home schools and in-home daycare according to City of Indio Zoning Regulations.
- Home occupations according to City of Indio Zoning Regulations.
- The keeping of domestic animals according to City of Indio Zoning Regulations.
- Private recreational facilities.
- Public or quasi-public utility facilities, public service facilities, or well sites.
- Other similar uses as deemed appropriate by the Planning Commission.

3. PROPERTY DEVELOPMENT STANDARDS

See **Figure 5-1** for an illustrative exhibit of typical single-family detached low density dwellings.

Minimum Lot Sizes	
A maximum of 10% of the lots within any planning area may go below the expressed lot size as follows:	
Nominal Lot Size	Minimum Lot Size
9000 Square Feet	8500 Square Feet
8400 Square Feet	8000 Square Feet
6500 Square Feet	6000 Square Feet
6000 Square Feet	5750 Square Feet
Minimum Lot Width	
Nominal Lot Size	Minimum Lot Width
9000 Square Feet	70 feet
8400 Square Feet	65 feet
6500 Square Feet	60 feet
6000 Square Feet	55 feet
Minimum Lot Depth	
All Lots	90 feet
Lot Coverage	
All Lots	55%; includes the main structure, garages and accessory structures, and excludes driveways and areas devoted to recreational uses.
Front Setback	
Main Residence	20 feet min.
Open Porch or Balcony	10 feet min.
Garage Setbacks	
Front Access	20 feet min.
Side-in Access	10 feet min.
Garage Side Yard	5 feet min.
Rear Setback	
Rear Setback	15 feet min.
Side Setbacks	
Interior Side Yard	5 feet min.
Corner/Street Side Yard	10 feet min.
Architectural Features	2 feet max. encroachment into side yard allowed for chimney, media cabinet, and similar architectural features.



TYPICAL SINGLE FAMILY DETACHED - LOW DENSITY

Setbacks

Main Residence:	20 feet
Open Porch or Balcony:	10 feet
Front Accessed Garage:	20 feet
Side-in Accessed Garage:	10 feet
Garage Side Yard:	5 feet
Rear:	15 feet
Interior Side Yard:	5 feet
Corner Lot Street Side Yard:	10 feet

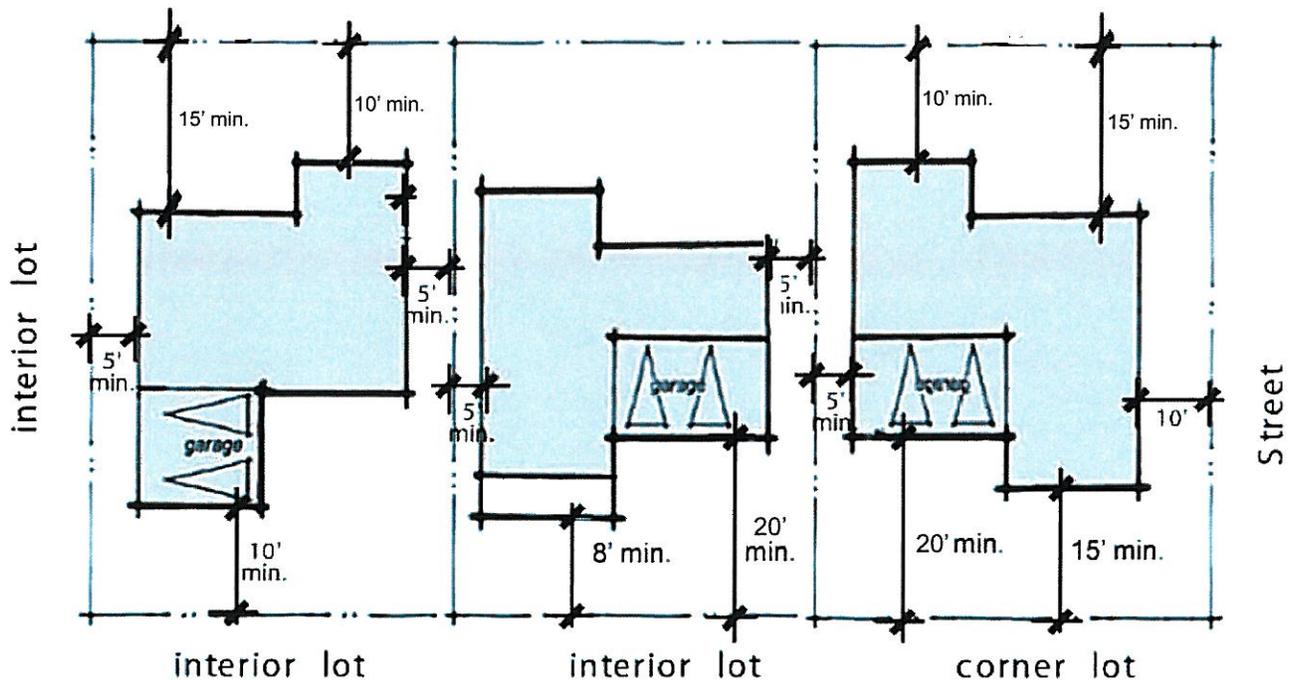
*Note: This graphic is illustrative of the setbacks and is not meant to convey actual building footprints.



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Figure 5-1
Typical Single Family Detached
Low Density Residential



Setbacks

- Main Residence: 15 feet
 - Open Porch or Balcony: 8 feet
 - Front Accessed Garage: 20 feet
 - Side-in Accessed Garage: 10 feet
 - Garage Side Yard: 5 feet
 - Rear*: 10-15 feet
 - Interior Side Yard: 5 feet
 - Corner Lot Street Side Yard: 10 feet
- * See text for description

*Note: This graphic is illustrative of the setbacks and is not meant to convey actual building footprints.



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Figure 5-2
 Typical Single Family Detached
 Medium Density Residential

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Building Height	
Primary Structure	35 feet max.
Architectural Features	An additional 8 feet max. above the building height
Accessory Structures	1 story max.
Since there are no existing residences on the properties adjacent to the Citrus Ranch property, a conditional use permit is not required for two-story homes. The design review process (including a Planning Commission hearing) provides the opportunity for public review and comment.	
Parking Requirements	
Parking	Two Spaces per home in a garage (minimum 20'x20'), plus two spaces in a driveway.

5.2 MEDIUM DENSITY RESIDENTIAL HOUSING

1. PRINCIPAL USES PERMITTED

- Single-family residences.
- Neighborhood parks, community centers, recreational center and similar facilities.
- Open space and conservation areas.

2. ACCESSORY USES PERMITTED

- Accessory buildings, uses or structures.
- Walls and fences according to the design guidelines set forth in Section 6.0 of this document.
- Patios and patio covers.
- Garage sales.
- Home schools and in-home daycare according to City of Indio Zoning Regulations.
- Home occupations according to City of Indio Zoning Regulations.
- The keeping of domestic animals according to City of Indio Zoning Regulations.
- Public or quasi-public utility facilities, public service facilities, or well sites.
- Private recreational facilities.
- Other similar uses as deemed appropriate by the Planning Commission.

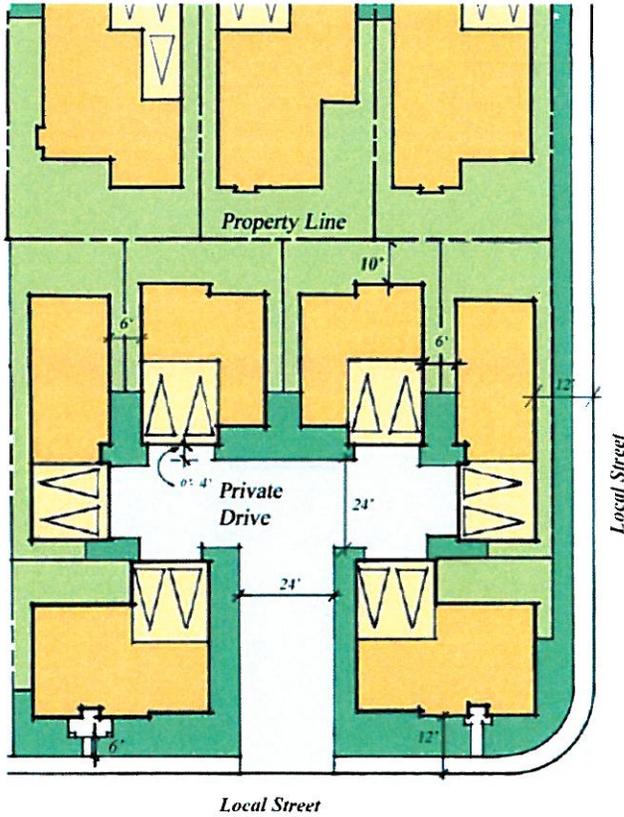
3. PROPERTY DEVELOPMENT STANDARDS

Single-family Detached Medium-Density Dwellings

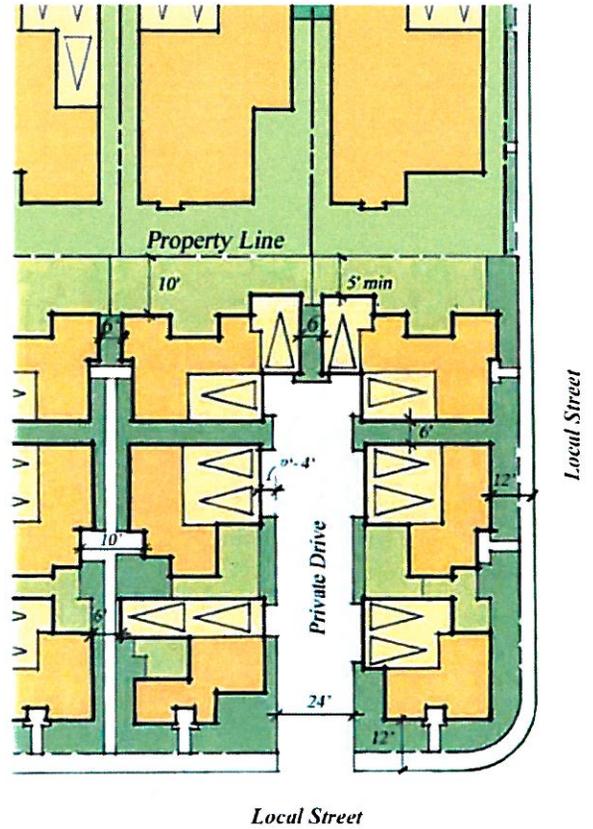
See **Figure 5-2** for an illustrative exhibit of typical single-family detached medium density dwellings.

CITRUS RANCH SPECIFIC PLAN
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 January 17, 2007

Minimum Lot Size	
A maximum of 10% of the lots within any planning area may go below the expressed lot size as follows:	
Nominal Lot size	Minimum Lot Size
5500 Square Feet	5000 Square Feet
5000 Square Feet	4500 Square Feet
4500 Square Feet	4250 Square Feet
Minimum Lot Width	
5500 SF	50 feet
5000 SF	45 feet
4500 SF	40 feet
All Lots	70 feet
Lot Coverage	
All Lots	55%; includes the main structure, garages, and accessory structures, and excludes driveways and areas devoted to recreational uses.
Front Setback	
Main Residence	15 feet min.
Open Porch or Balcony	8 feet min.
Garage Setback	
Front Access	20 feet min.
Side-in Access	10 feet min.
Garage Side Yard	5 feet min.
Rear Setback	
All Lots	Up to 25% of the lot width may have a 10-foot min. setback with the remainder at 15 feet min.
Side Setbacks	
Interior Side Yard	5 feet min.
Corner/Street Side Yard	10 feet min.
Architectural Features	2 feet max. encroachment into side yard allowed for chimney, media cabinet, and similar architectural features.
Building Height	
Primary Structure	35 feet max.
Architectural Features	An additional 8 feet max. above the building height
Accessory Structures	1 story max.
Since there are no existing residences on the properties adjacent to the Citrus Ranch property, a conditional use permit is not required for two-story homes, but the design review process (including a Planning Commission hearing) provides the opportunity for public review and comment.	
Parking Requirements	
Parking	Two spaces per home in a garage (minimum 20'x20'), plus two spaces in a driveway.



SINGLE-FAMILY DETACHED
COURTYARD HOMES



SINGLE-FAMILY DETACHED
CLUSTER HOMES

Setbacks

From street curbface:	12 feet
Open porch or balcony:	6 feet from back of walk
Private Drive Accessed Garage:	0-4 feet
Building Separation within development:	6 feet
From development property line:	10 feet
	5 feet from garage



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Figure 5-3
Representative Single Family
Detached Condominiums

5.3 HIGH DENSITY RESIDENTIAL HOUSING

1. **PRINCIPAL USES PERMITTED**

- Permanent single-family detached condominiums.
- Permanent single-family attached condominiums.
- Permanent apartment units.
- Neighborhood parks, play areas, community centers, recreational center and similar facilities.

2. **ACCESSORY USES PERMITTED**

- Accessory buildings, uses or structures.
- Walls and fences according to the design guidelines set forth in Section 6.0 of this document.
- Patios and patio covers.
- Garage sales.
- Home schools and in-home daycare according to City of Indio Zoning Regulations.
- Home occupations according to City of Indio Zoning Regulations.
- Private recreational facilities.
- Public or quasi-public utility facilities, public service facilities, or well sites.
- Other similar uses as deemed appropriate by the Planning Commission.

3. **PROPERTY DEVELOPMENT STANDARDS**

Single-family detached condominiums

See **Figure 5-3** for an illustrative exhibit of typical single-family detached condominiums.

Lot Dimensions	
Minimum lot size	None
Minimum lot width	None
Minimum lot depth	None
Lot Coverage (main structure)	65%; includes the main structure, garages, and accessory structures, and excludes driveways and areas devoted to recreational uses
Building Setbacks	
From street curbface	12 feet min.
From private drive	0-4 feet min.
Separation between building facades for buildings within the same development	6 feet min.*
Separation from property line abutting another development	10 feet min. for main structure, or 5 feet for garage
Garage setback from alley or private drive	0-4 feet min.
Balcony separation	6 feet from back of sidewalk
Architectural Features	2 feet max. encroachment into side yard allowed for chimney, media cabinet, and similar architectural features.

CITRUS RANCH SPECIFIC PLAN
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 January 17, 2007

Building Height	
Primary Structure	48 feet max.
Architectural Features	An additional 10 feet max. above the building height
Accessory Structures	1 story max.
Private, exclusive-use open space	150 square feet per unit
Parking Requirements	
One-Bedroom Unit	One and one-half covered or enclosed parking spaces (if garage, minimum 20x20 each space)
Multi-bedroom Unit	Two covered or enclosed parking spaces
Guest Parking	A parking plan shall be submitted with the development applications for each multi-family or cluster development, illustrating the location and number of visitor parking spaces.

*At the front entry to a home, a separation of 10 feet must be provided either with additional building setback, articulation of the building façade with an alcove or similar feature, provision of a porch, or similar feature.

Single-Family Attached Condominiums

See **Figure 5-4** for an illustrative exhibit of typical single-family attached condominiums.

Lot Dimensions	
Minimum lot size	None
Minimum lot width	None
Minimum lot depth	None
Lot coverage (main structure)	75%
Front Setback	
Main Residence	10 feet min.
Open porch or balcony at street	6 feet min.
Open porch or balcony to open porch or balcony	4 feet min.
Garage Setback	
Drive or Alley Access	0-8 feet min.
Side Setbacks	
To Local Street	10 feet min.
To Private Drive	6 feet min.
Architectural Features	2 feet max. encroachment into side yard allowed for chimney, media cabinet, and similar architectural features.
Building Separation	
Front Façade to Any Other Façade	15 feet min.
Side Façade to Side or Rear	10 feet min.
Rear Façade to Rear Façade	15 feet min.
Building Height	
Primary Structure	48 feet max.
Architectural Features	An additional 10 feet max. above the building height
Accessory Structures	1 story max.

CITRUS RANCH SPECIFIC PLAN

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January 17, 2007

Parking Requirements	
One-Bedroom Unit	One and one-half covered or enclosed parking spaces (if garage, minimum 20x20 each space)
Multi-bedroom Unit	Two covered or enclosed parking spaces
Guest Parking	A parking plan shall be submitted with the development applications for each multi-family or cluster development, illustrating the location and number of visitor parking spaces.
Private Open Space Requirements	
Each single-family attached dwelling unit includes a private open space area, free and clear of any attached or detached accessory structures as follows	
Ground-level unit	100-square-foot private yard at grade level, with a minimum interior dimension of 6 feet.
Upper-level unit	50-square-foot balcony, with a minimum interior dimension of 6 feet.

5.4 BOUTIQUE HOTEL

1. PRINCIPAL USES PERMITTED
 - 50-75 room hotel.
2. ACCESSORY USES PERMITTED
 - Spa facilities.
 - Gift store or other retail facilities.
 - Concierge services.
 - Meeting and dining facilities.
 - Pool and associated uses.
 - Fitness Room.

PHASE THREE

Includes:
 Planning areas 21, 22, 23, 24, 25, 26, 27, 28, 30 and 34
 Full improvements to the Spine Road north of the Avenue 38 Entry and the Emergency Access Road
 600-foot-elevation Reservoir and Connections
 Offsite Sewer Connections

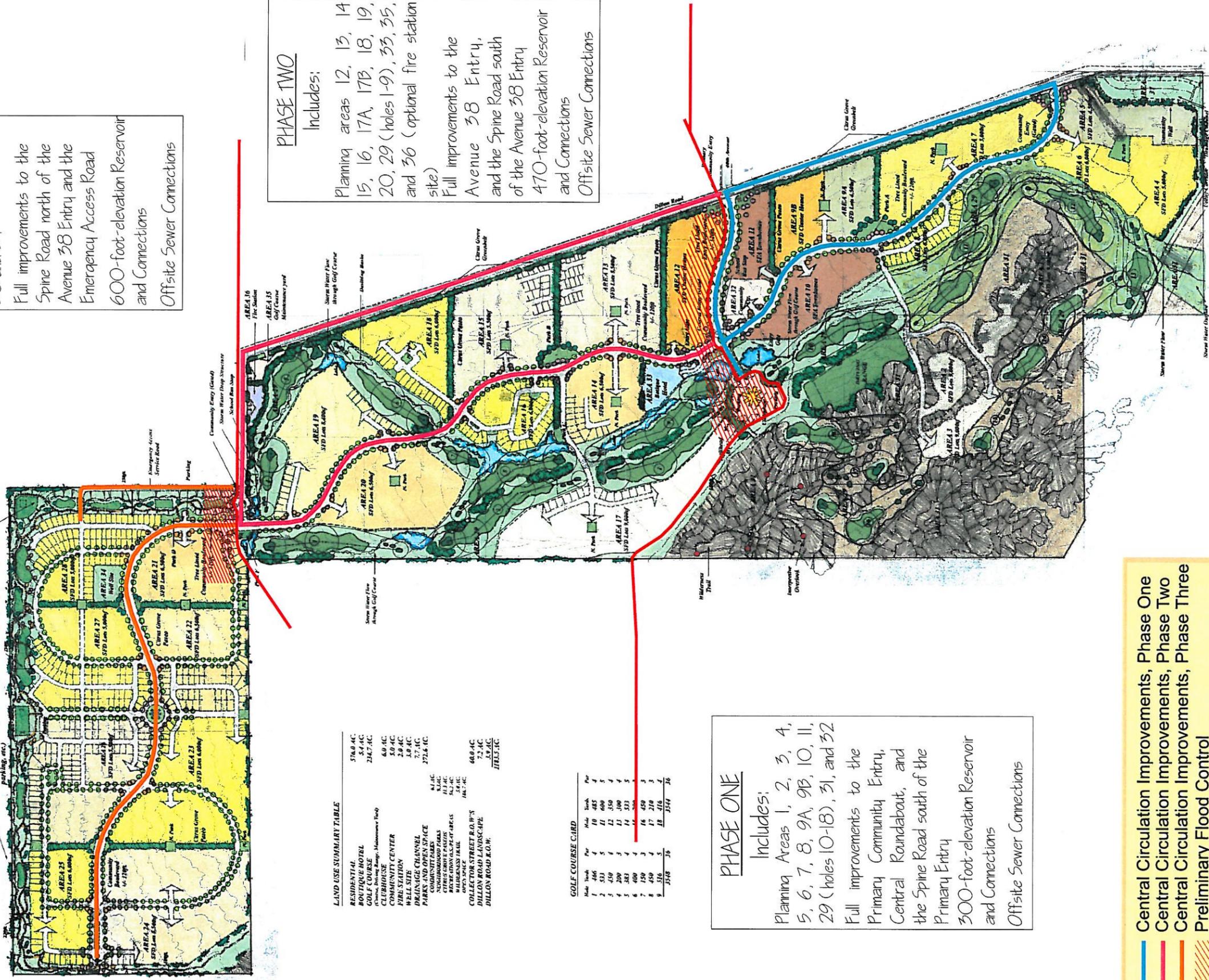
PHASE TWO

Includes:
 Planning areas 12, 13, 14, 15, 16, 17A, 17B, 18, 19, 20, 29 (holes 1-9), 33, 35, and 36 (optional fire station site)
 Full improvements to the Avenue 38 Entry, and the Spine Road south of the Avenue 38 Entry
 470-foot-elevation Reservoir and Connections
 Offsite Sewer Connections

PHASE ONE

Includes:
 Planning Areas 1, 2, 3, 4, 5, 6, 7, 8, 9A, 9B, 10, 11, 29 (holes 10-18), 31, and 32
 Full improvements to the Primary Community Entry, Central Roundabout, and the Spine Road south of the Primary Entry
 300-foot-elevation Reservoir and Connections
 Offsite Sewer Connections

AREA 10
 RECREATION / OPEN SPACE AREA
 56.2 Acre Recreation and Open Space area of which approx. 48.7 acres is to be used for active and passive recreation activities (open field play areas, trails, parking, etc.)



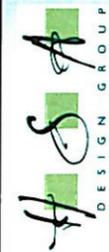
LAND USE SUMMARY TABLE

RESIDENTIAL	576.0 AC
BOULIQUE HOTEL	54.4 AC
GOLF COURSE	214.7 AC
CLUBHOUSE	6.0 AC
COMMUNITY CENTER	5.0 AC
FIRE STATION	2.0 AC
WELL SITE	3.0 AC
DRAINAGE CHANNEL	7.7 AC
PARKS AND OPEN SPACE	372.6 AC
NONRESIDENTIAL PARKS	4.1 AC
STREETS, DRIVEWAYS, PATIOLAS	11.3 AC
WALKWAYS	1.4 AC
MILKMASS/ TANK	18.7 AC
OPEN SPACE	
COLLECTOR STREET R.O.W.'S	60.0 AC
DILLON ROAD LANDSCAPE	7.2 AC
DILLON ROAD E.O.W.	15.2 AC
TOTAL	1783.1 AC

GOLF COURSE CARD

Hole	Yards	Par	Hole	Yards	Par
1	466	4	10	485	4
2	533	5	11	600	5
3	450	4	12	350	4
4	209	3	13	300	4
5	383	4	14	533	5
6	409	4	15	300	4
7	250	3	16	350	3
8	350	4	17	410	4
9	376	4	18	410	4
TOTAL	3348	35		3344	36

- Central Circulation Improvements, Phase One
- Central Circulation Improvements, Phase Two
- Central Circulation Improvements, Phase Three
- Preliminary Flood Control



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