

"AFFRESCO"
AT SHADOW LAKES
BY RILINGTON COMMUNITIES

PROJECT MASTER PLAN

Prepared for:
Rilington Communities
277 Rancheros Drive, Suite 303
San Marcos, CA 92069

Prepared by:



DePalatis Associates, Inc.
73-255 El Paseo Drive, Suite 15
Palm Desert, California 92260

July 5, 2004

AFFRESCO PROJECT MASTER PLAN

TABLE OF CONTENTS

| | |
|---|----|
| 1. Introduction and Summary | 1 |
| 2. Project Setting, Authority and Consistency | 3 |
| 2.1. Environmental Setting | 3 |
| 2.2. Project Objectives | 3 |
| 2.3. Authority and Requirements | 6 |
| 2.4. Consistency with Indio General Plan | 7 |
| 2.5. Consistency with Gateway Specific Plan | 7 |
| 2.6. Relationship to California Environmental Quality Act | 7 |
| 3. Development Plan | 9 |
| 3.1. Purpose | 9 |
| 3.2. Conceptual Land Use Master Plan | 9 |
| 3.3. Conceptual Circulation Master Plan | 13 |
| 3.4. Conceptual Water and Sewer Master Plan | 17 |
| 3.5. Conceptual Grading Master Plan | 20 |
| 4. Development Standards | 23 |
| 4.1. Purpose | 23 |
| 4.2. Residential Development Standards | 23 |
| 4.3. Recreation Development Standards | 26 |
| 5. Design Guidelines | 31 |
| 5.1. Purpose | 31 |
| 5.2. Site and Architectural Guidelines | 31 |
| 5.3. Landscape Guidelines | 34 |
| 5.4. Community Elements | 35 |
| 5.5. Landscape Plan Preparation | 53 |
| 5.6. Plant Palette | 53 |
| 6. Implementation Program | 56 |
| 6.1. Purpose | 56 |
| 6.2. Implementation Components | 56 |
| 6.3. Design Review | 58 |
| 6.4. Administrative Design Review | 58 |

VISTA LAGUNA PROJECT MASTER PLAN

LIST OF EXHIBITS

| | | |
|--------------|--------------------------------------|----|
| Exhibit 2-1 | Regional Map..... | 4 |
| Exhibit 2-2 | Vicinity Map..... | 5 |
| Exhibit 3-1 | Conceptual Land Use Plan | 10 |
| Exhibit 3-2 | Conceptual Circulation Plan | 14 |
| Exhibit 3-3 | Typical Street Sections..... | 15 |
| Exhibit 3-4 | Conceptual Water Plan..... | 18 |
| Exhibit 3-5 | Conceptual Sewer Plan | 19 |
| Exhibit 3-6 | Conceptual Grading Plan..... | 21 |
| Exhibit 4-1 | Conceptual Phasing Plan | 28 |
| Exhibit 5-1 | Avenue 41 Entry Treatment | 36 |
| Exhibit 5-2 | Jackson Street Entry Treatment | 37 |
| Exhibit 5-3 | Avenue 41 Streetscape | 39 |
| Exhibit 5-4 | Jackson Streetscape | 40 |
| Exhibit 5-5 | Grand Entry Streetscape | 41 |
| Exhibit 5-6 | Local Boulevard Streetscape | 42 |
| Exhibit 5-7 | Residential Local Streetscape | 43 |
| Exhibit 5-8 | Wall and Fence Plan | 45 |
| Exhibit 5-9 | Wall and Fence Elevations | 46 |
| Exhibit 5-10 | Linear Park Concept | 47 |
| Exhibit 5-11 | Pocket Park Concept | 48 |
| Exhibit 5-12 | Community Park Concept | 49 |
| Exhibit 5-13 | Monument Signage | 51 |
| Exhibit 5-14 | Street Signage | 52 |
| Exhibit 5-15 | Street Lighting | 52 |

VISTA LAGUNA PROJECT MASTER PLAN

LIST OF TABLES

| | |
|--|----|
| Table 3-1 Conceptual Land Use Summary..... | 11 |
| Table 4-1 Permitted Low Density Residential (LDR) Uses | 23 |
| Table 4-2 Residential Development Standards | 25 |
| Table 4-3 Permitted Recreation (R) Uses | 26 |
| Table 4-4 Recreation Development Standards..... | 30 |
| Table 4-5 Recreation Amenity Completion Schedule | 30 |
| Table 5-1 Recommended Plant Material Palette | 53 |

1.0 INTRODUCTION AND SUMMARY

The Affresco Project Master Plan (PMP) serves as the design, development and land use standard for the proposed 87.0 acre Affresco project located within the City of Indio, Riverside County, California. The PMP shall be adopted by Ordinance of the City of Indio as the Zoning and Development plan for the construction and operation of the project.

The City of Indio General Plan-2020 was initially adopted in October 1993. It set forth a formal vision for the future growth of the City, including the area north of the Interstate 10 Freeway, which was largely undeveloped at the time. This area was designated as the Shadow Hills Planning Sub-area, which contains the proposed project. The vision for this portion of the Shadow Hills was the creation of diverse housing opportunities through the use of Residential Planned Development (RPD) overlays. The Shadow Hills Planning Sub-area was divided into four RPD overlays. RPD-2, which contains the proposed project, occupies about half of the Shadow Hills Sub-area.

The Gateway Conceptual Specific Plan (GCSP), adopted with addendums on April 5, 1995 was prepared as a further refinement of the Shadow Hills Planning Sub-area. The GCSP designates the project site as Residential Village 16, which allows a maximum of 457 dwelling units and allowable lot sizes ranging from 3,500 to 10,000 square feet.

The General Plan land use designation for the subject property is RL/RPD-2 (Low Density Residential/Residential Planned Development-2). The RL designation with an RPD overlay allows a threshold density of 3.5 dwelling units per acre (du/ac) and a maximum density of 5.0 du/ac if the project provides amenities and features which are above the minimum requirements for the RL land use category. The General Plan requires that a Project Master Plan be prepared for any property located in a Residential Planned Development area where a Conceptual Specific Plan (CSP) has been approved. The Conceptual Land Use Plan for the project site is depicted in Exhibit 3-1.

The project site is designated as Assessors Parcel Numbers 679-150-002; 679-220-001, 004 and is generally located in the north central portion of the City of Indio, approximately one mile north of the Interstate 10 Freeway (See Exhibits 2-1 and 2-2). The 89.5 acre site is generally bounded by Monroe Street on the west, the All American Canal on the south, Jackson Street on the east and Bureau of Reclamation land on the north.

The proposed development will occur on vacant undeveloped desert land (See Exhibit 2-3). The site is characterized by gentle, uniform topography, sandy soil and desert vegetation.

The Affresco PMP provides an overall development concept for the project site as shown in Exhibit 3-1, Comprehensive Land Use Plan. The concept provides for the development of 278 single family detached residential dwelling units at an overall density of approximately 3.1 units per acre. In addition, the project provides recreational amenities including a series of pocket parks connected by a system of landscaped pedestrian pathways. Vehicular access to the site is provided from Avenue 40 and Jackson Street.

Approval of the Affresco PMP by the Indio City Council will establish development regulations, policies and standards to implement the Land Use Plan. Tentative Map 32401 accompanies the PMP as a concurrent entitlement action.

This PMP is regulatory, adopted by ordinance, and upon adoption will continue to provide consistency with the City of Indio General Plan.

This PMP contains development controls to provide the City of Indio with assurances that the project will develop as planned. The PMP is intended to provide a degree of flexibility to allow future development to respond to changes in economic conditions and the marketplace which may occur over the build out period of the project. The PMP establishes the design and development policies applicable to development within the master plan area. The design standards address project planning, landscaping, signage, lighting and character.

2.0 PROJECT SETTING, AUTHORITY AND CONSISTENCY

2.1 ENVIRONMENTAL SETTING

The project site is located at the northwest corner of Avenue 41 and Jackson Street (See Exhibits 2-1 and 2-2). The project is bounded by Monroe Street on the west, the All American Canal on the south, Jackson Street on the east and Bureau of Reclamation land on the north. The site generally drains from northwest to southeast towards the Salton Sea. Information regarding soil type, groundwater levels, earthquake faults in the region and other pertinent environmental conditions are evaluated in the project's Environmental Assessment.

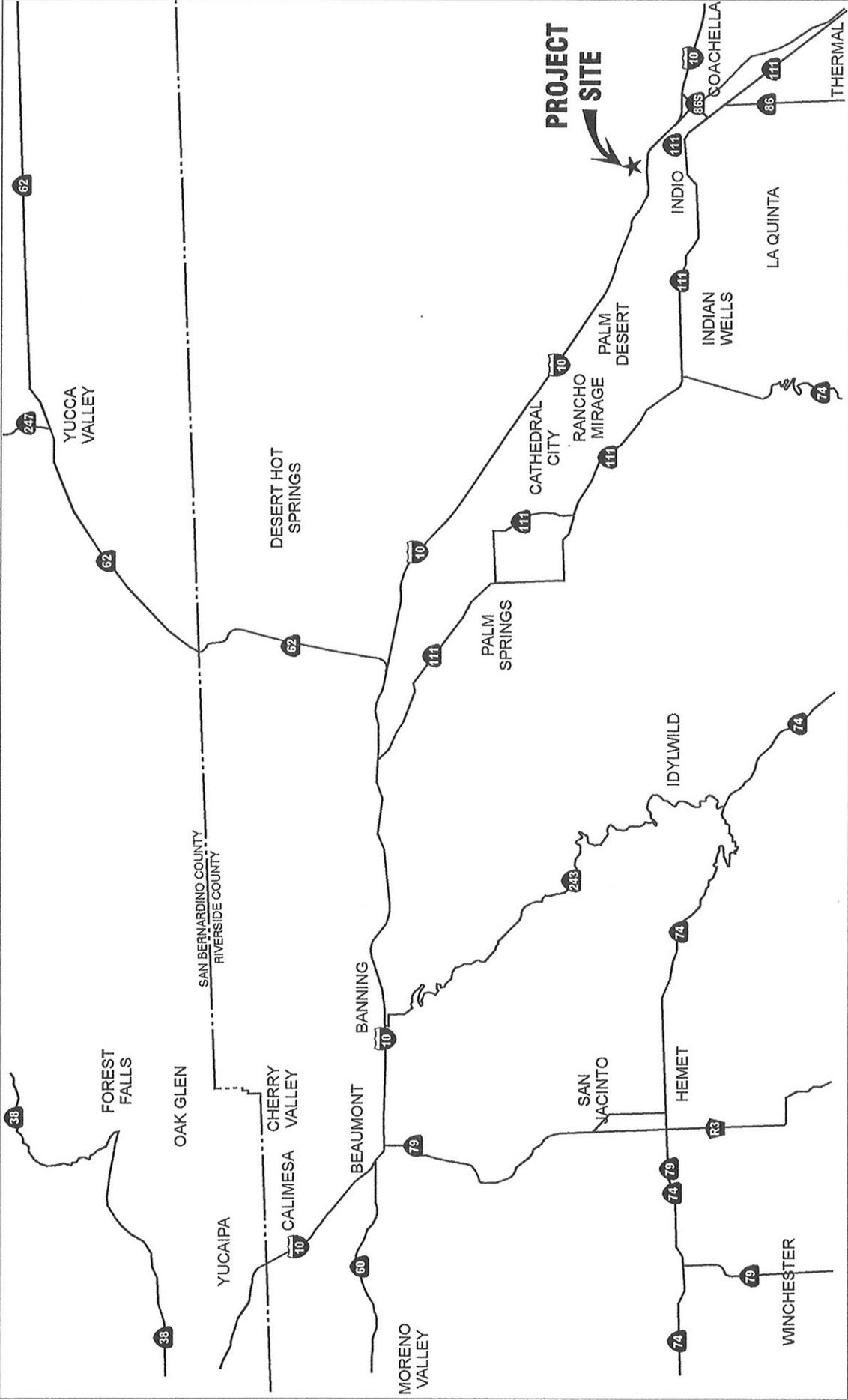
Environmental studies that have been prepared for the project include:

- *Biological Report* – James W. Cornett Ecological Consultants, March 18, 2003.
- *Cultural Resource Assessment* – Archaeological Associates, July 9, 2003.
- *Phase II Archaeological Report* – Archeological Associates, December 2003 and May 2004
- *Paleontology Report* – Archaeological Associates, July 2003.
- *Phase 1 Environmental Site Assessment* – Proterra Consulting, Inc., May 2003.
- *Geotechnical Report* – Sladden Engineering, January 31, 2003.
- *Air Quality Analysis* – Giroux & Associates, May 2004
- *Traffic Analysis* – Kunzman Associates, May 2004
- *Water Supply Assessment* – The Keith Companies, May 2004

2.2 PROJECT OBJECTIVES

The PMP contains all components required by State law, as well as other components, design concepts, guidelines, and standards required by the City to implement the General Plan. The objectives of this PMP are to:

- Develop a comprehensive land use plan that identifies the location, arrangement and intensity of land uses, streets and recreational components appropriate for development of the property.
- Establish design guidelines, development regulations, use standards and procedures to control future project improvements and provide appropriate architectural themes for the project.

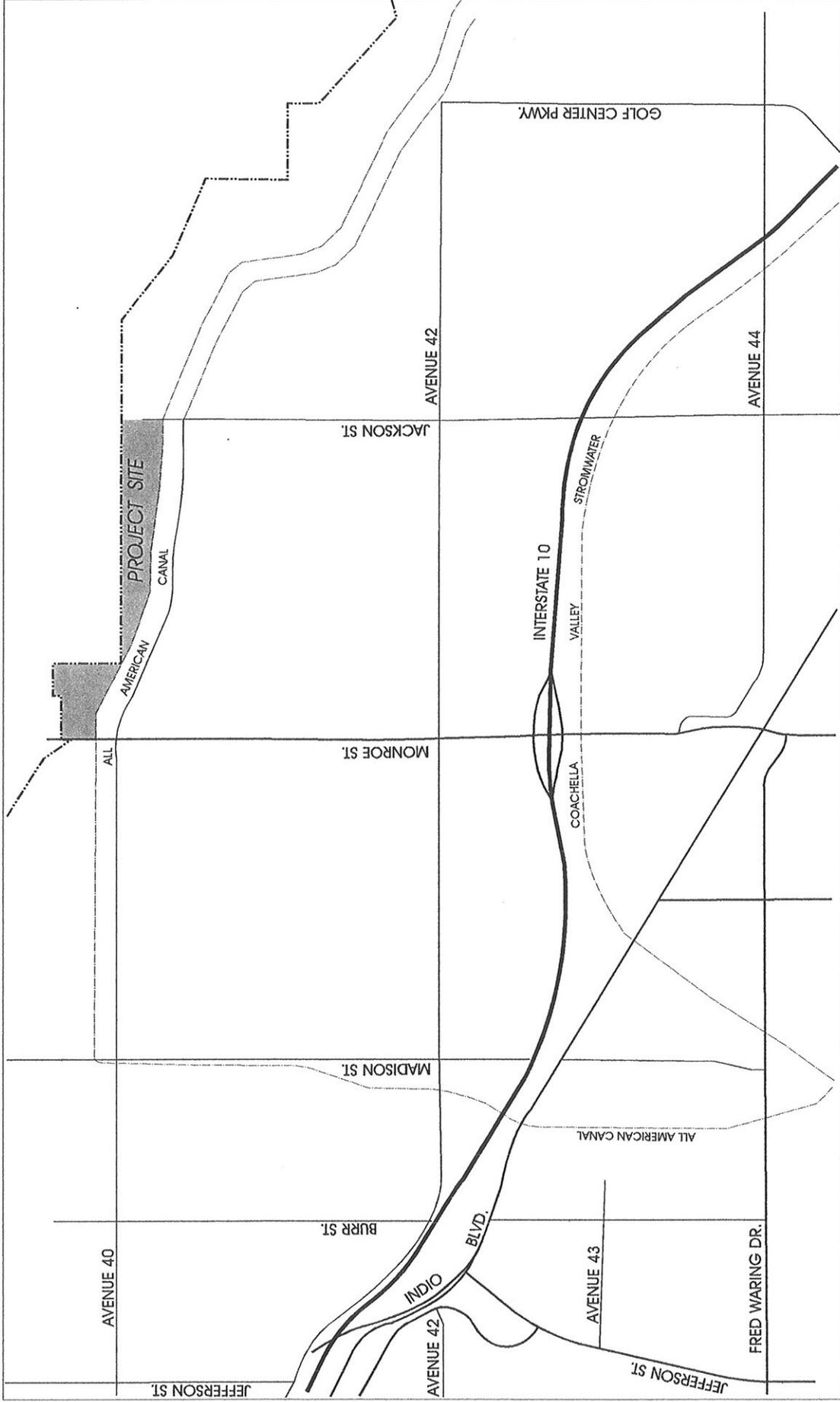


Regional Map

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE



NOT TO SCALE

Vicinity Map

AFFRESKO AT SHADOW HILLS BY RILINGTON COMMUNITIES



EXHIBIT 2-2

- Develop a residential project that promotes the public health, safety and welfare.
- Provide a safe and efficient circulation system.
- Provide water, sewer, drainage and road systems to adequately service the project.

2.3 AUTHORITY AND REQUIREMENTS

2.3.1 Authority for Project Master Plans

The authority to prepare, adopt and implement Project Master Plans is granted to the City of Indio by the California Government Code (Title 7, Division 1, Chapter 3, Article 8, Sections 65450 through 65457). As with General Plans, the Planning Commission must hold a public hearing before it can recommend adoption of a Project Master Plan. The City Council shall adopt a Project Master Plan by ordinance.

2.3.2 Requirements for Project Master Plans

The Affresco Project Master Plan (PMP) is located within the Gateway Conceptual Specific Plan (CSP). The City of Indio General Plan requires projects proposed within a CSP to prepare a PMP illustrating the site specific implementation of CSP requirements.

In particular, General Plan policy LU-2.2 states that:

The purpose of the PMP is to provide the City with a more detailed overview of the proposed project and to demonstrate that the requirements and guidelines within the CSP are incorporated into the design of each project. In addition to the typically required submittals, (i.e. tract map, plot plan and so forth), the PMP will contain a section for each of the CSP's required plans. These sections will provide maps, graphics, and text that demonstrate each project's approach to meeting the requirements and guidelines within the CSP. . .

California Government Code Section 65451 sets forth the requirements for Project Master Plans as follows:

Project Master Plan shall include a text and/or a diagram or diagrams which specify all of the following in detail:

1) The distribution, location and extent of the uses of land, including open space, within the area covered by the plan;

2) The proposed distribution, location and extent and intensity of major components of public and private transportation and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan;

3) Standards and criteria by which improvements will proceed, and standards for the conservation, development and utilization of natural resources, where applicable, and

4) A statement of the relationship of the Project Master Plan to the General Plan.

2.3.3 Purpose of Project Master Plans

The PMP is a regulatory document that will establish the zoning, density, minimum lot size, setbacks, building heights, and land uses as well as design guidelines for architectural themes, common area landscaping, and community walls for the property. Proposed development plans or agreements, tentative tract or parcel maps, and any other development approval must be in substantial conformance with the PMP. Projects which are found consistent with the PMP will be deemed consistent with the City's General Plan.

2.4 CONSISTENCY WITH THE INDIO GENERAL PLAN

Development proposed by the Affresco PMP must comply with densities allowed by the Indio General Plan. The General Plan land use designation for the subject property is RL/RPD-2 (Residential Low, Residential Planned Development 2). The RL designation with an RPD overlay allows a threshold density of 3.5 dwelling units per acre (du/ac) and a maximum density of 5.0 du/ac if the project provides amenities and features which are above the minimum requirements for the RL land use category. General Plan density is calculated based on a modified gross acreage that excludes perimeter streets, flood control facilities and other features. The project has a modified gross acreage of 79.0 acres (87 gross acres – 8 acres perimeter roads). The overall density of the Affresco Project is 3.5 dwelling units per modified gross acre which is well below the 5.0 du/ac maximum. Further, since the project does not exceed the threshold density of 3.5 du/ac, additional amenities are not required. Therefore, the project is consistent with General Plan density.

2.5 CONSISTENCY WITH THE GATEWAY SPECIFIC PLAN

The Affresco PMP is located within the Gateway Conceptual Specific Plan (GCSP), which was adopted with addendums on April 5, 1995. The GCSP designates the project site as Residential Village 16, which allows a maximum of 457 dwelling units and lot sizes ranging from 3,500 to 10,000 square feet. The project proposes 278 dwelling units (60% of allowable units) and minimum lot sizes of 8,000 square feet (within the allowable range) and is therefore consistent with the GCSP maximum unit and lot size criteria.

2.6 RELATIONSHIP TO CALIFORNIA ENVIRONMENTAL QUALITY ACT

Pursuant to the California Environmental Quality Act (CEQA) Guidelines, an Initial Study prepared for the Affresco PMP concluded that the project will not result in significant environmental impacts and that the preparation of an Environmental Impact Report (EIR) is not required. Consequently, the City will prepare a Mitigated Negative Declaration containing an evaluation of potential environmental impacts associated with the project and appropriate mitigation measures for each potential impact. All mitigation measures identified in the Mitigated Negative Declaration shall be identified in a Mitigation Monitoring and Reporting Program (MMRP) to ensure that implementation occurs.

The Mitigated Negative Declaration for the PMP will apply to all subsequent implementing entitlements proposed within the Affresco PMP. All future development projects for the

project site will be reviewed with the PMP and the Mitigated Negative Declaration to determine whether additional environmental documentation must be prepared pursuant to Section 15162, 15168, and 15182 of the CEQA Guidelines.

3.0 DEVELOPMENT PLAN

3.1 PURPOSE

The purpose of this Project Master Plan (PMP) is to address the land use issues associated with the development of the project in sufficient detail to ensure that the subject site develops in a manner consistent with the intent of the General Plan; protects the public health, safety and general welfare; is compatible with zoning on adjacent properties and is suitable and appropriate for the subject property. The PMP assures a high quality private residential project through the application of development regulations and design guidelines. The intent of this PMP and its regulations is to provide development criteria necessary to guide the developer(s) and the City of Indio in the design and approval of residential development. Descriptive text and exhibits provided herein set forth the basis for the overall master development of the project site. The components provided in this section are further defined for each land use district through the development regulations contained in Section 4.0, Development Standards.

The development plan derives from studies prepared by the applicants' civil engineer, traffic engineer, land planners, architect, landscape architect and other consultants and has been reviewed by City of Indio staff. As a result, the plan addresses development-related issues through proposed physical improvements, guidelines for future development, and implementation procedures and regulations.

3.2 CONCEPTUAL LAND USE PLAN

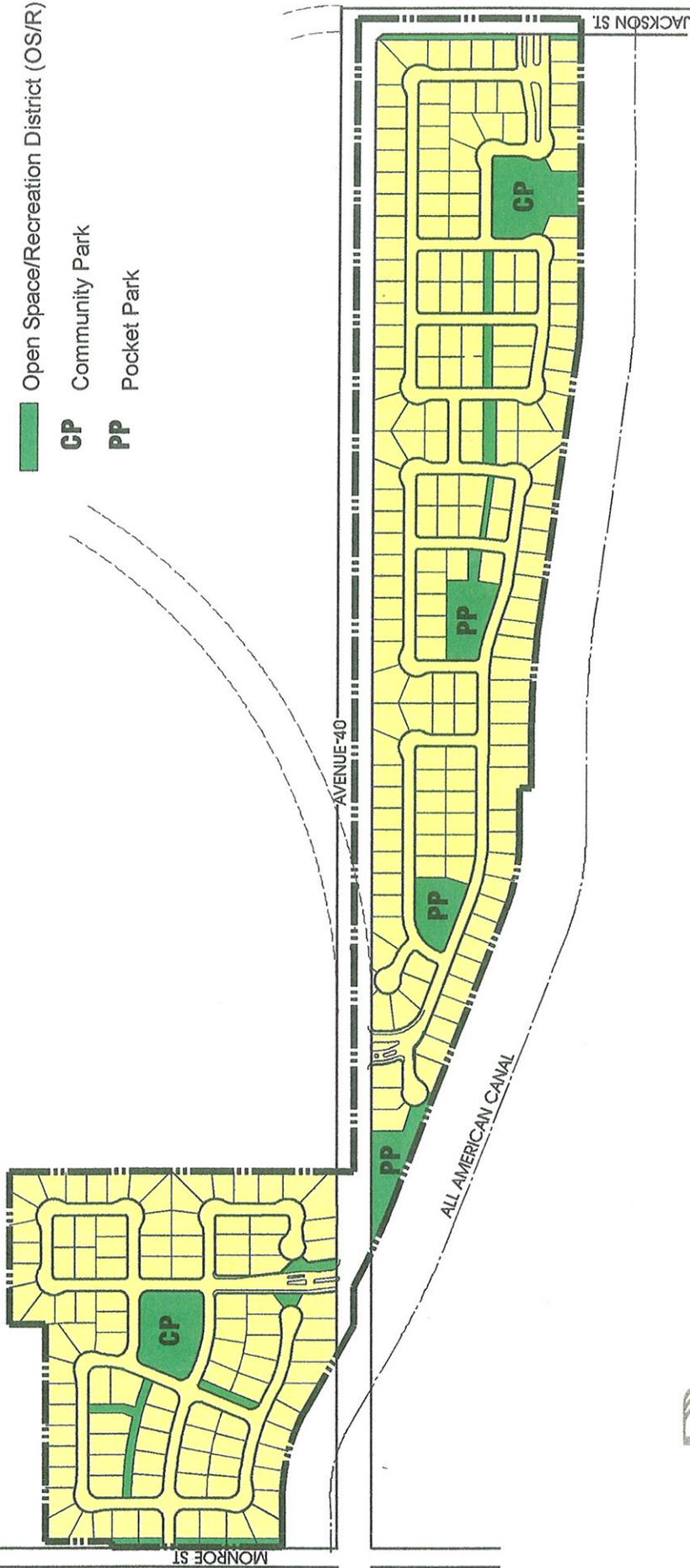
The Conceptual Land Use Plan is depicted in Exhibit 3-1. Table 3-1 provides a summary of the land uses proposed within the project.

3.2.1 Land Use Districts

Two land use categories will be utilized within the Affresco PMP, as indicated in Exhibit 3-1:

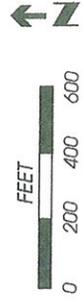
- Low Density Residential (LDR) – Low density residential uses consist of one and two story single family homes on minimum 8,000 square foot lots.
- Open Space/Recreation (OS/R) - Recreation and open space land uses consist of multi-use recreation/retention basins and pedestrian pathways.

- Legend**
- Residential District (LDR)
 - Open Space/Recreation District (OS/R)
 - CP** Community Park
 - PP** Pocket Park



Conceptual Land Use Plan

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



| TABLE 3-1 Conceptual Land Use Summary | | | |
|--|--------------|-------------------------------------|------------------------------|
| Land Use | Units | Area (Acres)¹ | Area as % of Site |
| RESIDENTIAL | | | |
| • Low Density Residential | 278 | 55.7 | 70.5% |
| OPEN SPACE / RECREATION | | | |
| • Community Parks | N/A | 2.8 | |
| • Linear Parks | N/A | 0.6 | |
| • Pocket Parks | N/A | 2.8 | |
| • Parkway & Entry Landscape ² | N/A | 5.3 | |
| <i>TOTAL OPEN SPACE/RECREATION</i> | N/A | 7.3 ³ | 9.2% |
| STREETS | | | |
| • Interior Private Streets | N/A | 16.0 | 20.3% |
| TOTAL | | 79.0⁴ | 100.0% |
| 1. Areas are approximate. 2. Includes 20' landscape parkways within Local Boulevards. 3. Exceeds the 4.8 acres of open space (755 s.f. x 278 units) required by the Gateway Conceptual Specific Plan. 4. Modified Gross Acres excludes approximately 8.3 acres of perimeter public ROW dedications. | | | |

3.2.2 Land Use Standards

In order to ensure the orderly development of the Affresco PMP, land use regulations have been created for each land use district identified above. These specific standards are discussed in detail in Section 4.0, Development Standards. In addition to these, the following project-wide land use standards also apply:

1. The Affresco PMP may be developed with a maximum of 278 residential dwelling units in substantial conformance with the Conceptual Land Use Plan illustrated in Exhibit 3-1.
2. The Affresco PMP shall provide a minimum of 755 square feet of usable open space for each residential unit for a maximum of 4.8 acres. Community parks, pocket parks,

- linear parks and 20' wide parkway landscape areas shall contribute toward this requirement.
3. Subsequent development of one and two story residential structures, community walls, entry monuments, common area landscaping, parkway landscaping and typical front yard landscaping within the PMP and on perimeter public streets shall be subject to design review as required by the City Municipal Code and in accordance with the design and development guidelines provided in Section 5.0 of this PMP.
 4. Minor deviations to development standards, street locations, retention basin locations and other project features/components as depicted in the Affresco PMP may be approved by the Director of Community Development Services. Deviations from the PMP determined to be major by the Director of Community Development Services will require Planning Commission approval.
 5. Two story residential units up to 25 feet in height are allowed by right. In accordance with City policy, no Conditional Use Permit is required since the PMP identifies that two story units may be built within the project and the project is separated from other residential properties by streets or rights-of-way exceeding 70 feet in width.
 6. Development of the property shall be in accordance with the mandatory requirements of all City ordinances, State laws, and shall conform substantially with the Affresco PMP, and its subsequent amendments as filed in the City of Indio.
 7. Lots within the project boundary shall conform to the development standards of the Affresco PMP as discussed in Section 4.0. If any conflicts between the development requirements of the City Municipal Code and the PMP arise, the PMP shall govern.
 8. Construction of the proposed project, including recordation of final subdivision maps, may be done in phases, provided that vehicular access, public facilities, and infrastructure are constructed to adequately service the dwelling units, or as needed for public health and safety, in each development phase and further provided that such phase of development conforms substantially with the intent and purpose of the PMP. Conceptual phasing is shown in Exhibit 4-1.
 9. The design and location of retention basins will be submitted for review and approval to the City Public Works Department prior to recordation of the final tract map. Recreation and retention facilities may be combined if designed to adequately handle nuisance water with retention depths and side slope ratios acceptable to the City Public Works Director.
 10. The developer shall dedicate a reservoir site on the tentative map as required by the City Public Works Director. The reservoir shall supplement the existing offsite reservoir adjacent to the project east of Jackson Street (see Exhibit 3-4). Should the Public Works Director determine that a reservoir is not needed within the project, this area may revert to single family residential lots if such residential lots are identified as an alternative land use on the implementing tentative map.

11. Above ground structures (walls, gating, tanks, landscaping) within the reservoir site shall be subject to design review as required by the City Municipal Code and shall be designed in accordance with the design themes and guidelines provided in Section 5.0 of this PMP to the maximum extent feasible.
12. All applicable development fees and charges shall be the responsibility of the developer/builder.
13. Monroe Street is a long-term aggregate haul route for the Granite Construction surface mining operation. A 20' landscape buffer with berming and a 7' high block wall shall be provided along Monroe Street as noise mitigation. In addition, the project CC&Rs shall include a prominent disclosure notice to homeowners within 100' of the Monroe Street right-of-way indicating that Monroe Street is a long-term source of gravel truck noise.

3.3 CONCEPTUAL CIRCULATION PLAN

3.3.1 Circulation Plan Description

The main objective of the Conceptual Circulation Plan is to provide direct and convenient vehicular access to residential neighborhoods through a safe and efficient roadway system. This will include improvements to perimeter public roads including Avenue 40 (Augmented Major / 120' R.O.W.), Monroe Street (Secondary Roadway / 88' R.O.W.) and Jackson Street (Secondary Roadway / 88' R.O.W.) along with construction of local private streets (41' R.O.W.) interior to the project. The Conceptual Circulation Plan is illustrated in Exhibit 3-2 and Typical Street Sections are shown in Exhibit 3-3.

3.3.2 Circulation Plan Development Standards

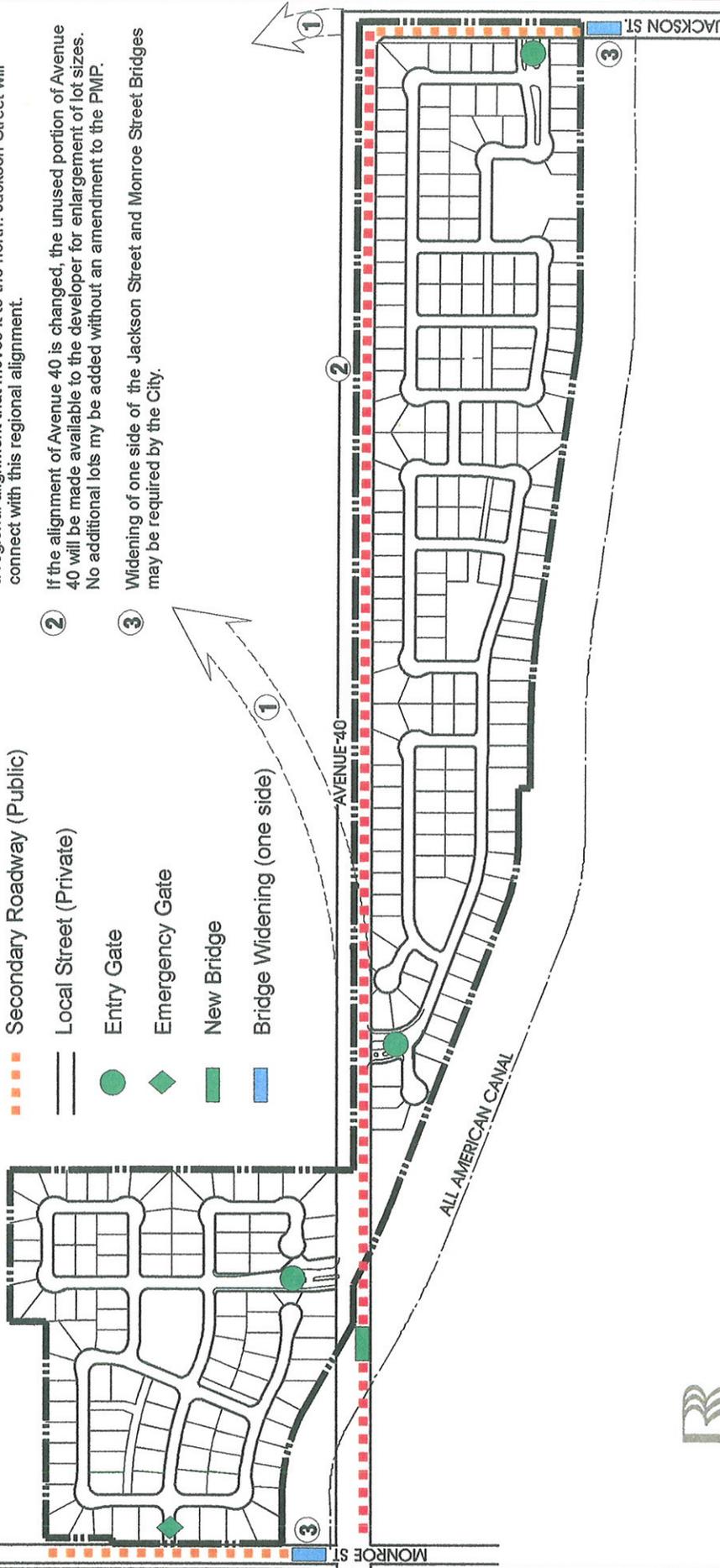
1. The proposed Circulation Plan for the Affresco PMP provides an efficient street pattern that meets the circulation needs of the project. The street hierarchy is shown on the Conceptual Circulation Plan (Exhibit 3-2).
2. The project shall provide two points of vehicular access to each lot.
3. Reduced traffic speeds will be encouraged by a combination of short residential streets and curvilinear residential streets as shown in Exhibit 3-2. Traffic calming devices may be applied if required during project approvals and reflected in final conditions of approval.
4. The project shall comply with the recommendations outlined in the project traffic report.
5. Roads will be constructed as follows:

Legend

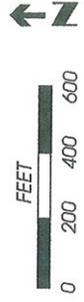
- ■ ■ ■ ■ Augmented Major (Public)
- ■ ■ ■ ■ Secondary Roadway (Public)
- Local Street (Private)
- Entry Gate
- ◆ Emergency Gate
- New Bridge
- Bridge Widening (one side)

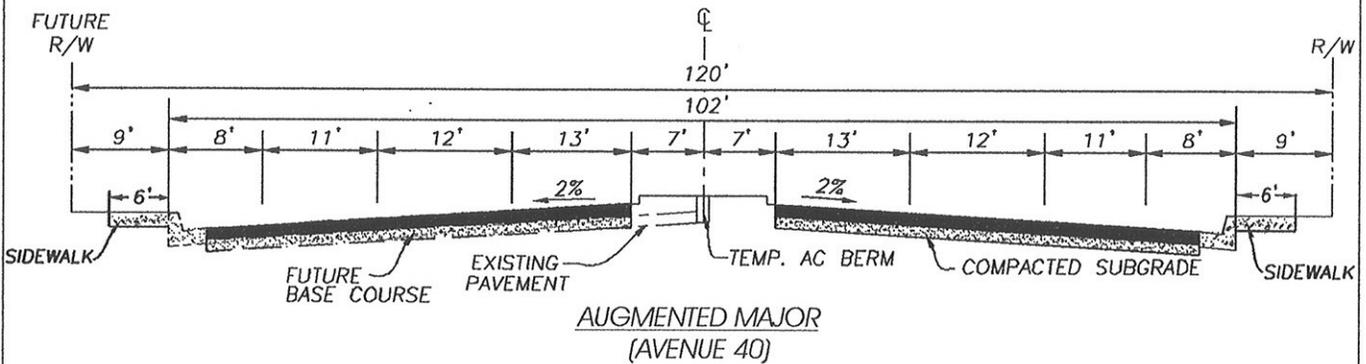
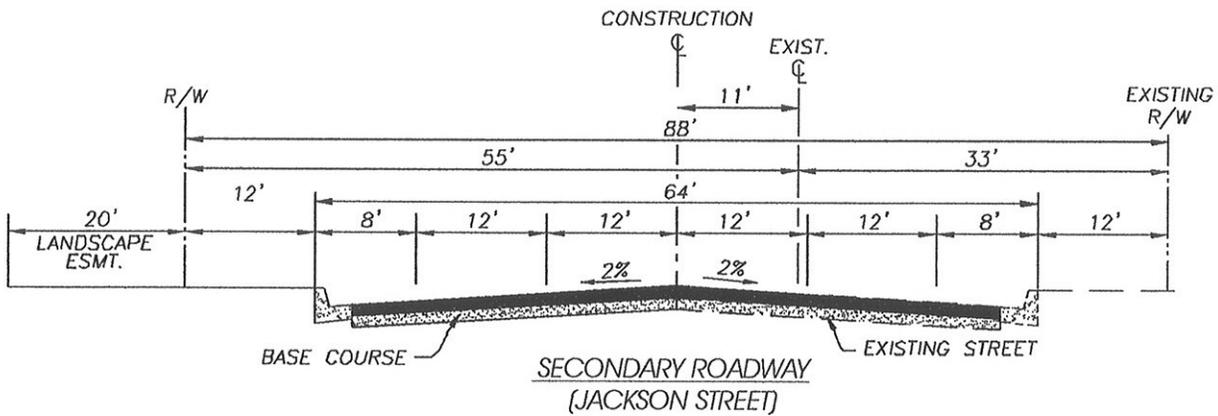
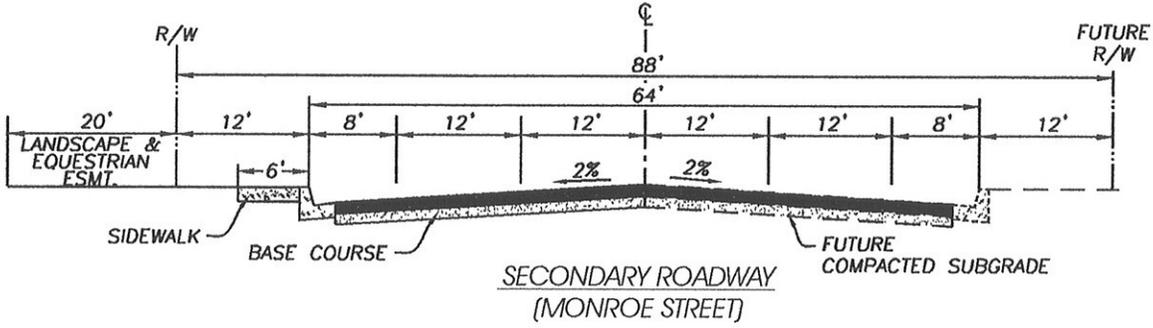
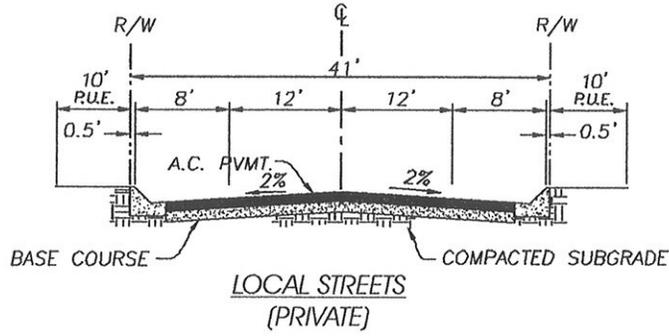
Notes

- ① The City may determine, in the future, that Avenue 40 should follow a regional alignment that moves it to the north. Jackson Street will connect with this regional alignment.
- ② If the alignment of Avenue 40 is changed, the unused portion of Avenue 40 will be made available to the developer for enlargement of lot sizes. No additional lots may be added without an amendment to the PMP.
- ③ Widening of one side of the Jackson Street and Monroe Street Bridges may be required by the City.



Conceptual Circulation Plan
AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES





Typical Street Sections

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES

NOT TO SCALE



- Secondary Roadway (88' R.O.W.) – Monroe Street and Jackson Street adjacent to the project boundary will be constructed as public roadways to a half-width Secondary Street improvement standard as shown in Exhibit 3-3.
 - Augmented Major (120' R.O.W.) – Avenue 40 adjacent to the project boundary will be constructed as a public roadway to a half-width Augmented Major Street improvement standard as shown in Exhibit 3-3.
 - Local Street (41' R.O.W.) – Streets interior to the project that provide access to residential lots will be constructed as private roadways to a full-width Local Street improvement standard as shown in Exhibit 3-3. A 10 foot wide public utility easement will be dedicated on each side of the street.
6. Street landscaping will be consistent with the typical street sections shown in Exhibit 3-3. Landscape plans will be submitted to the City for review and approval during design review as required by the City Municipal Code and Section 6.0 of this PMP.
 7. All required roads shall be designed in accordance with City of Indio standards or as modified by the standards contained in this PMP.
 8. On-street parking shall be allowed on both sides of interior local streets and boulevards.
 9. A 20-foot wide landscape area shall be provided within the project adjacent to the Monroe Street and Jackson Street rights-of-way.
 10. The developer shall contribute a fair share amount toward the installation of traffic signals at offsite intersections as required by the project traffic report.
 11. Gated entries shall be equipped with a Knox rapid entry system or equivalent for use by fire and paramedic vehicles. Entry gates shall have a minimum unobstructed drivable width and minimum unobstructed vertical clearance in accordance with Fire Department standards. All gates shall be reviewed and approved by the City of Indio Fire Department.
 13. Internally illuminated address signs shall be provided for all new buildings and positioned to be clearly visible from the street fronting the property. Internally illuminated directories shall be provided at each primary entry gate if required during project approvals and reflected in final conditions of approval.
 14. Emergency access roads shall be designed and maintained to support fire apparatus and shall be provided with an all-weather driving surface. Access routes shall have a minimum unobstructed drivable width and minimum unobstructed vertical clearance in accordance with Fire Department standards. All emergency access routes shall be reviewed and approved by the City of Indio Fire Department.

3.4 CONCEPTUAL WATER AND SEWER MASTER PLANS

3.4.1 Water Plan Description

The Affresco PMP is located within the service area of the Indio Water Authority (IWA) for domestic water service. Existing water mains available for connection by the project include a 16-inch water main in Jackson Street. The IWA is currently determining whether a new 18-inch water main may be required in Jackson Street to complement the existing 16-inch main.

A conceptual water plan has been developed to serve the project as shown on Exhibit 3-4. The water plan will include a looped system of 8-inch and 18-inch water lines within the site. No offsite water improvements beyond those noted in Avenue 41 and Jackson Street adjacent to the project are required.

3.4.2 Sewer Plan Description

The eastern half of the Affresco PMP is located within the service area of the Valley Sanitary District (VSD) while the western half is within the service area of the Coachella Valley Water District (CVWD) for sanitary sewer service. Because the entire project gravity sewers to the southeast, it is logical to serve the entire project through the VSD system. Consequently, an annexation will be initiated to incorporate the western half of the project within the VSD service area. Existing sewer mains available for connection by the project include a 15" sewer main in Gore-Bush Street about a quarter mile south of Avenue 41 that will be extended through the Vista Laguna Project (Tract 32402) to the All American Canal near the project's southern boundary.

A conceptual sewer plan has been developed for the project as shown on Exhibit 3-5. The conceptual sewer system consists of 8-inch and 10-inch sewer lines located within the project's private street system. Wastewater collected at individual lots throughout the project would gravity flow to two proposed siphons under the All American Canal, one at the mid-point of the project and one at Jackson Street. The siphons would be constructed using a 24" bore and 10" sewer line. From the siphons, connection would be made to the Vista Laguna sewer system, which has been sized to handle the flows from Affresco.

3.4.3 Water and Sewer Plan Development Standards

1. The proposed Sewer and Water Master Plans for the Affresco PMP provide an efficient system of utilities to meet the needs of the project. The backbone sewer and water systems are shown on the Conceptual Water Plan (Exhibit 3-4) and the Conceptual Sewer Plan (Exhibit 3-5).
2. All water and sewer lines will be designed per IWA and VSD requirements.
3. Water distribution and sewage collection facilities shall be installed in accordance with the requirements and specifications of the City of Indio and the Riverside County Health Department.

CONNECTION TO POTENTIAL REGIONAL RESERVOIR

Note

- ① If a regional reservoir is acquired by the IWA capable of serving the project, the local reservoir site will revert to residential lots as shown.



Legend

Proposed:

8" Water Main

18" Water Main

Potential Local Reservoir Expansion Site

Potential Future 36" Regional Water Main

Existing:

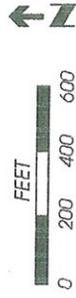
16" Water Main

Existing 0.5 MG Reservoir



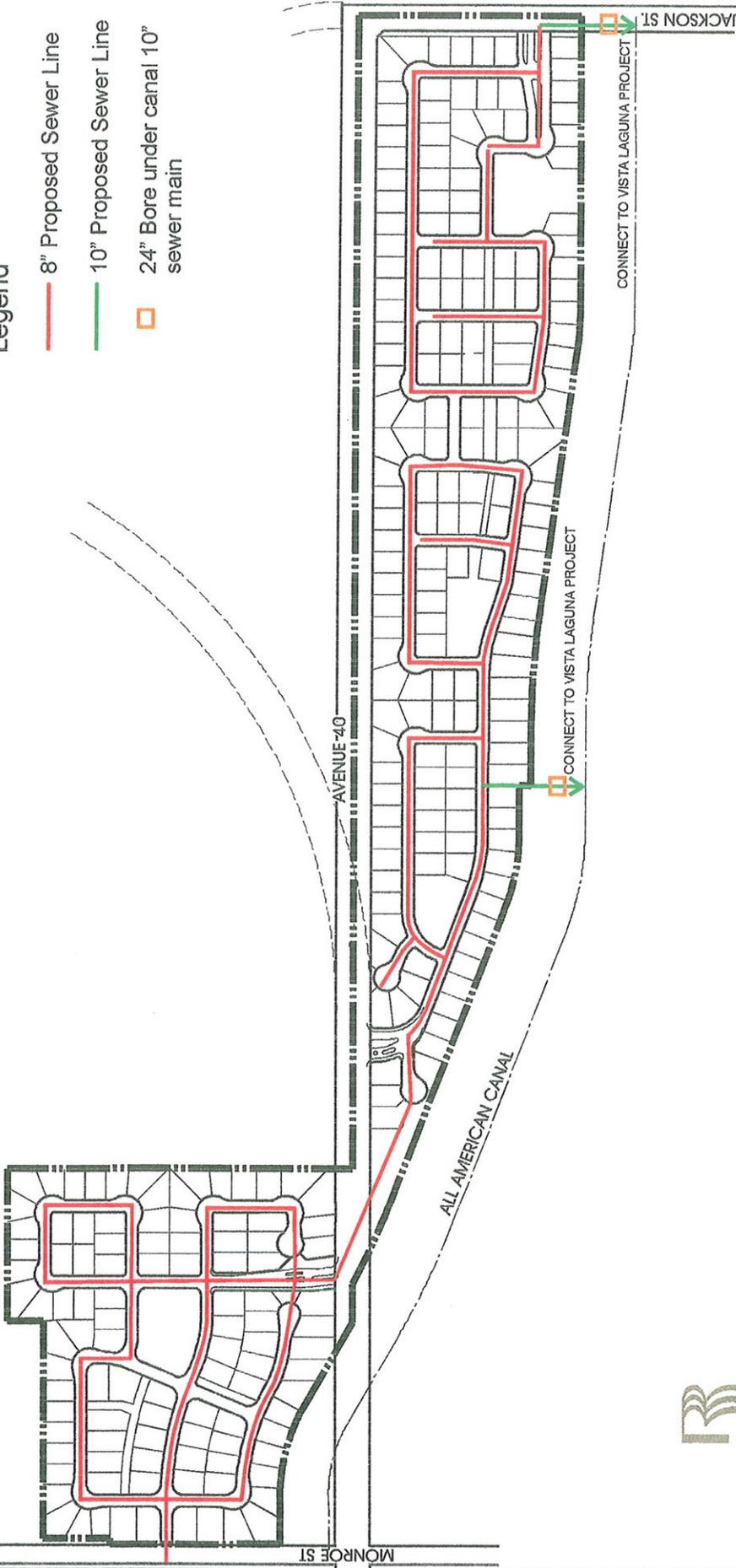
Conceptual Water Plan

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



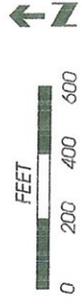
Legend

- 8" Proposed Sewer Line
- 10" Proposed Sewer Line
- 24" Bore under canal 10" sewer main



Conceptual Sewer Plan

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



DePalatis Associates
PLANNING & ENVIRONMENTAL SERVICES

EXHIBIT 3-5

4. A water system adequate for fire fighting needs shall be available before any combustible material is stored on the construction site. The water system including delivery volume, duration and pressure shall be approved by the City of Indio Fire Department and the IWA.
5. Approved fire hydrants are typically located at street intersections, with hydrant spacing and distance from residential lots per City of Indio Fire Department requirements. Fire hydrants are not required on streets that exclude residential driveways.
6. The water system shall provide domestic water service and minimum fire flow requirements to the project in compliance with City of Indio standards. The water system plan and hydraulic calculations shall be provided to the City Engineering Services Division and Fire Department for review and approval.

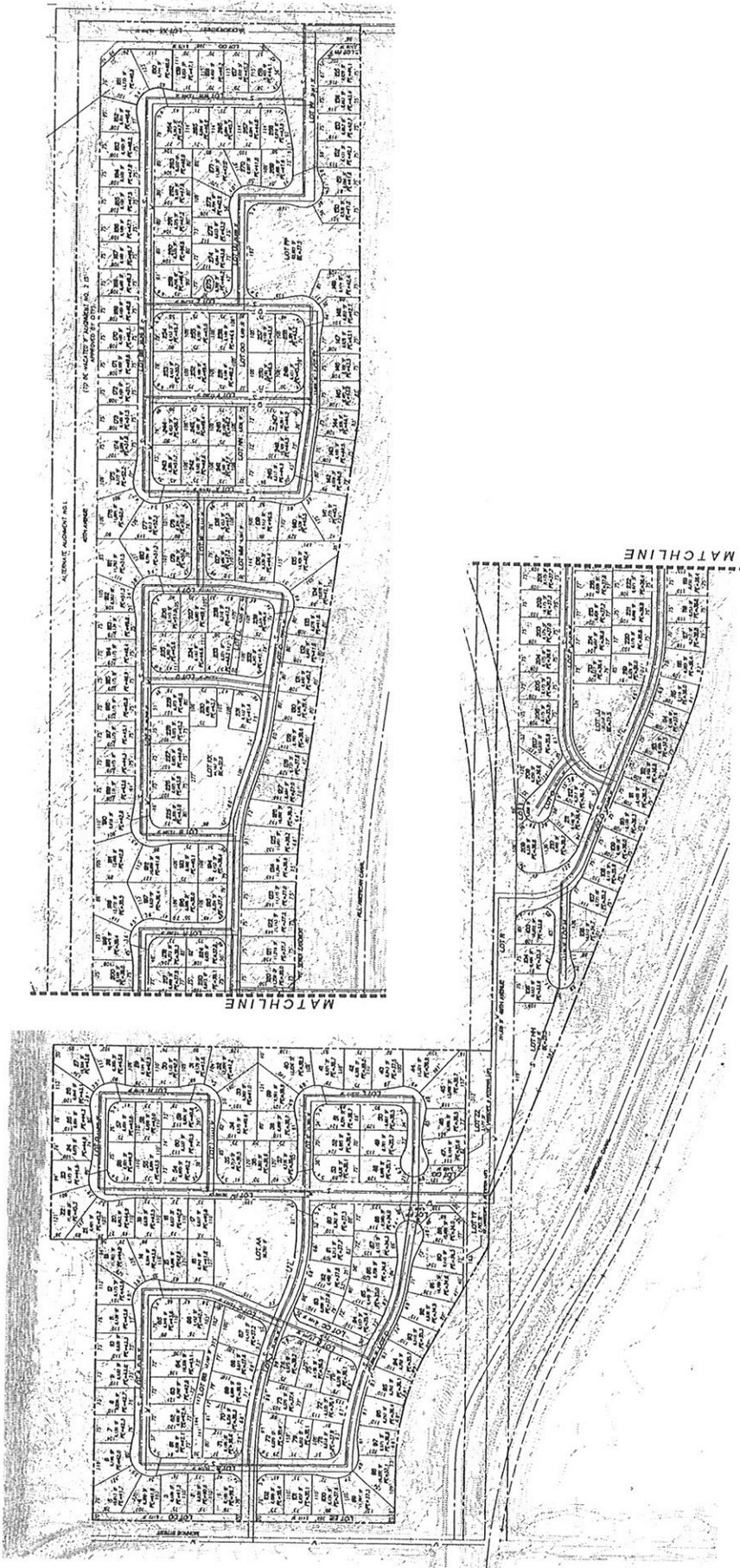
3.5 CONCEPTUAL GRADING MASTER PLAN

3.5.1 Grading Plan Description

The Conceptual Grading Plan for the Affresco PMP is shown in Exhibit 3-6. The site contains gently sloping terrain with a total onsite elevation difference of about twenty feet from a high elevation along the northern boundary to a low elevation on the southern boundary. The development approach involves grading the site using a series of 2:1 manufactured slopes to create flat building pads for development. The proposed grading will result in ground elevations, which are typically within 1 to 10 feet of the existing grade. The building pad areas will be graded to allow positive drainage around the building to the street. Earthwork is estimated at 225,000 cubic yards and is projected to balance on site without import or export. The Conceptual Grading Plan is designed to create building pads with positive drainage, streets within City minimum and maximum gradients and to comply with City and UBC standards for manufactured slopes.

3.5.2 Grading Plan Development Standards

1. Grading activity shall be in accordance with the grading and drainage standards of the City of Indio and the recommendations of the Geotechnical Report.
2. Building and grading plans shall be reviewed by a certified engineering geologist to ensure that recommendations of the geotechnical report have been properly incorporated into the design.
3. Observation and testing during site preparation, grading and placement of fill materials shall be performed by a certified engineering geologist as required by the CBC Sections 1701 and 3317.
4. Prior to the issuance of grading permits, the developer shall file a Notice of Intent (NOI) with the State Water Resources Control Board (SWRCB) and prepare a Stormwater Pollution Prevention Plan (SWPPP) describing proposed structural and non-structural Best Management Practices (BMPs) in accordance with the NPDES



RILINGTON
COMMUNITIES

NOTE:
See Tentative Map 32401 for detailed grading design.

Conceptual Grading Plan

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE

db DePalatis Associates
PLANNING & ENVIRONMENTAL SERVICES

EXHIBIT 3-6

General Permit. Copies of the NOI, the Waste Discharger Identification Number and the SWPPP shall be provided to the City of Indio.

5. Prior to the issuance of grading permits, a Fugitive Dust PM-10 Plan shall be submitted to the City of Indio for review and approval.
6. Construction activities shall be limited to the hours allowed by the City's Noise Control Ordinance, Title IX, Chapter 95.C.08.7. Prior to issuance of grading permits, the developer/builder shall hire a qualified paleontologist to develop a program to document buried paleontological resources that might be uncovered during grading operations. The program may include the use of a part-time paleontological monitor. The monitor shall be equipped to salvage fossils as they are unearthed to avoid construction delays and to remove samples of sediment which are likely to contain the remains of small fossils. The monitor shall have the authority to halt or divert grading equipment to allow for removal or documentation of abundant or large specimens.
8. The applicant/developer shall pay a mitigation fee of \$600 per acre of existing vacant land to the City of Indio, as part of the habitat conservation plan for the purpose of preserving the Coachella Valley milk-vetch, Coachella Valley fringe-toed lizard and other threatened or endangered species.
9. Joint use recreation/retention facilities shall be graded with a maximum of 5:1 side slopes and no more than two feet depth of retention. Methods shall be employed for handle nuisance water (irrigation, street runoff, etc.) and avoid saturation of active recreation areas. Methods may include the use of underground chambers or dry wells. Joint use recreation/retention facilities shall be developed in substantial conformance with the Affresco PMP. Prior to issuance of grading permits, joint use recreation/retention facilities shall be reviewed and approved by the Director of Public Works and the Director of Community Development Services.
10. Single use retention facilities shall be graded with a maximum of 3:1 side slopes and no more than five feet depth of retention. Methods shall be employed to handle nuisance water (irrigation, street runoff, etc.) and avoid surface ponding that may serve as a source of odors and cause vector breeding conditions. Prior to issuance of grading permits, single use retention facilities shall be reviewed and approved by the Director of Public Works.

4.0 DEVELOPMENT STANDARDS

4.1 PURPOSE

This chapter provides a description of the development standards for each of the land use districts planned within the Affresco PMP. The development standards are intended to establish the regulatory framework for construction of residential homes and recreational amenities. The project proposes 278 residential dwelling units on 87 acres. Typical residential products will be characterized by one to two-story, single-family detached homes. Private recreation amenities include a village clubhouse, a central village green, a series of pocket parks, and a system of linear parks to connect the various park and clubhouse elements.

4.2 RESIDENTIAL DEVELOPMENT STANDARDS

4.2.1 Intent of Residential District

The Residential District provides a regulatory framework for developing low density residential housing within the project on minimum 8,000 square foot lots. The project proposes a total of 278 residential dwelling units at a gross density of approximately 3.5 dwelling units per acre. Structures will consist of one-story and two-story, single-family detached homes.

4.2.2 Permitted Residential Uses

The following uses shall be permitted in the Residential (LDR) district.

**TABLE 4-1
PERMITTED LOW DENSITY RESIDENTIAL (LDR) USES**

- One and two story single family dwellings (no C.U.P. required)
- Accessory buildings, uses, or structures (including detached casitas units)
- Home occupations
- The keeping of domestic animals
- Swimming pools and spas
- Licensed in home day care for up to 12 children subject to §§ 159.525 through 159.531 of the Indio Zoning Code
- Flood control facilities
- Utility facilities
- Senior housing (granny flat)
- Private recreational facilities

- | |
|--|
| <ul style="list-style-type: none">▪ Guest house, casitas or servant's quarters that may not be rented or sold▪ Model home complexes |
| <p>Note: Residential uses which are similar in nature but not specifically listed above may be permitted at the discretion of the City of Indio Director of Community Development Services. All other uses are prohibited.</p> |

4.2.3 Residential Planning Standards

1. Residential architecture shall require design review in accordance with the City of Indio Municipal Code, Title XV, Chapter 159.720 as modified by Section 6.0 of the Affresco PMP.
2. Landscaping design for joint use retention/recreation areas, common areas, parkways along public streets and typical front yards shall require design review in accordance with the City of Indio Municipal Code, Title XV, Chapter 159.720 as modified by Section 6.0 of the Affresco PMP.
3. Please refer to Section 3.0 for the following Development Plans and Standards that apply project-wide:
 - 3.2 - Conceptual Land Use Plan
 - 3.3 - Conceptual Circulation Plan
 - 3.4 - Conceptual Water and Sewer Plan
 - 3.5 - Conceptual Grading Plan
4. Refer to Section 5.1 for Design Guidelines and related design criteria.

Water Reservoir Site

Within the northeastern corner of the project, a lot will be designated as a water reservoir expansion site. The lot would be dedicated to the IWA for the placement of a water reservoir and booster pump to be owned and operated by the Indio Water Authority. This facility would supplement the existing reservoir on the east side of Jackson Street. The reservoir shall be offered for dedication to the City at the recordation of the first tentative tract map. If the IWA determines that the water reservoir can be located outside of the project site, the reservoir site shall be made available for development as residential lots as shown in the PMP.

4.2.4 Residential Development Standards

The following development standards shall apply in the Residential (LDR) district.

| TABLE 4-2 | |
|--|------------------|
| RESIDENTIAL DEVELOPMENT STANDARDS | |
| MINIMUM LOT AREA | |
| • All Lots | 8,000 s.f. |
| MINIMUM LOT WIDTH¹ | |
| • Interior Lot | 65 feet |
| • Corner Lot | 70 feet |
| • Cul-de-sac, Knuckle Lot | 45 feet |
| MINIMUM LOT FRONTAGE | |
| • Cul-de-sac Lot | 35 feet |
| MINIMUM LOT DEPTH | |
| • All Lots | 100 feet |
| MINIMUM FRONT YARD SETBACK | |
| • Setback to Living Area or Side-Loaded Garage ² | 15 feet |
| • Setback to Front-Loaded Garage | 20 feet |
| MINIMUM SIDE YARD SETBACK | |
| • Interior Lot | 5 feet |
| • Corner Lot | 10 feet |
| MINIMUM REAR YARD SETBACK | |
| ▪ All Lots ³ | 15 feet |
| BUILDING REQUIREMENTS | |
| ▪ Maximum Lot Coverage | 60% |
| ▪ Maximum Primary Building ⁴ / Accessory Building Height ⁴ | 25 feet /18 feet |
| 1. Measured at front or rear setback. 2. Setback may be reduced by 25% provided the average is not less than 15 feet. 3. Patios may be within 7' and accessory buildings within 5' of a rear property line. 4. Incidental architectural features such as cornices and chimneys may exceed the height limit. | |

Encroachments into Required Yards

Encroachments into required yards shall be allowed according to the City of Indio Zoning Ordinance, Municipal Code Title XV, Chapter 159, modified as follows:

- Ground mounted air conditioners, swimming pool pumps, heaters, filters and fans may be located in a required side or rear yard provided that such structures or equipment does not exceed a height of 42-inches measured from the base of the unit. Such equipment will be screened from adjacent property or street by a solid fence or wall designed to match the material, color and design of the approved fencing/walls for the property.
- Pools/Spas may be within 3 feet of any side or rear property line and within 3 feet of any main structure. If proposed in the front yard, they shall be enclosed by a masonry wall not to exceed 5 feet in height and no portion of the pool/spa or wall shall be located closer than 10 feet to the back of curb.

4.2.5 Residential Phasing

Exhibit 4-1 identifies the conceptual phasing of residential units.

4.3 RECREATION DEVELOPMENT STANDARDS

4.3.1 Intent of Recreation District

The recreational district provides a regulatory framework for developing a system of recreational amenities to serve the needs of project residents. Recreation amenities include five pocket parks distributed throughout the community and a system of linear parks connecting the pocket parks. Storm water retention will also be provided for within the open space and park areas.

4.3.2 Permitted Recreation Uses

Permitted uses allowed in the Recreation (R) district are shown in Table 4-3 following:

| TABLE 4-3 PERMITTED RECREATION (R) USES | |
|---|--|
| <ul style="list-style-type: none"> • Children’s play equipment (tot lots) • Restroom/changing facilities • Entry monuments and signage • Landscaping • Outdoor recreational courts and fields • Parking as an accessory use | |

- Parks
- Picnic facilities
- Storm water retention facilities
- Swimming pools & spas
- Trails
- Utility facilities

Note: Recreational uses which are similar or accessory in nature but not specifically listed above may be permitted at the discretion of the City of Indio Director of Community Development Services. All other uses are prohibited.

4.3.3 Recreation Planning Standards

Project Entries

1. A primary entry treatment will be provided at Jackson Street as illustrated in Exhibit 5-1 and as discussed in Section 5.4.1.
2. A primary entry treatment will be provided at the northern entry on Avenue 40 as illustrated in Exhibit 5-2 and as discussed in Section 5.4.1.
3. A secondary entry treatment will be provided at the southern entry on Avenue 40 as illustrated in Exhibit 5-3 and as discussed in Section 5.4.1.

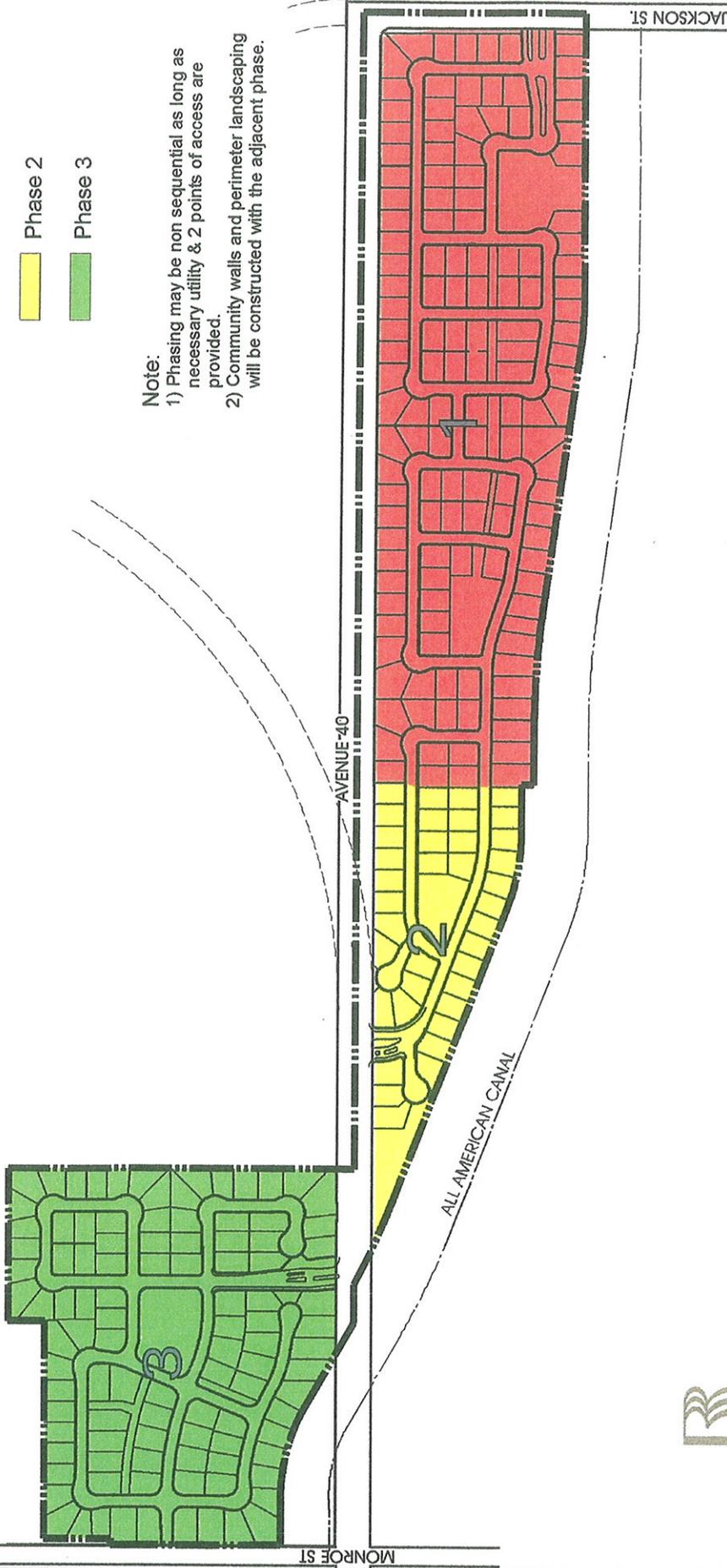
Streetscapes

4. Representative streetscape treatments, as illustrated in Exhibit 5-4, shall be used along Jackson Street.
5. Representative streetscape treatments, as illustrated in Exhibit 5-5, shall be used along Monroe Street.
6. Representative streetscape treatments, as illustrated in Exhibit 5-6, shall be used along Avenue 40.
7. Representative streetscape treatments, as illustrated in Exhibits 5-7 and 5-8, shall be used along interior residential streets and boulevards.

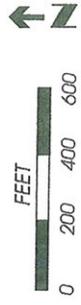
- Legend**
- Phase 1
 - Phase 2
 - Phase 3

Note:

- 1) Phasing may be non sequential as long as necessary utility & 2 points of access are provided.
- 2) Community walls and perimeter landscaping will be constructed with the adjacent phase.



Conceptual Phasing Plan
AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



Wall and Fences

8. Community frontage walls, block walls and view fencing will be used throughout the project as illustrated in Exhibit 5-9 and 5-10.

Reservoir Sites

9. The project shall provide a reservoir site at the northeast corner of the property to serve the project's water storage needs. If a regional reservoir site is developed by the City to serve the project, the land reserved for the on-site reservoir may be developed with residential lots.

Parks

10. Linear parks provide east-west pedestrian linkages within the project. They are intended to provide an enhanced pedestrian amenity connecting individual pocket parks as illustrated in Exhibit 5-11.
11. Pocket parks provide for passive recreation and may include shade trees, benches, shade trellis, open lawn areas and tot lots. The pocket park concept is illustrated in Exhibit 5-12.
12. Community Parks also provide areas for passive recreation but are larger in size. Amenities may include open lawn areas, walking paths, shade trees and benches and, in some instances, picnic tables or a shade structure. The community park concept is illustrated in Exhibit 5-13.

Miscellaneous Standards

13. Please refer to Section 3.0 for the following Development Plans and Standards that apply project-wide:
 - 3.2 - Conceptual Land Use Plan
 - 3.3 - Conceptual Circulation Plan
 - 3.4 - Conceptual Water and Sewer Plan
 - 3.5 - Conceptual Grading Plan
14. Refer to Section 5.1 for Design Guidelines and related design criteria.

4.3.4 Recreation Development Standards

The following development standards shall be permitted in the Recreation (R) district.

| TABLE 4-4 | |
|---|---------|
| RECREATION (R) DEVELOPMENT STANDARDS | |
| Standard | |
| MINIMUM BUILDING SETBACKS | |
| • Setback from Street Right-of-way | 20 feet |
| • Setback from Residential District | 15 feet |
| • Other Setbacks | None |

4.3.5 Recreation Implementation

Table 4-5 identifies all amenities within the project site and the timing when amenities are required to be constructed.

| TABLE 4-5 | |
|---|--|
| RECREATION AMENITY COMPLETION SCHEDULE | |
| Amenity | Milestone |
| • North Community Park - Retention Basin | Prior to issuance of the last certificate of occupancy in Phase 3 (See Figure 4-1) |
| • South Community Park - Retention Basin | Prior to issuance of the last certificate of occupancy in Phases 1 and 2 (See Figure 4-1) |
| • Pocket Park - Retention Basin | Prior to issuance of the last certificate of occupancy for the phase in which the pocket park is located (see Figure 4-1) |
| • Linear Park | Prior to issuance of the last certificate of occupancy for the phase in which the linear park is located (see Figure 4-1). |

5.0 DESIGN GUIDELINES

5.1 PURPOSE

The design guidelines contained in this chapter are intended to establish a residential design approach that implements the General Plan vision for this developing area. Exhibits provided in this section are intended as conceptual illustrations and do not depict final designs, nor should they limit the range of expression among individual builders and their professional design teams.

The design guidelines for the Affresco project will:

- Assist in implementing the design intent of the Project Master Plan (PMP) by establishing project design compatibility with surrounding developments;
- Provide a consistent approach to site planning, building design, street frontage and signage, wall and fence materials and color, lighting, landscaping, and other design elements that will endure for the life of the community.

The design guidelines identify elements for the design of buildings and landscaping within the Affresco project. These guidelines shall be incorporated into the subsequent subdivision maps and site development permits submitted to the City for approval unless it is demonstrated that certain guidelines are not applicable, appropriate, or feasible under the circumstances.

5.2 SITE AND ARCHITECTURAL GUIDELINES

5.2.1 Site Guidelines

Building Massing - Exterior mass and form can be manipulated to improve the street scene by controlling the impact of residential units as they relate to corners, setbacks and each other. Units at corners should have significant one-story mass towards the exterior side yard. At interior side yards, when possible, it is desirable to create the increase of building separation by stepping roof massing away from the property line.

Site Planning - Appropriate site planning guidelines as discussed below should be used in order to ensure functional and aesthetic development. Discretionary application of the guidelines should be used in order to achieve a high quality consistency in design theme. Site Planning Guidelines are as follows:

1. Residential dwelling units may vary setbacks to create visual interest along the street frontage. Reduced setbacks to living areas and side loaded garages may be employed as described in Table 4-2.
2. Landscaping shall be provided at project entries, as illustrated in Exhibits 5-1 and 5-2, to provide project identity and set the tone for the project development.
3. Interior walls shall compliment the architectural theme of the project site. Wood-only fencing and chain link fencing are not permitted.

4. Community frontage walls shall be offset between pilasters. The maximum distance between pilasters shall be 150 feet. Landscaping will also be provided to create visual interest. (see also Section 5.4.3)

5.2.2 Architectural Guidelines

Vista Laguna Styles

Each builder is required to provide two *styles* of architectural design described below.

- Santa Barbara/Eclectic Mediterranean
- Tuscan/Italian

Santa Barbara/Eclectic Mediterranean

Form and Massing - Basic forms are characterized by a hierarchy of simple, strong, one and two story asymmetric volumes and living spaces organized around courtyards and patios. The overall massing emphasizes the horizontal plane.

Roof and Chimney Design - Roof design primarily includes:

- Simple, gable roofs, conical roofs on the towers, hips only when turning building corners. Rakes shall be tight.
- Roof pitches are shallow, usually 3:12 or 4:12. Valleys are minimized.
- Roofs generally have small eave overhangs (12-16 inches deep) usually formed with a plaster cornice mold with compound curves or exposed heavy timber beam ends with Spanish profile cuts particularly at porches and loggias.
- Roofs shall be 2-piece clay barrel tile or high profile concrete S-tile.

Materials and Color - Predominant materials and color are as follows:

- Smooth-finish stucco
- Subdued white in the earth tone range.
- Tile, brick, and stone accents.

Details - The details of this style add to the exotic and romantic Old World quality of the home:

- Circular towers, Juliet balconies and privacy walls.
- Decorative wrought iron grillwork and potshelves.
- Colorful painted Spanish tiles.

- Deeply recessed windows.
- Molded plaster and cut stone accents.
- Gable end vents with decorative stucco grilles, clay tile screen grills, or clay roof tile vents, detailed to appear like true gable vents.
- Wood louvered or plank shutters may be used on a few accent windows, and must include iron tourillons or shutter dogs.
- Heavy timber framing may support a small, second floor cantilever to help articulate the façade character.

Tuscan / Italian

Form and Massing - Tuscan villas are broad and solid with clean lines and a feeling of deftness and certainty, displaying a simple symmetrical elegance. Volumes are comprised of simple, one and two story rectangular forms, contributing to a hierarchy of forms around a single primary gable or hipped two-story portion.

Roof and Chimney Design

- Roof pitches are shallow, usually 3:12 or 4:12.
- Gable roofs connect to gable walls minimizing valleys.
- Eave overhangs shall be 12-30 inches deep with exposed heavy timber rafter tails, or 6-16 inches deep with simple corbelled stone or stucco cornices.
- Wall openings should be rectangular, though roman half-round arches may be used on select windows and doors.
- Flat arches may only be used at garage doors. Windows may have slightly sloping sills.
- Cast stone or stucco trim shall be rustic and simple, not overly decorative for this style.
- Door hardware on the front elevation shall
- Roofs shall be 2-piece clay barrel tile or high profile concrete S-tile.

Materials and Color - Walls are typically of stone or stucco with stone accents. The use of stone should appear structural not decorative. Roofs are barrel and/or flat pan tile. Colors range from the tans and beiges to deeper rose and ochre hues. Brick and stone are used as accents for openings, wainscots, and walls. Molded or cut stonework is often used for columns and pilasters.

Details - Distinctive elements of the Tuscan house include the following:

- Columns must be relatively massive rectangular stucco, brick or stone or circular cast-stone.
- Formal axial relationships.
- Roman arches.
- Flat pan and barrel roof tile.
- Cast stone or smooth stucco window surrounds.
- Walls and openings should give the appearance of thickened walls.

General Guidelines

Equipment Screening - Roof mounted mechanical equipment is prohibited on residential structures. Roof mounted equipment is permitted on flat roofs for residential structures if screened from view by parapet designed to be compatible with the architecture, materials and color of the building.

Lighting - The light source shall not direct light skyward, and shall be arranged to reflect light away from adjoining properties. Up-lighting in landscaping, low level walk lights and lighting diffused off wall surfaces is encouraged.

Additions - Future additions to any residence shall be consistent with the architectural theme of the building. To the extent possible, the same color scheme, roofing, and exterior finishes shall be utilized and exterior building materials shall complement the original structure. Deviations are subject to approval by the City Planning Commission.

5.3 LANDSCAPE GUIDELINES

The purpose of the landscape design guidelines is to establish standards that will contribute to the thematic development of the the Affresco community identity. Important to the development of a coordinated project image and identity are the project-wide enhancement of augmented arterials, secondary roadways, local residential streets, and entries. These elements are designed to establish levels of hierarchy that will provide a varied and high quality experience at the pedestrian and vehicular level within the project.

The development of the project identity focuses on the following areas:

- The unification of all structural elements of the plan in order to present a coordinated project image;
- Incorporation of building and plant materials that are compatible to the project area and environment in order to develop a project image that is not only unique for Affresco at Shadow Lakes, but that fits harmoniously with the surrounding environment;
- To provide enhanced entries, intersections and circulation routes; streetscapes and open space areas.
- To provide a "sense of place" for the residents.

5.3.1 Project Theme

The Affresco PMP focuses on developing images of the desert region that will complement the project site. The landscape theme seeks to develop the association by utilizing landforms, site design elements and a planting concept designed to strengthen the basic fabric and overall theme of development through the use of specific plant materials to define and reinforce street patterns, existing site conditions, and neighborhood identity.

5.4 COMMUNITY ELEMENTS

The Landscape Plan consists of community elements that form the basic structure of the plan. Individually, the elements identify specific conditions of the plan and a coordinated landscape treatment. Collectively all elements are coordinated with the selection of building and plant materials that provide reinforcement of the overall project theme. These features consist of project entries, streetscape, community walls, site furnishings, lighting and street signage.

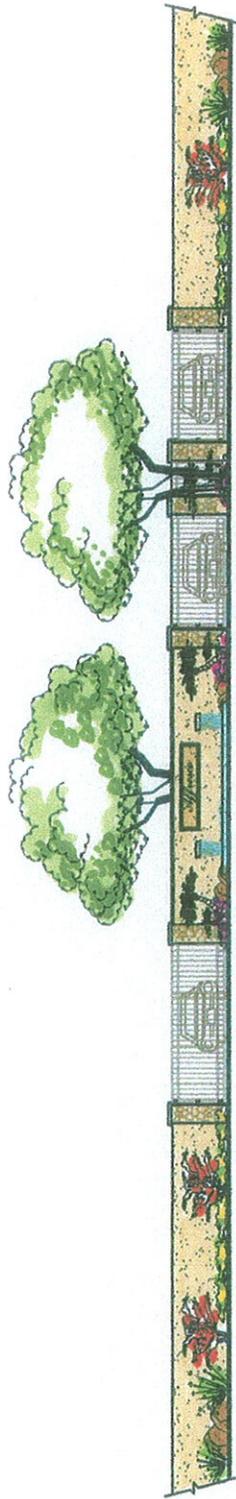
5.4.1 Project Entry Treatments

Three entries are proposed within the Affresco project. These entries are described as follows:

Jackson Street Avenue 40 Northern Entry Treatment (See Exhibit 5-1 and 5-2)

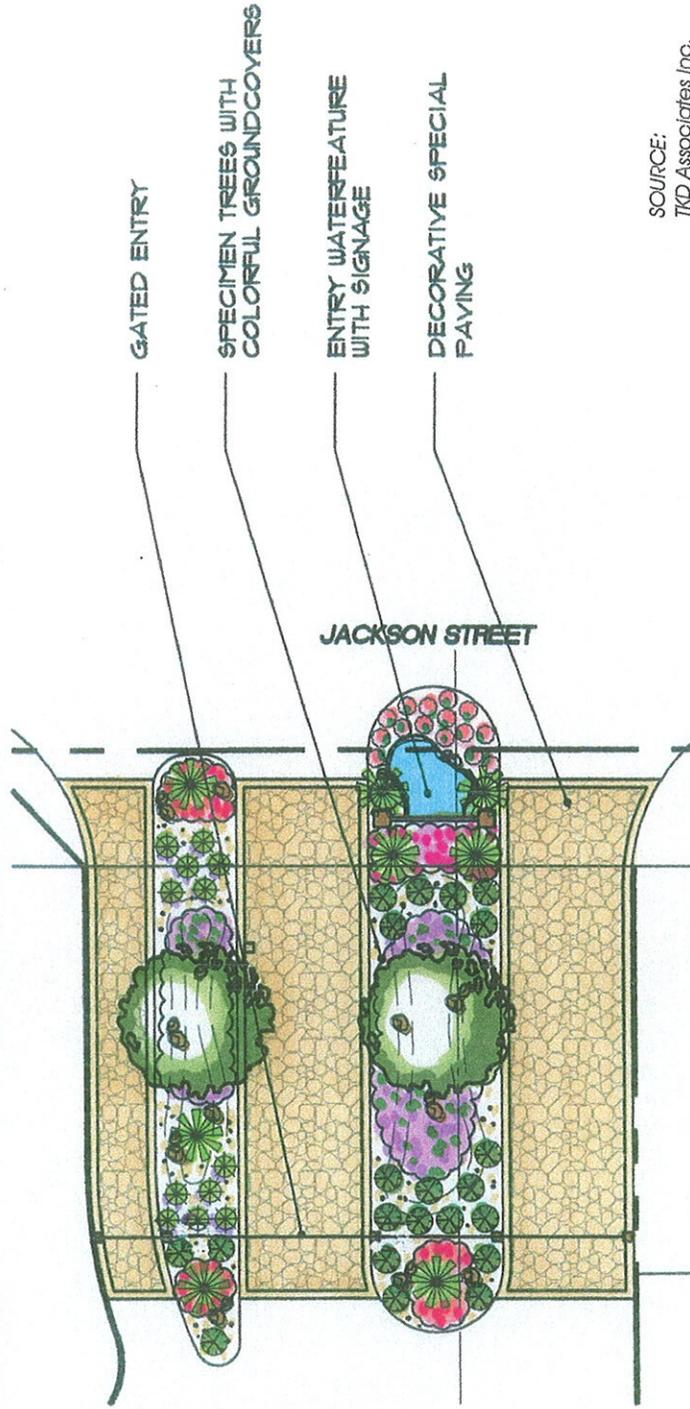
This entry will provide the initial opportunity for project identification. This entry feature will include water features, walls, signage, special paving, site furnishings and landscaping. The structure, form, and character of the entry will be established by the following design elements:

1. A formalized water feature with special wall treatments and details that may include stone, ironwork and site furnishings.
2. Canopy Trees planted to reinforce the formal structure of the entry;
3. Accent trees to provide character and interest.



ELEVATION - JACKSON STREET ENTRY TREATMENT

SCALE: N.T.S.



SOURCE:
TKD Associates Inc.



Jackson Street Entry Treatment

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE



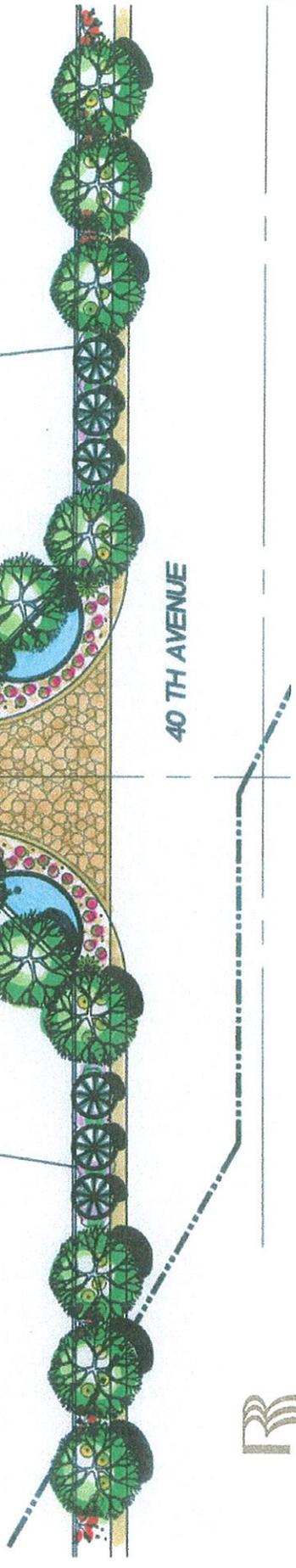
EXHIBIT 5-1

SPECIAL PAVING

ENTRY FEATURE

CANOPY TREES

40 TH AVENUE



RILINGTON
COMMUNITIES

SOURCE:
TKD Associates Inc.

Avenue 40 Northern Entry Treatment

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE



DePalatis Associates
PLANNING & ENVIRONMENTAL SERVICES

EXHIBIT 5-2

4. Desert tolerant shrubs, groundcovers, and annuals to provide color and interest. The arrangement of these materials will reinforce and enhance the Project theme.

Avenue 40 Southern Entry Treatment (See Exhibit 5-3)

This entry will provide secondary access to the project. Through the incorporation of similar design elements, landscape features and site details, the design theme will reflect a character similar to the main project entry off of Jackson Street.

5.4.2 Streetscapes

The street landscape concept is developed in response to the circulation hierarchy in and around the Affresco PMP. The concept seeks to provide a varied visual experience that reflects the project's theme character.

The major circulation routes are Avenue 40 and Jackson Street along the project perimeters. General residential interior streets and boulevards serve the project internally.

Jackson Street, Monroe Street and Avenue 40 Streetscapes (See Exhibits 5-4, 5-5 and 5-6)

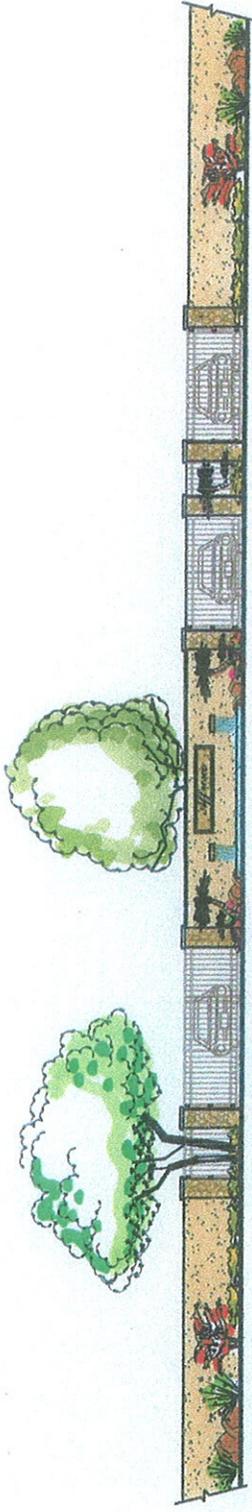
The overall landscape character of these streets is designed to be informal. However selected areas along the street frontage will incorporate formal groupings of selected trees and shrubs to begin establishing the project character. Water efficient shrubs and accent plants will be used in place of those plant materials that are typically found in more temperate climates. The wall detail may be enhanced at these key locations to reinforce the project theme. Low and medium height shrubs, planted in masses, will complement and enhance the transition between special design areas. Low level accent lights will be provided along the streetscapes where appropriate to provide direct and indirect lighting.

Avenue 40 provides only limited planting area between the wall and sidewalk. To address this condition, the landscape design for this road will include groupings of vines with alternate areas of flowering shrubs and groundcovers. Trees will be used to accentuate project entries.

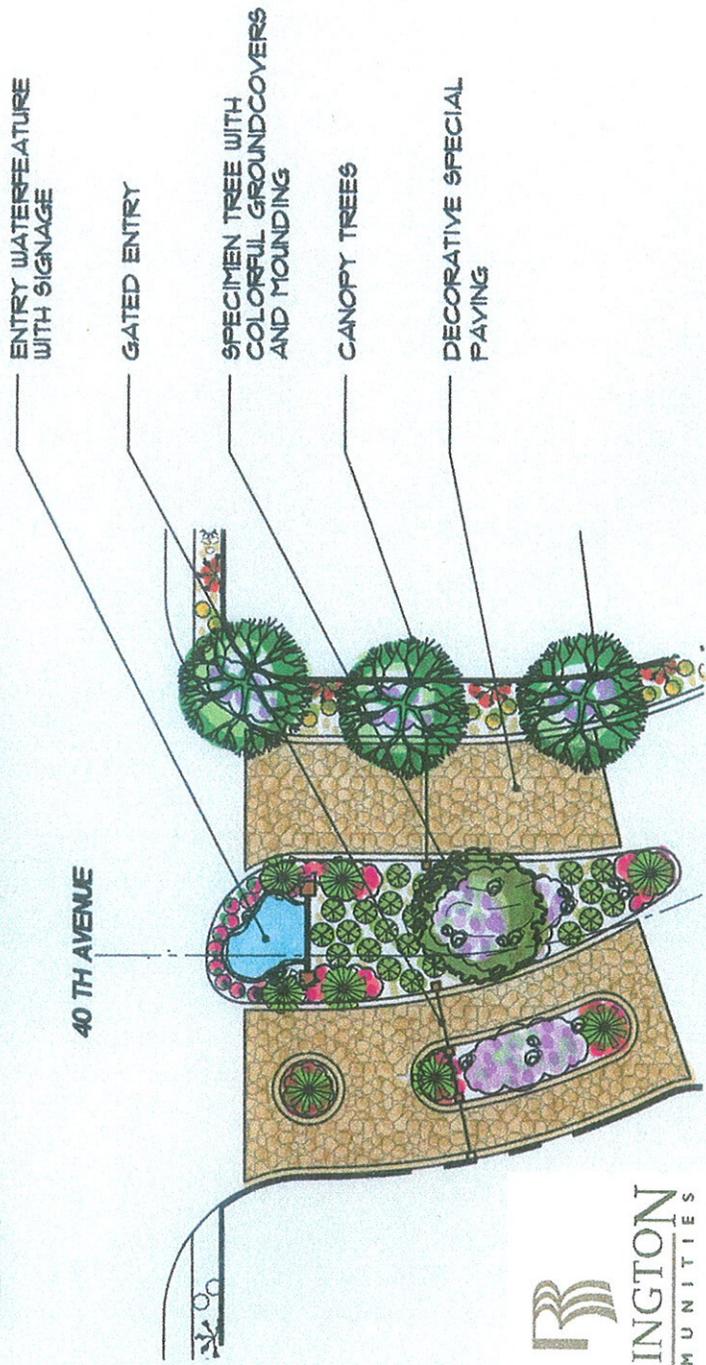
Special consideration has been given to the landscaping design along Monroe Street landscape to help attenuate noise from heavy truck usage. In particular, the wall along Monroe Street will be designed as high as possible to deflect roadway noise. A 7-foot high wall on a 3-foot berm is planned. In addition, dense groupings of trees and shrubs will be planted along the wall for maximum sound absorption. A landscaped parkway will be installed between the sidewalk and curb to provide a physical buffer from the street for pedestrians.

Local Residential Streetscapes (See Exhibit 5-7)

Within the project, a hierarchy of streets has been developed. Different varieties of street trees will be used to define the local neighborhood streets and provide shade. Water efficient landscape plant material shall be utilized along local residential streetscapes. Small turf areas that are difficult to irrigate shall be avoided.



ELEVATION - AVENUE 40 SOUTHERN ENTRY
SCALE: N.T.S.



SOURCE:
TKD Associates Inc.

Avenue 40 Southern Entry Treatment

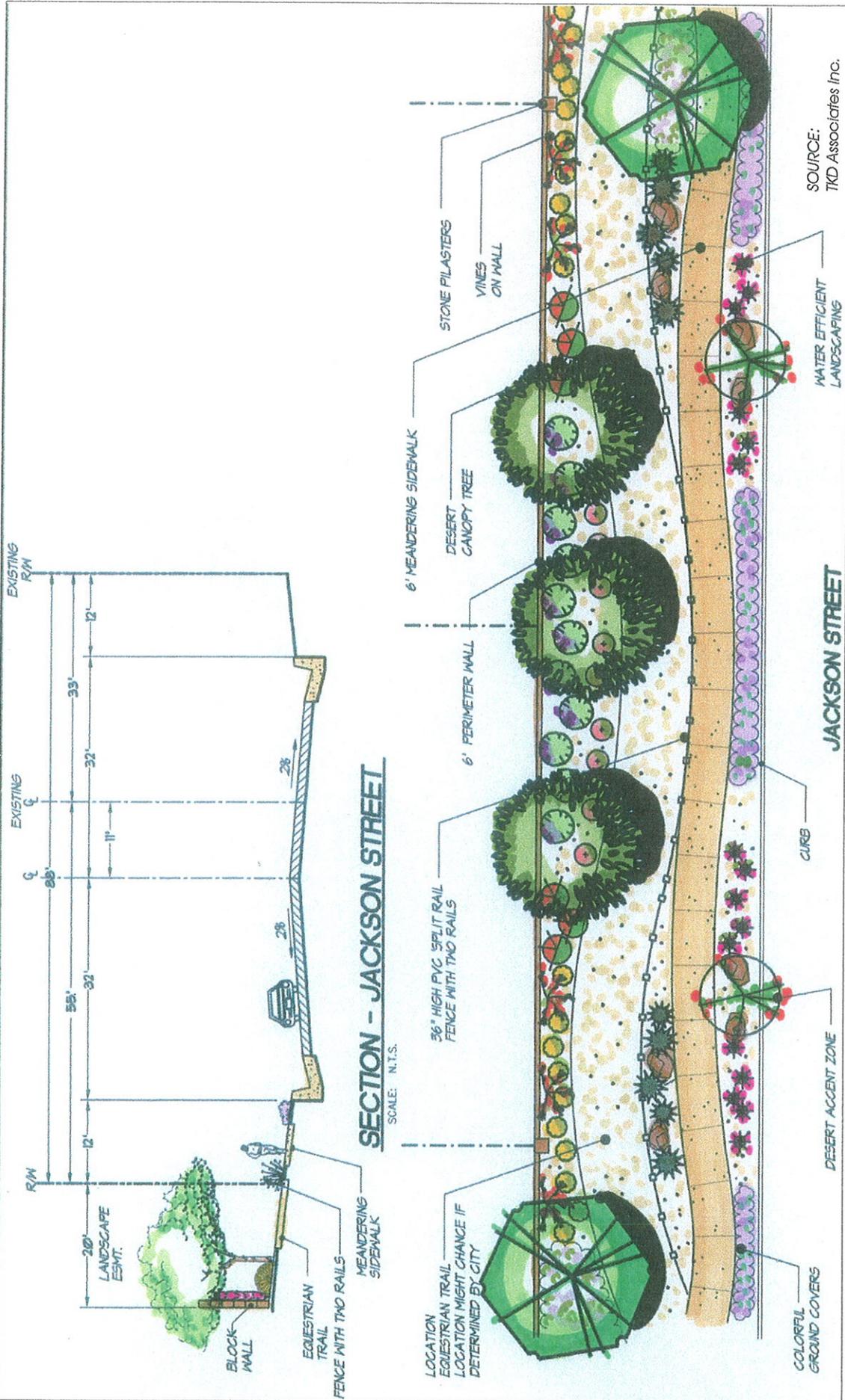
AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE



EXHIBIT 5-3



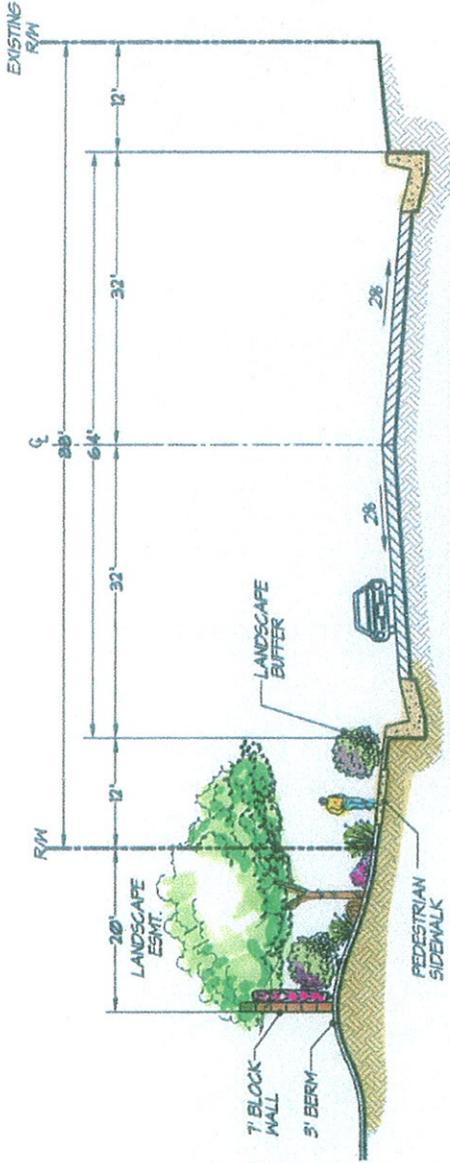
Jackson Streetscape

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



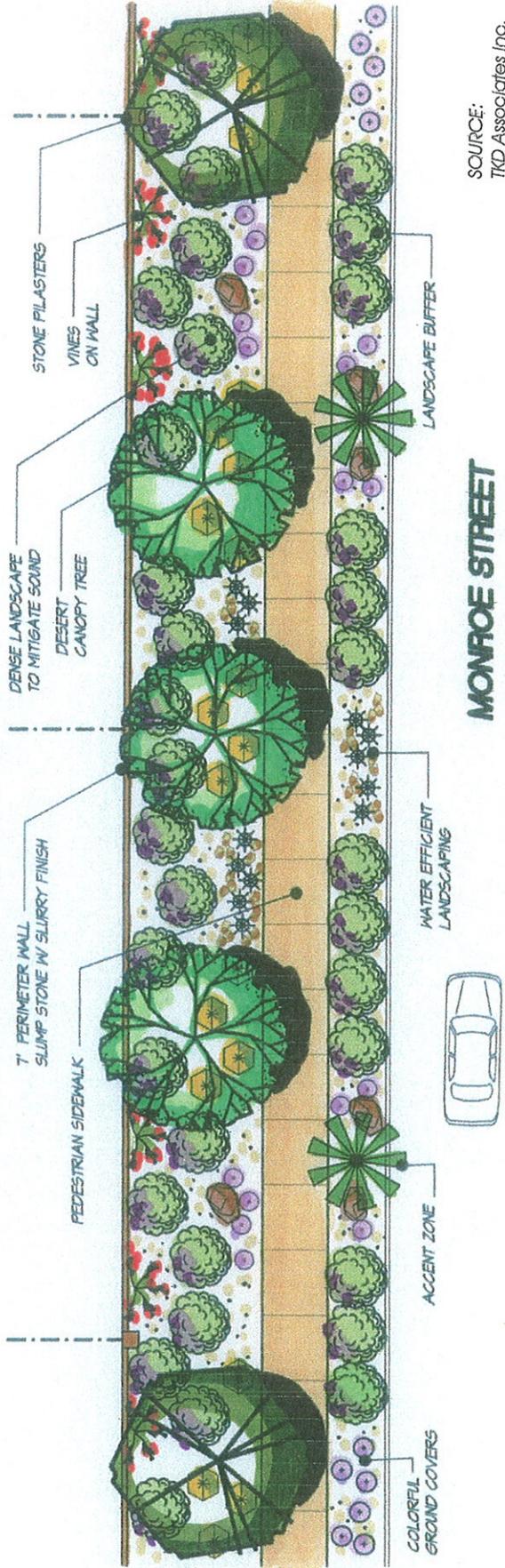
EXHIBIT 5-4





SECTION - MONROE STREETSCAPE

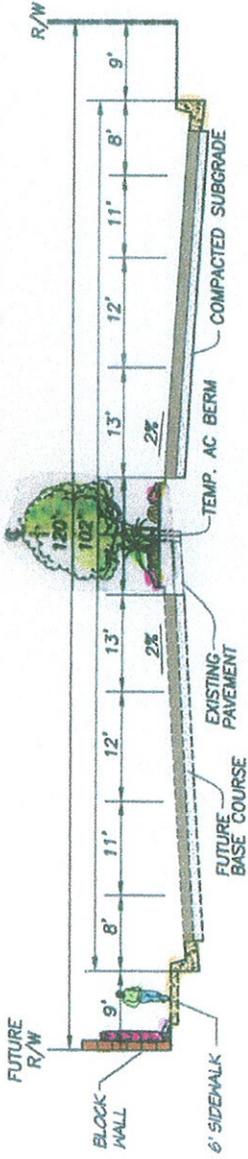
SCALE: N.T.S.



Monroe Streetscape

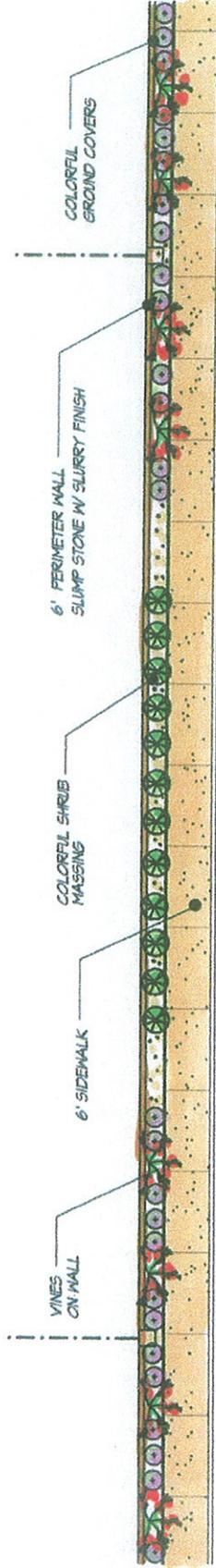
AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES





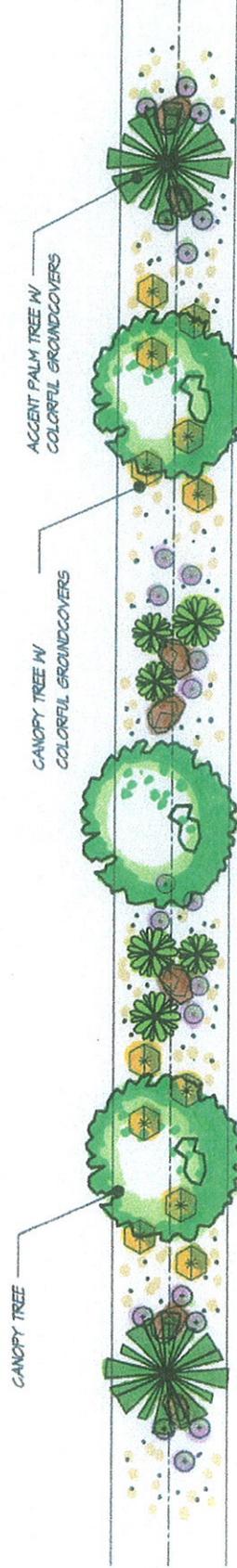
SECTION - 40 STREETSCAPE

Scale: NTS



PLAN VIEW - TYPICAL 40 STREETSCAPE

Scale: NTS



40 STREET

SOURCE:
TKD Associates Inc.

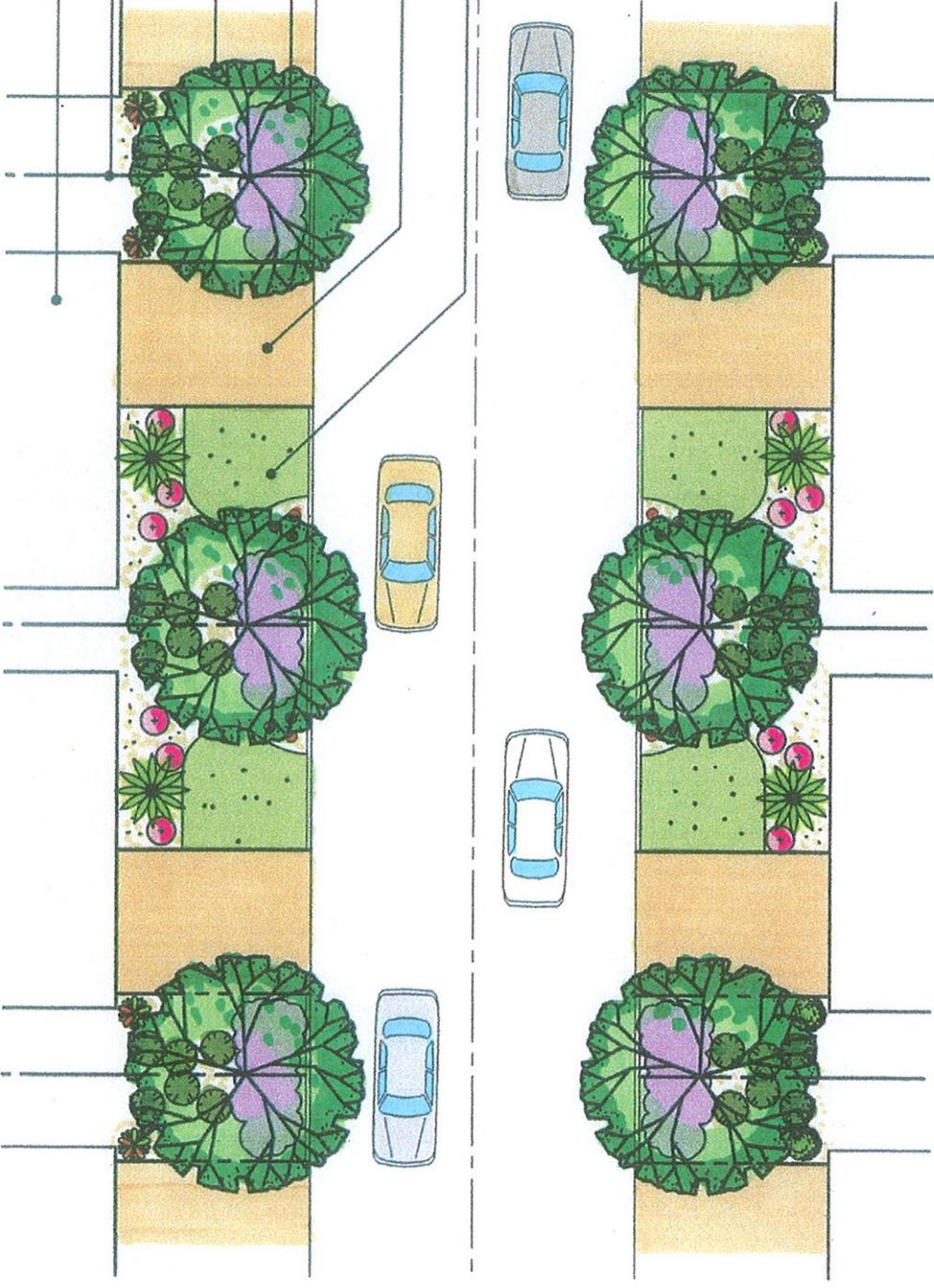
Avenue 40 Streetscape

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE

RESIDENCE
PROPERTY LINE
STREET TREES
COLORFUL
GROUNDCOVERS
DRIVEWAY
LAWN AREA



R
RILINGTON
COMMUNITIES

SOURCE:
TKD Associates Inc.

Residential Local Streetscape

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES

↑
NOT TO SCALE

db DePalatis Associates
PLANNING & ENVIRONMENTAL SERVICES

EXHIBIT 5-7

5.4.3 Walls and Fences (See Exhibits 5-8 and 5-9)

The purpose of walls and fences is to assist in the establishment of project identity and compliment the architectural character of the development. The proposed community frontage walls are designed to reduce noise and provide privacy from adjacent roadways. The wall and fence plan for the proposed project is depicted on Exhibit 5-9. Community walls will be constructed with each phase as identified in the Conceptual Phasing Plan.

Community wall elevations are shown in Exhibit 5-10. Community Frontage Walls will be constructed of slump stone with a slurry finish and stone pilasters spaced no more than 150 feet apart. An accent color will be selected for the pilasters. Community Block Walls will be slump stone with a slurry finish and graffiti resistant painted surface. View Fences will be wrought iron with pilasters. Walls shall not exceed six (6) feet in height. Chain link fence, wood-only fence and barbed wire fence are prohibited.

Community Frontage Walls, Block Walls and View Fences are to be built as each area of the project is developed. All walls on individual lots shall complement the project architecture.

5.4.4 Linear, Pocket and Community Parks (See Exhibits 5-10, 5-11, and 5-12)

Linear open space areas have been developed to provide pedestrian access to community open space features such as pocket parks and larger neighborhood parks. The linear open space areas will have a meandering 6' sidewalk, benches and enhanced landscaping.

Pocket parks located through-out the development will be used for passive recreation only. Amenities will include shade trees, benches, shade trellis, open lawn areas and may also include a tot-lot.

Community parks are larger in size and will also provide areas for passive recreation. These open space areas will have open lawn areas, walking paths, shade trees and benches. In some instances picnic tables or a shade structure such as a gazebo may be provided.

5.4.5 Monuments, Signs and Lighting (See Exhibits 5-13, 5-14 and 5-15)

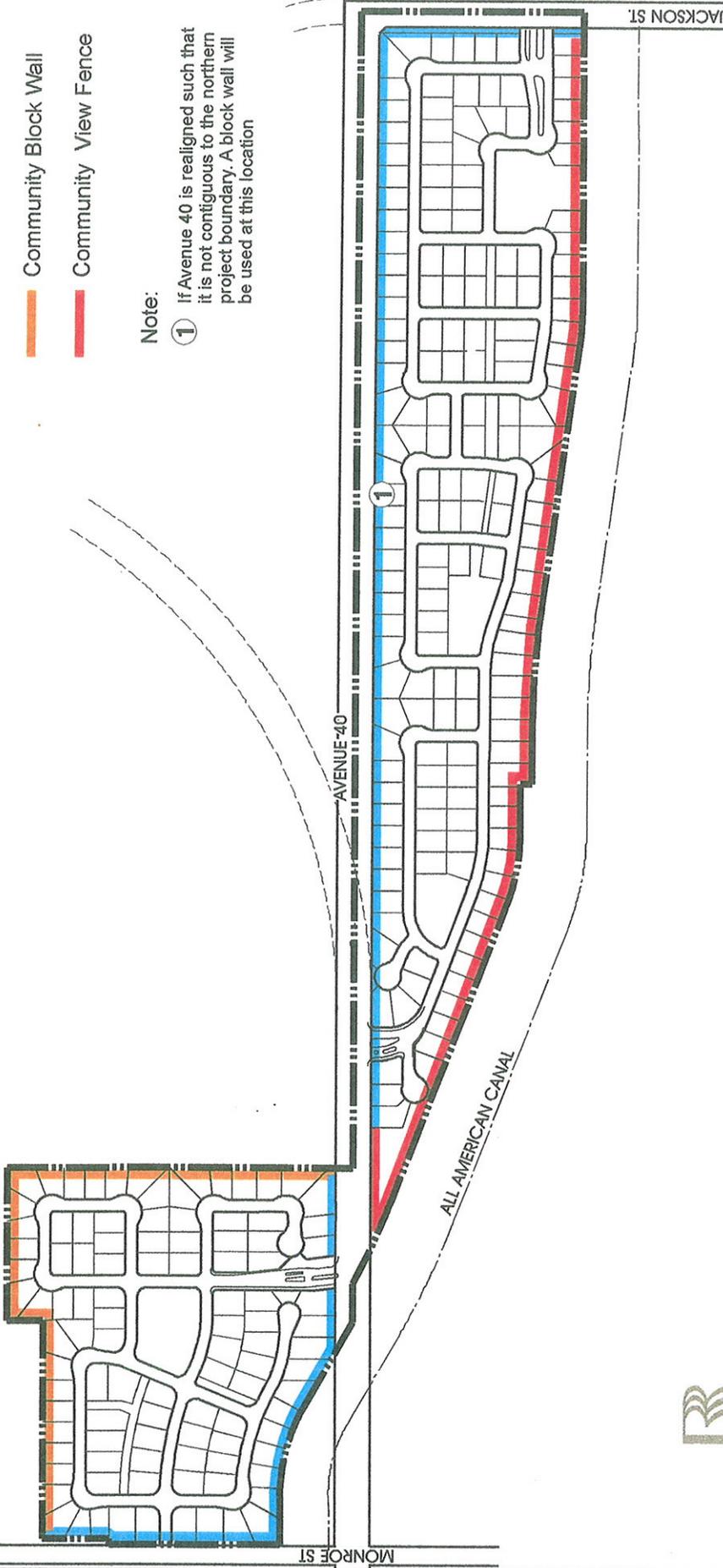
The project will have comprehensive signage and lighting program that will further reinforce the project theme. Monument signs identifying the project entry or other significant project features will be part of a cohesive signage program. Monuments will be constructed of quality materials such as masonry or stone with stucco or tile portions with channel letters. Monument signs will have indirect or backlit lighting. Street signs will include special lettering, ornamentation and decorative poles.

In keeping with the City's "dark sky" policy, street lights are not required but may be provided at limited locations within the community. A hierarchy of lighting will be developed that will be aesthetically pleasing while also providing necessary safety and security for residents. Decorative street lights that reflect the project theme may be used selectively at intersections and public areas. Fixtures that cast the light downward will be used to help preserve the "dark sky". Low-level bollard or pathway lighting may be used along pedestrian walks and on individual lots. Landscape lighting shall be low level and shielded

- Legend**
- █ Community Frontage Wall
 - █ Community Block Wall
 - █ Community View Fence

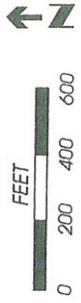
Note:

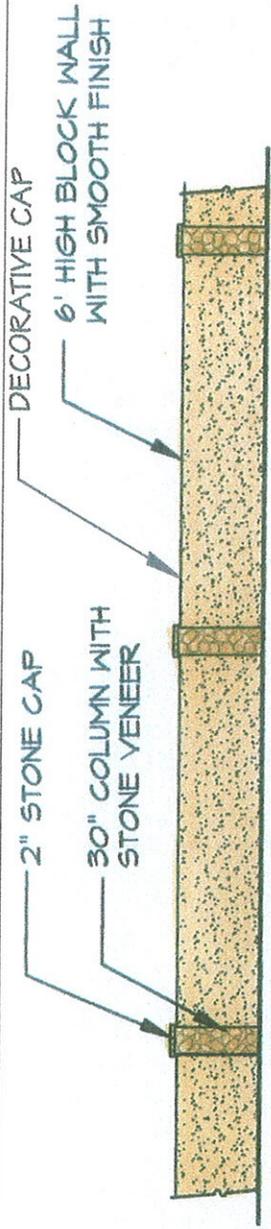
- ① If Avenue 40 is realigned such that it is not contiguous to the northern project boundary. A block wall will be used at this location



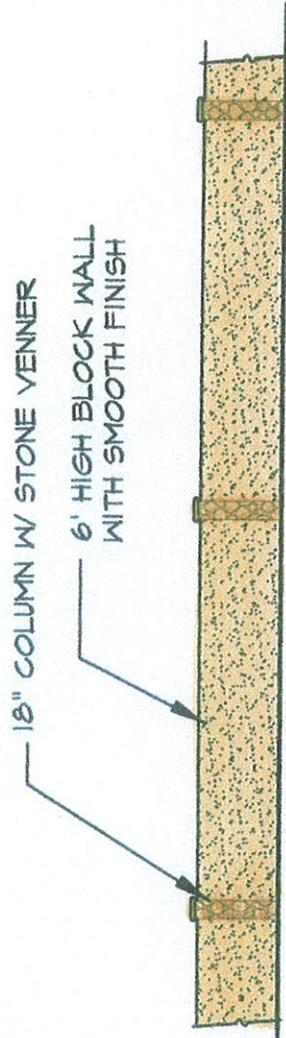
Conceptual Wall / Fence Plan

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES

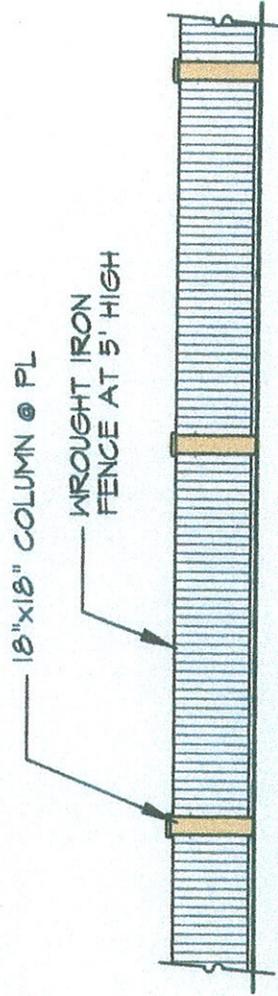




COMMUNITY FRONTAGE WALL



COMMUNITY BLOCK WALL



COMMUNITY VIEW FENCE



SOURCE:
TKD Associates Inc.

Wall and Fence Elevations

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE

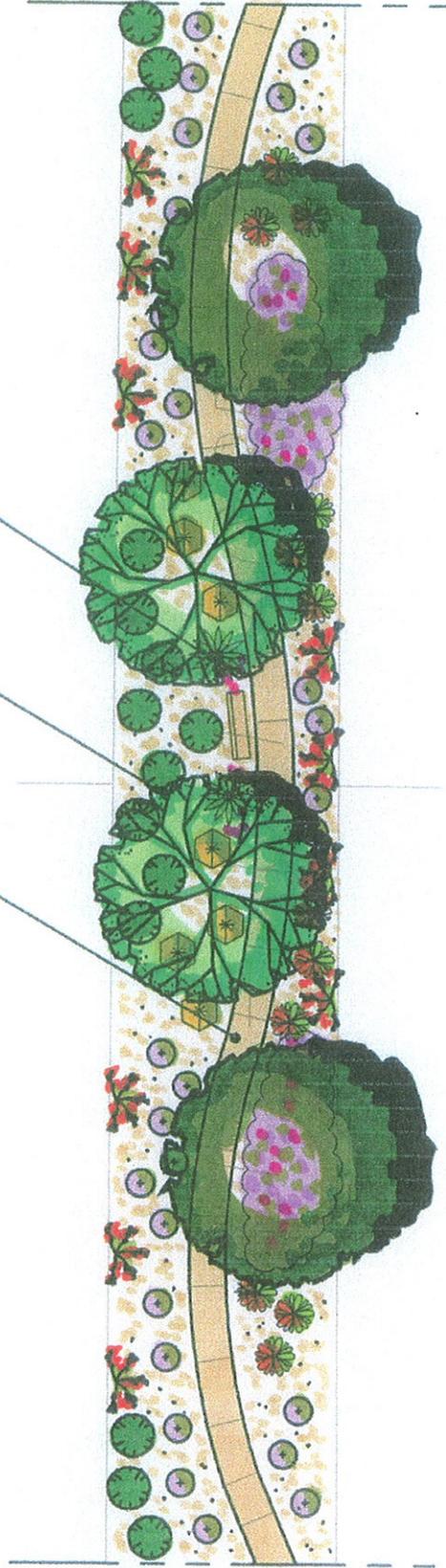


EXHIBIT 5-9

PEDESTRIAN
SIDEWALK

SHADE
CANOPY TREES

ACCENT PALMS AND
COLORFUL
GROUND COVERS



RILINGTON
COMMUNITIES

SOURCE:
TKD Associates Inc.

Linear Park Concept

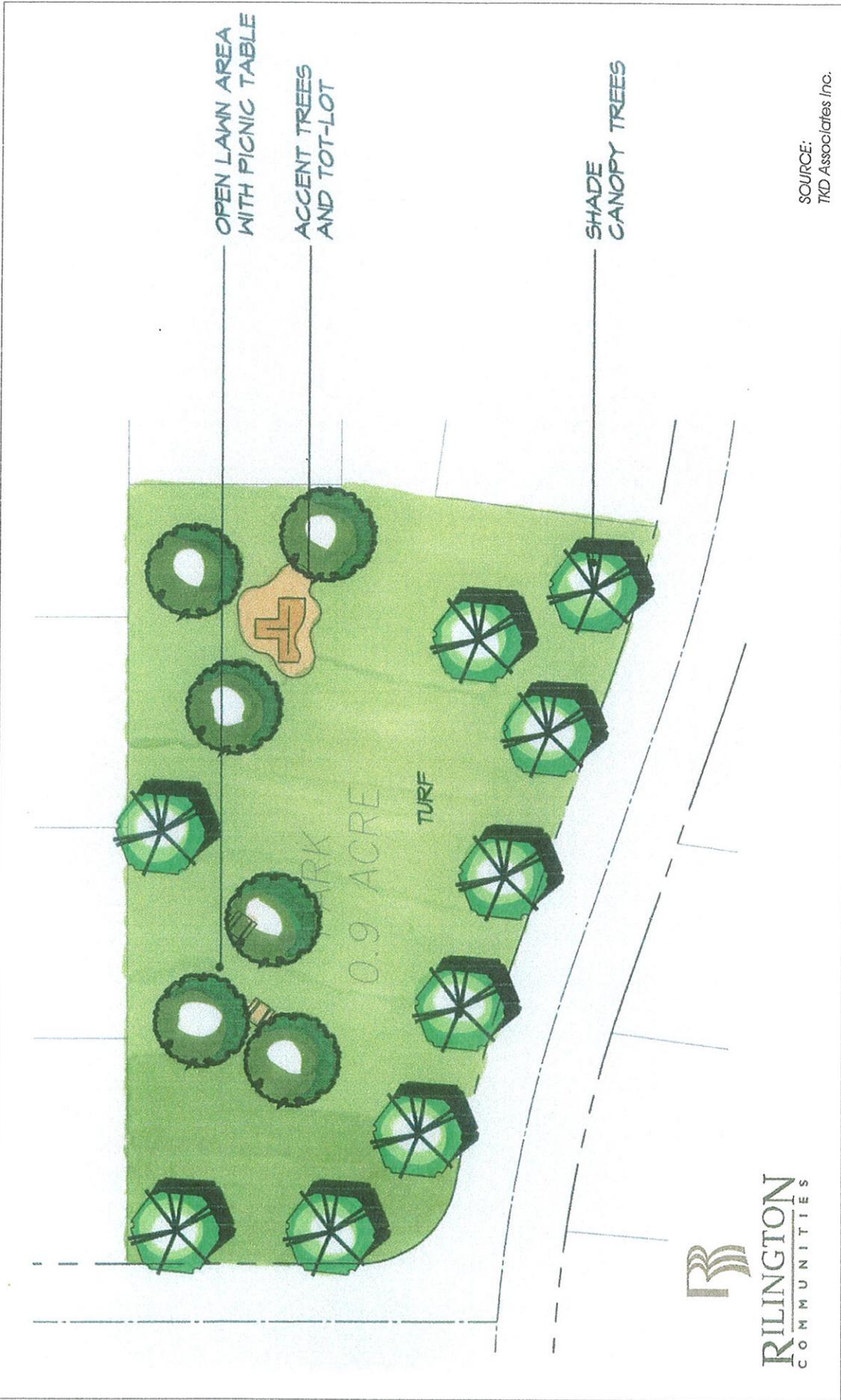
AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE



EXHIBIT 5-10



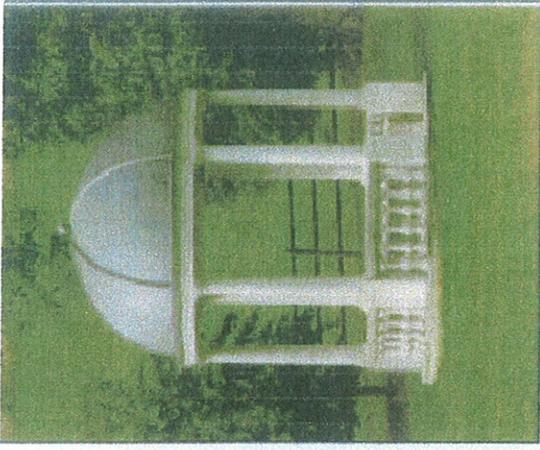
NOT TO SCALE

EXHIBIT 5-11

Pocket Park Concept

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES





GAZEBO

RETENTION AREA W/ LAWN
ACCENT CANOPY TREES

SHADE CANOPY TREES
WALK WITH SCORELINES
AND BENCHES



RILINGTON
COMMUNITIES

SOURCE:
TKD Associates Inc.

Community Park Concept
AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE

db DePalatis Associates
PLANNING & ENVIRONMENTAL SERVICES

EXHIBIT 5-12



SOURCE:
TKD Associates Inc.

Monument Signs

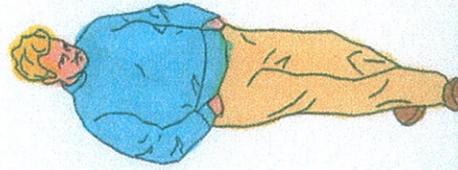
AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES

db DePalatis Associates
PLANNING & ENVIRONMENTAL SERVICES



NOT TO SCALE

EXHIBIT 5-13



R
RILINGTON
COMMUNITIES

SOURCE:
TKD Associates Inc.

Street Signage

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE

EXHIBIT 5-14



SOURCE:
TKD Associates Inc.

Street Lights

AFFRESCO AT SHADOW HILLS BY RILINGTON COMMUNITIES



NOT TO SCALE

to prevent glare. Street lighting will be provided on adjacent public roads in compliance with City standards.

5.5 LANDSCAPE PLAN PREPARATION

Landscape and irrigation plans for common landscape lots, streetscapes, entry treatments and parks/retention basins shall be prepared by a licensed landscape architect. Landscape and irrigation plans shall be approved by the Development Services Department. The applicant shall submit landscape and irrigation construction plans to the Public Works Department for review and approval. The plans are not approved for construction until they have been approved and signed by City staff and the Riverside County Agricultural Commissioner. Landscape areas shall have permanent irrigation improvements meeting the requirements of the City Director of Public Works. The developer shall ensure that landscaping plans and utility plans are coordinated to provide visual screening of above-ground utility structures.

5.6 PLANT PALETTE

Table 5-1 provides a general plant palette for the Affresco project. The goal for the landscaping within the project site is to provide the look of quality while providing a water efficient design. All plant materials should be selected for both their drought tolerance and their aesthetic qualities. Landscaping should blend use of water efficient and lush appearing materials for maximum visual impact with minimum water usage. The design of all irrigation systems shall maximize water efficiency, drip irrigation shall be used for groundcovers, shrubs and trees not in located in turf areas. Deep watering system shall be used on all trees to keep root systems away from structures and hardscape. The design of the irrigation system shall minimize unnecessary overspray and runoff, and to develop strong plants capable of withstanding the wind.

| TABLE 5-1 | |
|---|------------------------|
| RECOMMENDED PLANT MATERIAL PALETTE | |
| Botanical Name | Common Name |
| PALMS | |
| Butia Capitata | Pindo Palm |
| Chamaerops humillis | Mediterranean fan palm |
| Phoenix dactylifera | Date Palm |
| Phoenix roebelenii | Pigmy Date Palm |
| Washingtonia Filfera | California fan palm |
| Washingtonia robusta | Mexican fan palm |

| | |
|---|---------------------------|
| TREES | |
| Citrus | Citrus sp. |
| Eucalyptus papuana | Ghost gum |
| Fraxinus udei 'Majestic Beauty' | Evergreen ash |
| Olea europea | Olive |
| Quercus virginiana | Southern live oak |
| Schinus molle | California pepper tree |
| Schinus terebinthefolius | Brazilian Pepper Tree |
| Tipuana Tipu | Tipu tree |
| Ulmus Parvifolia | Evergreen elm |
| SHRUBS | |
| Asparagus densiflorus sprengeri 'Myers' | Myers Asparagus |
| Bougainvillea 'La Jolla' | Bougainvillea |
| Bougainvillea sp. | Bougainvillea |
| Buxus microphylla japonica | Japanese boxwood |
| Carissa g. 'Boxwood Beauty' | Boxwood Beauty Natal Plum |
| Gardenia jasminoides 'Veitchii' | Veitchii Gardenia |
| Hemerocallis hybrid | Day Lily |
| Hibiscus rose-sinensis | Hibiscus (red) |
| Lantana montevidensis 'New Gold' | Yellow Trailing Lantana |
| Lantana montevidensis 'Purple' | Purple Spreading Lantana |
| Ligustrum japonicum texanum | Waxleaf Privet |
| Morea bicolor | Fortnight Lily |
| Nandina domestica 'compacta' | Compact Heavenly Bamboo |
| Nerium oleander 'Petite Pink' | Dwarf oleander |
| Photinia fraseri | Fraser Photinia |
| Pittosporum tobira 'veriegata' | Variegated Mock Orange |
| Pittosporum tobira 'wheeleri' | India Hawthorn |
| Rhapholepis indica 'ballerina' | India Hawthorn |
| Rhaphiolepis indica 'springtime' | India Hawthorn |

| | |
|-------------------------------|--------------------|
| Strelitzia reginae | Bird of Paradise |
| Thevetia peruviana | Yellow oleander |
| Tecoma stans v. angusta | Yellow bells |
| Trachelospermum jasminoides | Star Jasmine |
| VINES AND GROUNDCOVER | |
| Bougainvillea 'Barbara Karst' | Bougainvillea |
| Calliandra inaequilatera | Pink Powder Puff |
| Lantana 'New Gold' | 'New Gold' lantana |
| Lantana montevidensis | Purple lantana |
| 2'-4' dia. Cresta Boulders | |
| Sod | |
| Hybrid Bermuda | |

6.0 IMPLEMENTATION PROGRAM

6.1 PURPOSE

An Implementation Program is hereby established to meet the goals of the project. The program contains a number of legal, procedural and administrative elements. The purpose of this section is to familiarize the City agencies and decision-makers as well as interested citizens with the applicant's goals and intentions for the project. The requirements and procedures for meeting the Implementation Program goals will be processed concurrently. Upon adoption of the Project Master Plan (PMP) and Mitigated Negative Declaration (MND), the Implementation Program will summarize the requirements listed in this section for development occurring within the Affresco project.

6.2 IMPLEMENTATION COMPONENTS

According to Government Code 65451 of the California Planning Law, Project Master Plans shall include a program for implementation including regulations, conditions, programs and additional measures as necessary to carry out the plan. In response to this requirement, the Implementation Program for the Affresco PMP includes the following:

- Adoption and Administration of the Project Master Plan
- Adoption of the Mitigated Negative Declaration & Mitigation Monitoring Program
- Review and Approval of Grading and Improvement Plans
- Identification of Financing Mechanisms
- Establishment of Maintenance Entities

6.2.1 Adoption and Administration of Project Master Plan

The Affresco PMP will be adopted by ordinance of the Indio City Council. Adoption of the PMP defines land use and development standards for the project area which shall supersede current zoning regulations.

Specific land use regulations are designed to be implemented in conjunction with the City of Indio Zoning Ordinance. In the event regulations and standards are not specified within the PMP document, the provisions of the City of Indio shall be used to regulate that specific aspect of development. In instances where the zoning code and PMP differ, the PMP shall govern. The City shall enforce the provisions of the Affresco Project Master Plan, and City Zoning and Subdivision Codes for all development within the PMP.

6.2.2 Environmental Review and Monitoring Program

A Mitigated Negative Declaration (MND) is being prepared for the proposed project according to CEQA requirements. The MND will address the potential environmental effects of the proposed project, as well as measures to effectively mitigate significant impacts. As the lead agency under CEQA, the City will review the EA and certify it as adequate before

approval of the PMP by the City Council. A Mitigation Monitoring and Reporting Program (MMRP) shall be prepared and implemented by the City to ensure the application of all project mitigations.

6.2.3 Improvement Plans

Engineered improvement plans will be submitted to the City of Indio and other responsible agencies for review and approval. Improvement plans typically include grading, street, water, sewer, and drainage plans among others as required by the City. The review of improvement plans is a standard City protocol and ensures that projects are engineered in accordance with the public health, safety and welfare.

6.2.4 Financing Mechanisms

The major infrastructure and facilities within the PMP and off site areas will be financed through appropriate funding mechanisms acceptable to the City of Indio, which may include private and/or developer financing; community facilities district(s); the formation of one or more assessment district(s); the application of funds from City, County, State and other agency programs; and/or other financing mechanism accepted by the City.

6.2.5 Maintenance Entities

Formation and successful operation of a Homeowners' Associations is an important factor in the long-term quality of Affresco. It is anticipated that ongoing maintenance of private streets and common areas internal to the project will be the responsibility of a Homeowners' Association (HOA). The Homeowners' Association will also have responsibility for maintenance of landscaping related to public perimeter streets.

Homeowners' Association

A permanent private homeowners' association shall be formed to take ownership and maintenance responsibility for common areas identified in the PMP. These include common recreation, park, retention, pathway, open space, circulation, lighting and landscape components of the project. The HOA will also be responsible for maintaining landscaped parkways and medians related to adjacent portions of Monroe Street, Jackson Street and Avenue 40. Conditions, Covenants and Restrictions (CC&Rs) governing HOA responsibilities and operations shall be provided to the City for review and approval.

Project Roadways

All public roadways and private streets shall be designed and constructed according to standards acceptable to the City of Indio. All public roadways will be offered for dedication to the City of Indio for ongoing ownership, operation and maintenance. All private streets shall be owned, operated and maintained by the project Homeowners' Association.

6.3 DESIGN REVIEW

All one and two story residential development along with typical front yard landscaping shall be subject to design review in accordance with the City of Indio Municipal Code, Title XV, Chapter 159.720 as modified below.

The following information shall be included with each application:

- Name and address of applicant or authorized agent
- Address and legal description of property
- Plot plans and elevations, fully dimensioned, indicating the type and location of all buildings and structures, parking and landscape areas, and signs. Elevations shall be of sufficient detail to indicate the type and color of materials to be employed and methods of illumination for signs. Screening, landscape and irrigation plans shall be included.
- The Director of Community Development Services may require additional plans and/or information, if they are deemed necessary to determine if the application should be granted or denied.

6.4 ADMINISTRATIVE DESIGN REVIEW

All common area and parkway landscaping shall be subject to administrative design review by the Director of Community Development Services in accordance with the City of Indio Municipal Code, Title XV, Chapter 159.720.

A signage program shall be developed for the PMP area that addresses project identification, street identification, neighborhood identification, entry directories and building address signage. This program shall be submitted for review and approval by the Director of Community Development Services in accordance with the provisions of the City of Indio Sign Ordinance, Title XV, Chapter 150 and the development guidelines provided in Chapter 5.0 of the Affresco PMP.