

Fred Young Specific Plan

Adopted December 15, 2010

Ordinance No. 1584
Ordinance No. 1585
Resolution No. 9445
Resolution No. 9446
Resolution No. 9447
Resolution No. 9448

Prepared for:



**COACHELLA VALLEY
HOUSING COALITION**

Building Community Since 1982

45-701 Monroe Street, Plaza 1 Suite G
Indio, CA 92201
760-347-3157

Prepared By:

MSA CONSULTING, INC.
34200 Bob Hope Drive
Rancho Mirage, CA 92270
(760) 320-9811

The City of Indio, California



Fred Young Specific Plan

City of Indio
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Fred Young Specific Plan

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I. INTRODUCTION

Intent and Purpose of Specific Plan

The proposed Specific Plan for the Fred Young is designed to establish a master plan for a 60 acre site located at the southwest corner of Van Buren Street and Dr. Carreon Boulevard in the City of Indio. The majority of the site has a General Plan designation of Residential High (RH) with an allowable density range of 10-20 dwelling units per acre. The Zoning designation is also Residential High. A small portion of the site (1.79 acres) has a General Plan designation of Business Park; a General Plan Amendment application is being filed concurrently with the Specific Plan.

The proposed project will be a housing development that will provide units to very low, low and moderate income level individuals and families. The allowable types of units include multi-family units, townhomes, attached and detached single family units. The units will be built in a series of phases, the overall project build out is anticipated to take 15 years. The exact number of units to be constructed in each phase will be determined upon the funding conditions available at the time. All necessary right-of-way dedications will be completed with the recordation of a parcel map. The development of the street improvements to Dr. Carreon Boulevard and Van Buren Street, if required, will occur at the same time as the construction of the residential units facing those streets.

Special studies were performed to assess the project impacts, including a traffic analysis, noise and air quality analysis, on-site hydrology, geotechnical, Phase 2 Environmental Site Assessment, archaeological, paleontological and historical analyses.

History of the Fred Young Farm Camp

The Fred Young Farm Labor Camp was constructed in two phases, beginning around 1966, in response to mounting pressure to alleviate the substandard living conditions of migrant workers and their families. Securing federal money for new construction at what was formerly known as Indio Camp became tangled in legalities over property ownership, but in the spring of 1966, \$529,000 had been approved for 80 permanent units along Van Buren Street (Bernstein 1965, Los Angeles Times, 1966). It was one of several government-subsidized farm labor housing projects built in the state around the time, but the only one located in Southern California (Hillenger 1966).

The existing buildings were designed by well-known Riverside architect Herman O. Ruhnau (1912-2007), and built by Corona contractor Woody Stewart (Los Angeles Times 1966). The compound was named in honor of the longtime manager of Indio Camp, Fred Young, whose widow Grace became a longtime manager of the new units (ibid). Even as the new construction was underway, a second federal housing loan of \$650,000 for an additional 83 units was under negotiation, and evidently resulted in the buildings situated in the southwestern portion of the project area, on the north side of Avenue 48 (ibid). Meanwhile a federal-state joint effort on the property culminated in a temporary housing project that included 100 portable units and two utility buildings for adult education and child care services (Los Angeles Times 1965).

Today, the buildings of the Fred Young Farm Labor Center remain relatively intact, fully occupied and, as of June 2009, home to some 800 residents (Tan 2009). The compound was retrofitted with a solar hot water system in 1980, but has not undergone other major renovations since (Bainbridge 1981:41; Lim 2009). Exhibits 4A - 4F.

The Coachella Valley Housing Coalition (CVHC) took ownership in March 2007, and has worked to improve the condition of the residents of the community. CVHC has performed over \$500,000 in capital improvements to the existing units. CVHC has restored heat and air conditioning to 100 units that were previously without. They have replaced or repaired 167 heaters and replaced roofs on 80% of the site in addition to other quality of life activities. With the help of the Indio Police Department they have created a site where community meetings, vaccination clinics, diabetes awareness programs and mentoring programs can take place without the fear of violence being present.

The heritage of the Mexican farm workers continues to be represented in the center's population, just as it is reflected regionally in the Coachella valley's racial, social and economic compositions.

Legal Authority and Severability

California Government Code states that following the adoption of a General Plan a City planning agency or property owner may prepare a Specific Plan to help implement the General Plan for a portion of the area covered by the General Plan. Hence, the Fred Young Specific Plan will serve as the development plan for the site and has been prepared pursuant to the provisions of Title 7, Division 1, Chapter 3, Article 8, and Section 65450 through 65457 of the State of California Government Code.

California law permits cities to adopt Specific Plans either by resolution as policy guidelines or by ordinance as a regulatory document functioning as a zoning ordinance for the planning area. It is proposed that the Fred Young Specific Plan be adopted by ordinance thereby serving as the zoning document for the property. An analysis of the consistency of this Specific Plan with the General Plan has been provided.

In the event that any regulation, condition, program, standard or portion of this Specific Plan is held invalid or unconstitutional by California or Federal Court of competent jurisdiction, such portions shall be deemed separate, distinct and independent provisions and the invalidity of such provisions shall not affect the validity of the remaining provisions thereof.



EXHIBIT 1

Coachella Valley Vicinity Map

Fred Young Specific Plan



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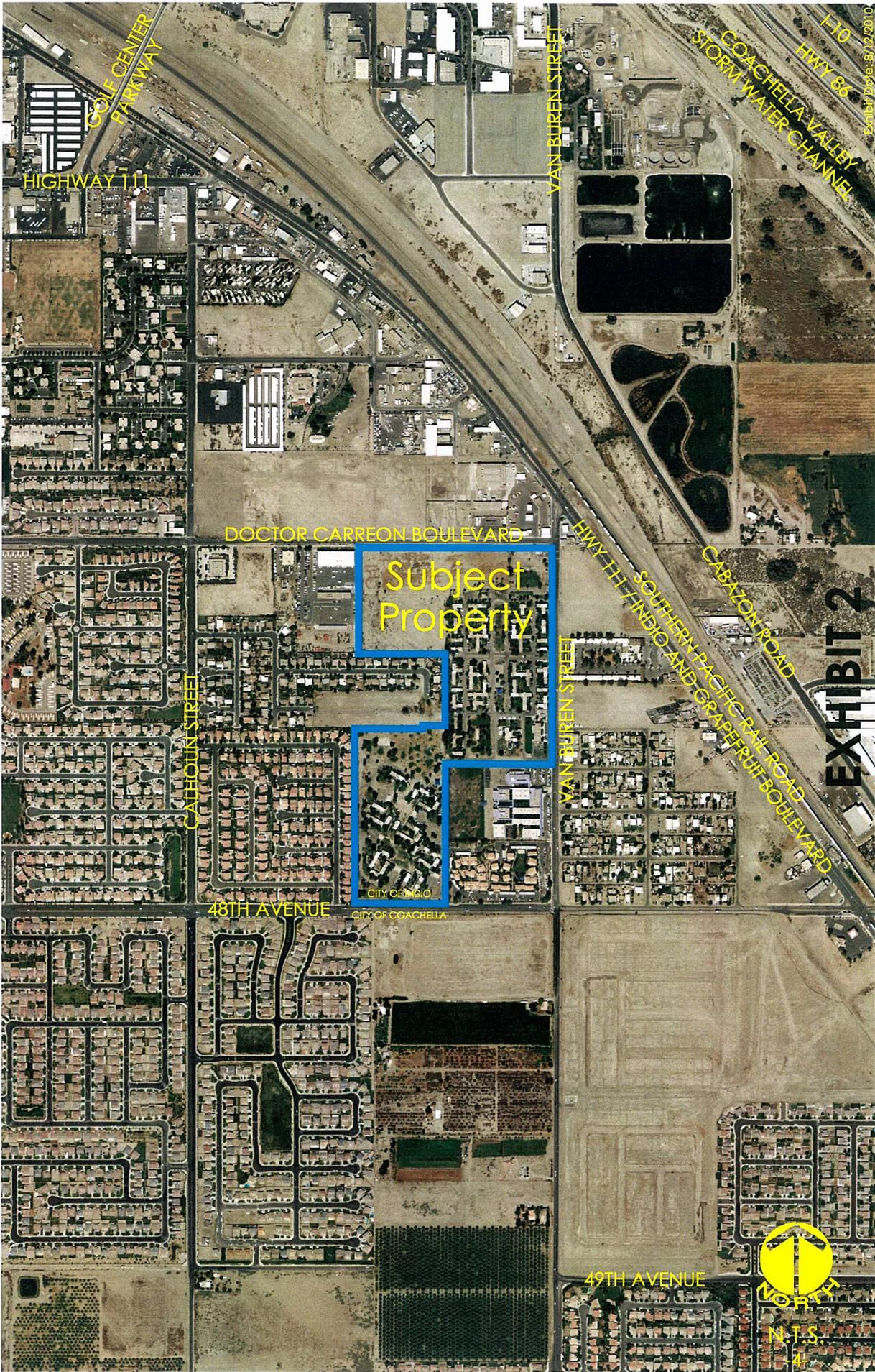


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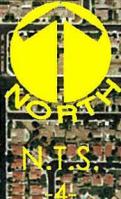
Subject Property

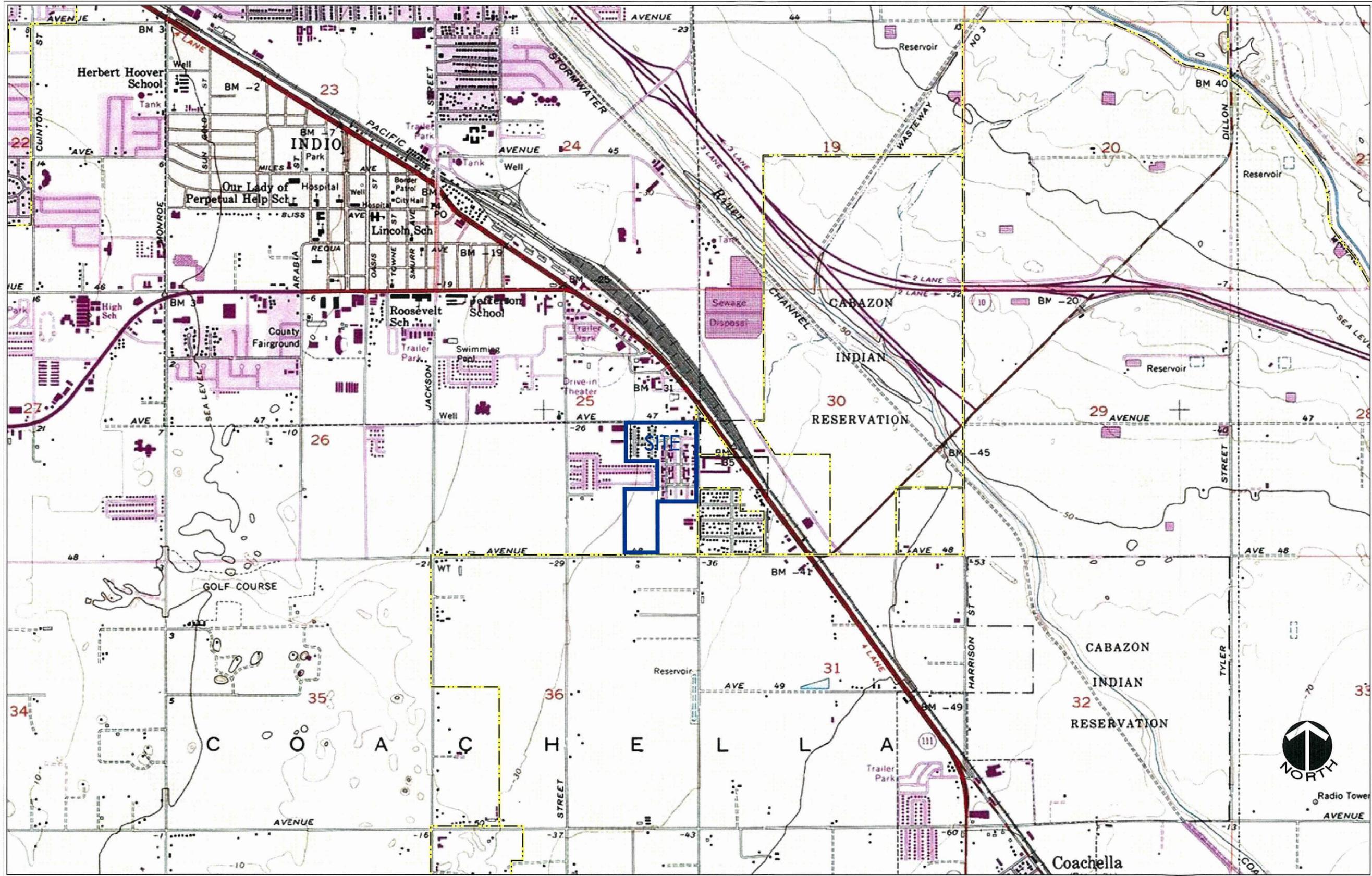
EXHIBIT 2

Aerial Photograph

Fred Young Specific Plan

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EXHIBIT 3

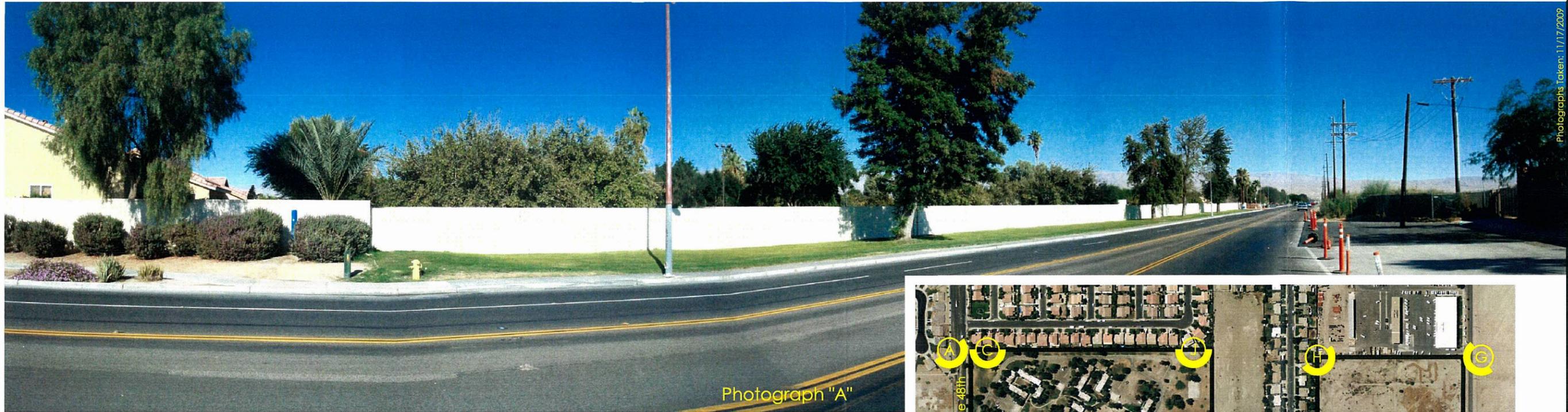
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United States Geological Survey Exhibit
Fred Young Specific Plan

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Photograph "A"



Photograph "B"



Photograph Index Map

EXHIBIT 4A

Photographs Taken: 11/17/2009

Existing Site Photographs - Exhibit 1 of 6
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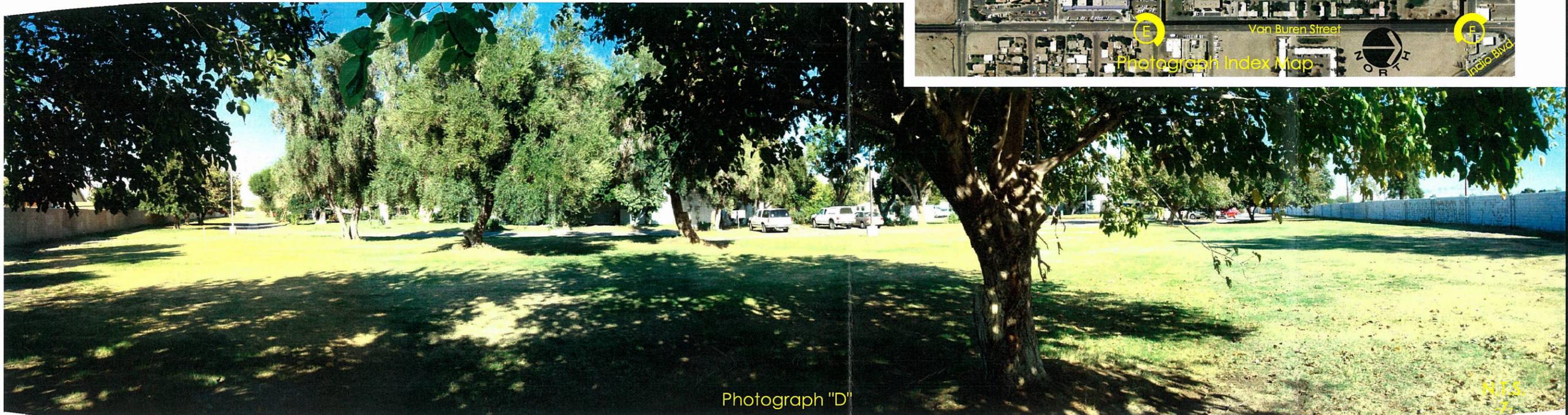


Photograph "C"



Photograph Index Map

EXHIBIT 4B



Photograph "D"

Photographs Taken: 11/17/2009

Existing Site Photographs - Exhibit 2 of 6
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Photograph "E"

Photographs Taken: 11/17/2009



Photograph Index Map

Subject Property

EXHIBIT 4C



Photograph "F"

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8

Existing Site Photographs - Exhibit 3 of 6
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Photograph "G"

Photographs Taken: 1/17/2009



Photograph Index Map

EXHIBIT 4D



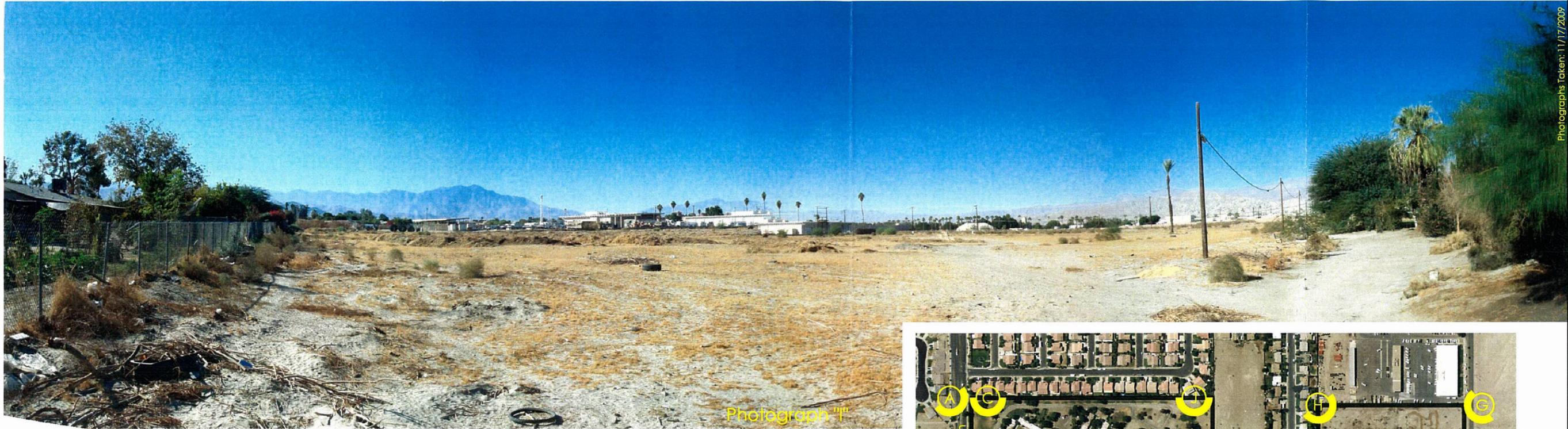
Photograph "B"

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Existing Site Photographs - Exhibit 4 of 6
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Photograph "I"



Photograph "J"



Photograph Index Map

EXHIBIT 4E

Photographs Taken: 11/17/2009

Existing Site Photographs - Exhibit 5 of 6
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Photograph "K"



Photograph Index Map

EXHIBIT 4F



Photograph "L"

N.T.S.
-11-

Existing Site Photographs - Exhibit 6 of 6
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II. ENTITLEMENTS

The entitlement process is multi-faceted. Associated with the Fred Young Specific Plan there are other entitlement actions to be considered, these are listed below.

Environmental Approval

The planning and permitting process is coordinated with the environmental review process established by the California Environmental Quality Act (CEQA). Every development project not exempt from CEQA must be analyzed by the lead agency to determine the potential environmental effects of the project. In this case, the City of Indio is the lead agency. In addition to being reviewed by the City, CEQA provides for the review and comment by other “responsible” and “trustee” agencies, which include local service districts, as well as a variety of state and federal agencies.

The Fred Young Specific Plan and associated approvals are “projects” as defined by the California Environmental Quality Act (CEQA). As such, an analysis that evaluates the impacts associated with the implementation of the Specific Plan must be completed. Special studies dealing with the potential impacts of the proposed SP include traffic, on-site hydrology, geotechnical/soils, Phase 1 and Phase 2 Environmental Site Assessments, paleontological, archaeological and historical analyses.

The mitigation measures recommended in the special studies will reduce any identified significant impacts to a level of less than significant. It is intended that the recommended mitigation measures be incorporated into the project design and conditions of approval. The City shall prepare a Mitigation Monitoring Reporting Program as required by CEQA.

General Plan and Specific Plan

The majority of the project is designated in the General Plan as Residential High. A General Plan Amendment is being processed concurrently with the Specific Plan to amend the project site as Specific Plan (SP). This will amend the current Business Park designation for the 1.79 acre piece on the west end of the site and the NE corner 2 acre site. The 2 acre site may be used to provide a small commercial area for residents.

Zoning Designation and Density Bonus

The Zoning designation for most of the site will be consistent with the General Plan Amendment of Specific Plan; the Fred Young Specific Plan will implement development standards that are consistent with the General Plan Amendment.. The 1.79 acre piece at the west end of the property will have the designation of Specific Plan through the adoption of the Fred Young SP document. The Specific Plan is seeking a Density Bonus for the site since all of the development is proposed to be 100% affordable.

Specific Plan

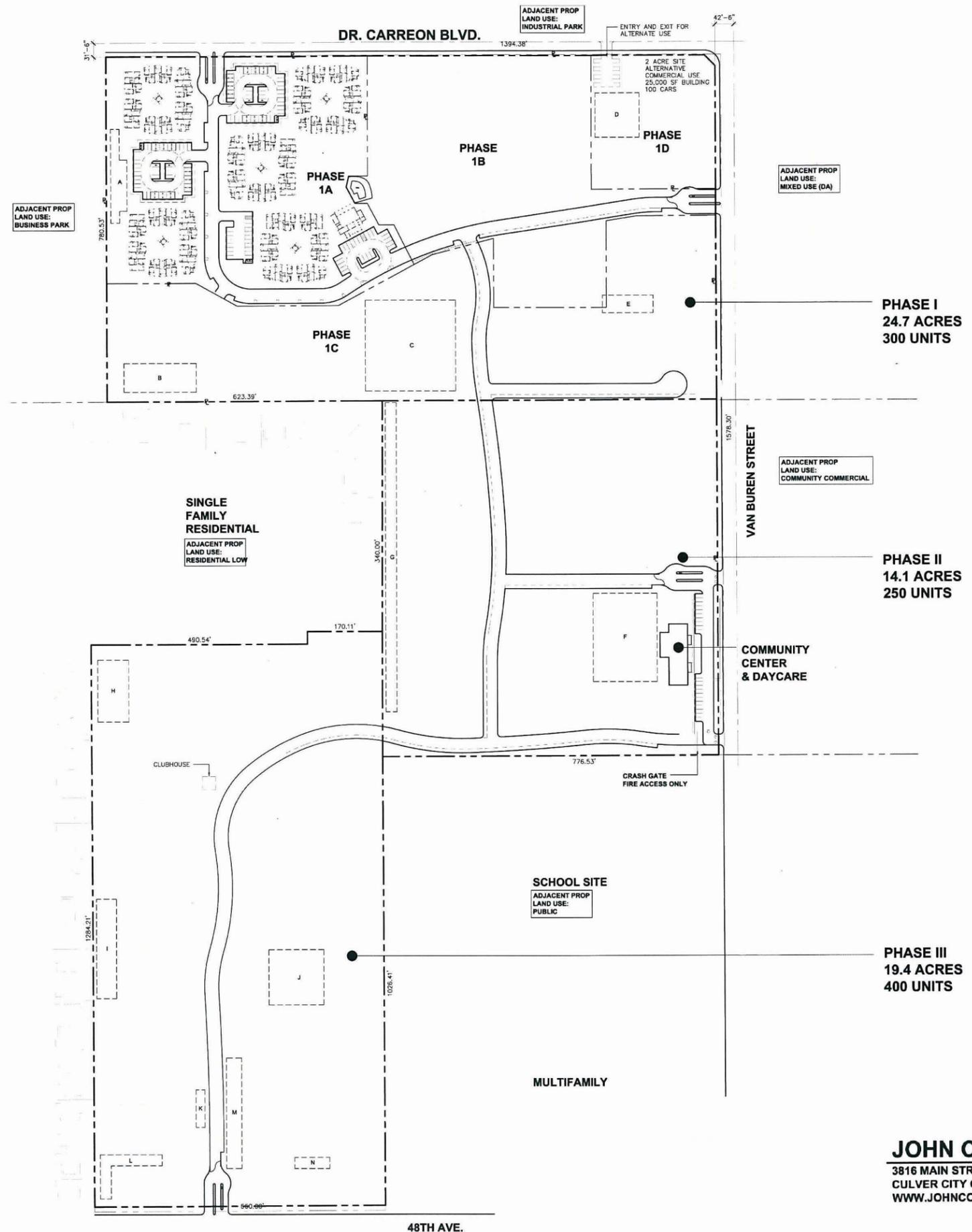
The Fred Young Specific Plan will serve as the development plan for the site. Permitted land uses, development standards, design guidelines and infrastructure implementation measures for the site are included in the document. This SP will be adopted by ordinance and will act as the zoning implementation document for the future development. Development standards not specifically addressed in the SP will be addressed through standard City procedures and regulations.

Tentative Parcel Map

The Fred Young development will be located on approximately 60 acres. Tentative Parcel Map No. 36273 has been filed concurrently with the Fred Young Specific Plan to create four parcels. Additional common lots, which will contain the amenities and retention, are also provided within the tentative parcel map. The parcel Map is solely for funding purposes, the Coachella Valley Housing Coalition (CVHC) will retain ownership of the entire site. The remainder parcel will be incorporated into a future subdivision map.

Site Plan and Design Review

The City through its Design Review process requires detailed site plan review. A detailed plan for Phase 1 A has been submitted for concurrent processing. Conceptual architectural details including housing elevations, colors, materials, wall designs and conceptual landscaping have been included in the SP document for the whole site. Final design review of architecture and landscape plans for the future phases will occur at a later date. The final plans shall be in conformance with the concepts contained in the Specific Plan.



RETENTION BASIN DESIGNATION	AREA (SF)	VOLUME (AC-FT)
A	6,040	0.42
B	10,629	0.73
C	42,025	2.89
D	9,932	0.68
E	4,600	0.32
F	28,808	1.92
G	17,279	1.19
H	9,845	0.68
I	10,019	0.69
J	15,420	1.06
K	1,624	0.11
L	5,375	0.37
M	8,750	0.60
N	1,995	0.14
TOTAL		11.80

- NOTES:
1. A STORMWATER RUNOFF NUMBER OF 0.2 AC-FT/AC WAS USED TO CALCULATE THE VOLUMES FOR EACH AREA. THIS WAS DETERMINED USING THE SYNTHETIC UNIT HYDROGRAPH FOR 1 ACRE OF MULTI-FAMILY RESIDENTIAL LAND USE.
 2. RETENTION BASINS HOLD 3' OF WATER WITH 1' OF FREEBOARD.
 3. MINIMUM RETENTION BASIN SIDE SLOPES ARE 3:1.
 4. STORMWATER TO BE CONVEYED FROM LOW POINTS IN THE STREET TO RETENTION BASINS VIA SURFACE FLOW OR UNDERGROUND PIPES.
 5. THE RETENTION BASINS WILL BE DEWATERED IN 72 HOURS USING MAXWELL DRYWELLS OR A SIMILAR METHOD. THE NUMBER OF DRYWELLS WILL BE DETERMINED DURING FINAL DESIGN.
 6. SEE CONCEPTUAL GRADING PLAN FOR ADDITIONAL RETENTION INFORMATION

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EXHIBIT 5

Exhibit Date: 10/12/2010

Overall Site Plan Fred Young Specific Plan

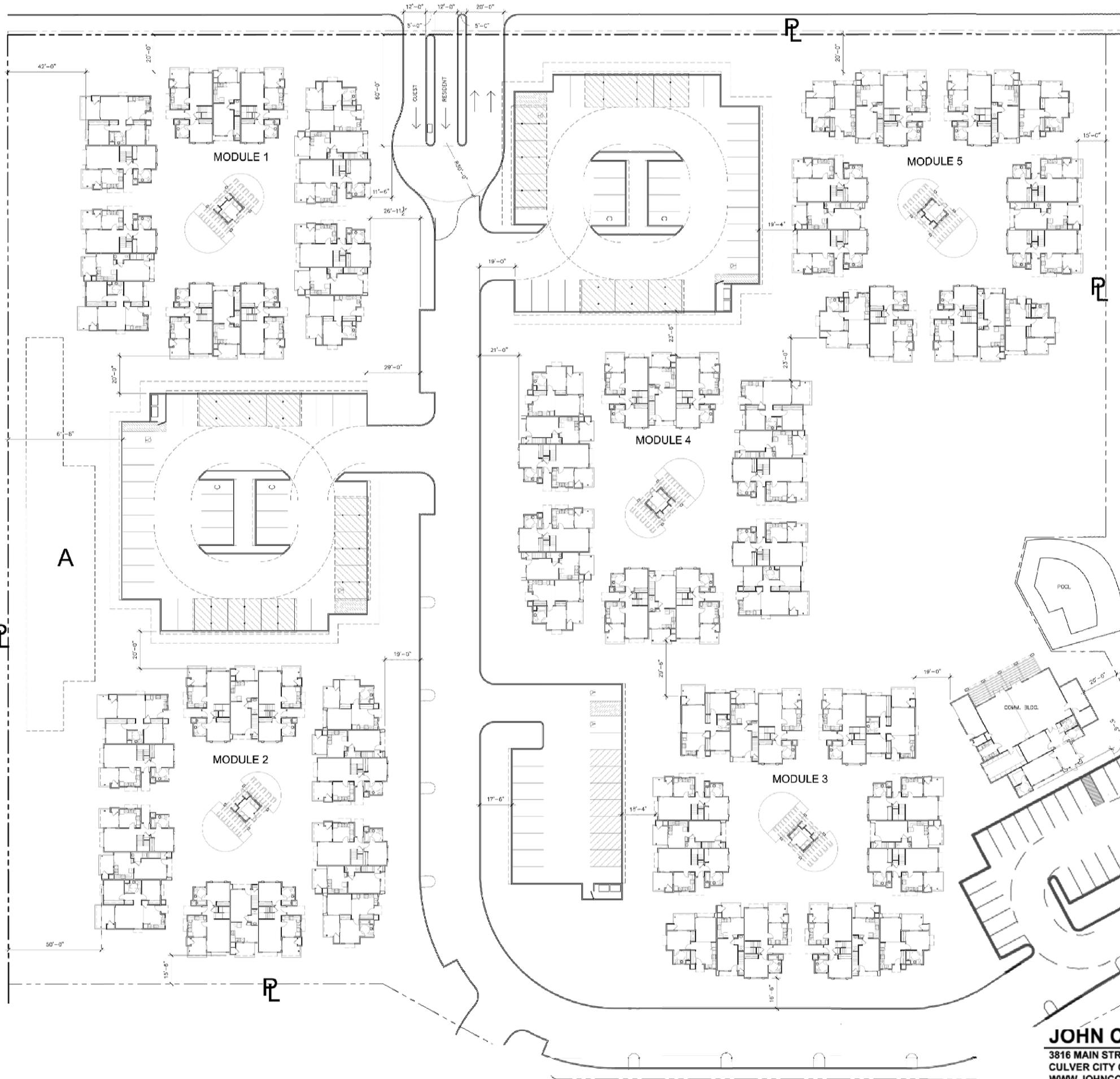
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Phase 1 A Site Plan

Fred Young Specific Plan

EXHIBIT 6



PHASE 1A DESIGN REVIEW SITE AREA:	
ZONING:	RESIDENTIAL - HIGH
REQUIRED OPEN SPACE:	
350 SF/UNIT:	29,750 SF
OPEN SPACE CALCULATIONS:	
TOTAL SITE AREA:	327,571 SF (7.52 ACRES)
- BUILDING FOOTPRINT:	59,085 SF
- STREETS, DRIVES & PRKNG:	80,458 SF
= TOTAL OPEN SPACE:	188,028 SF (57%)
DENSITY CALCULATIONS ALLOWED:	
PRE BONUS DENSITY	15 UNITS/ACRE
+ 35% DENSITY BONUS =	20.25 UNITS/ACRE
7.52 ACRES x 20.25 =	152 UNITS
RESIDENTIAL UNIT SUMMARY:	
1 BED UNITS:	12 UNITS
2 BED UNITS:	33 UNITS
3 BED UNITS:	28 UNITS
4 BED UNITS:	12 UNITS
TOTAL UNIT COUNT:	85 UNITS
REQUESTED PARKING	
1.3 x 85 UNITS (1/2 CAR PER UNIT CARPORTS)	111 SPACES (43 COVERED)
PROVIDED PARKING:	
RESIDENTIAL PARKING	113 SPACE (43 COVERED)
ADDITIONAL GUEST PARKING	49 SPACES
PARKING PROVIDED:	162 TOTAL

 DENOTES COVERED SPACE
 DENOTES LAUNDRY

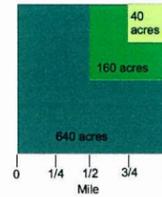
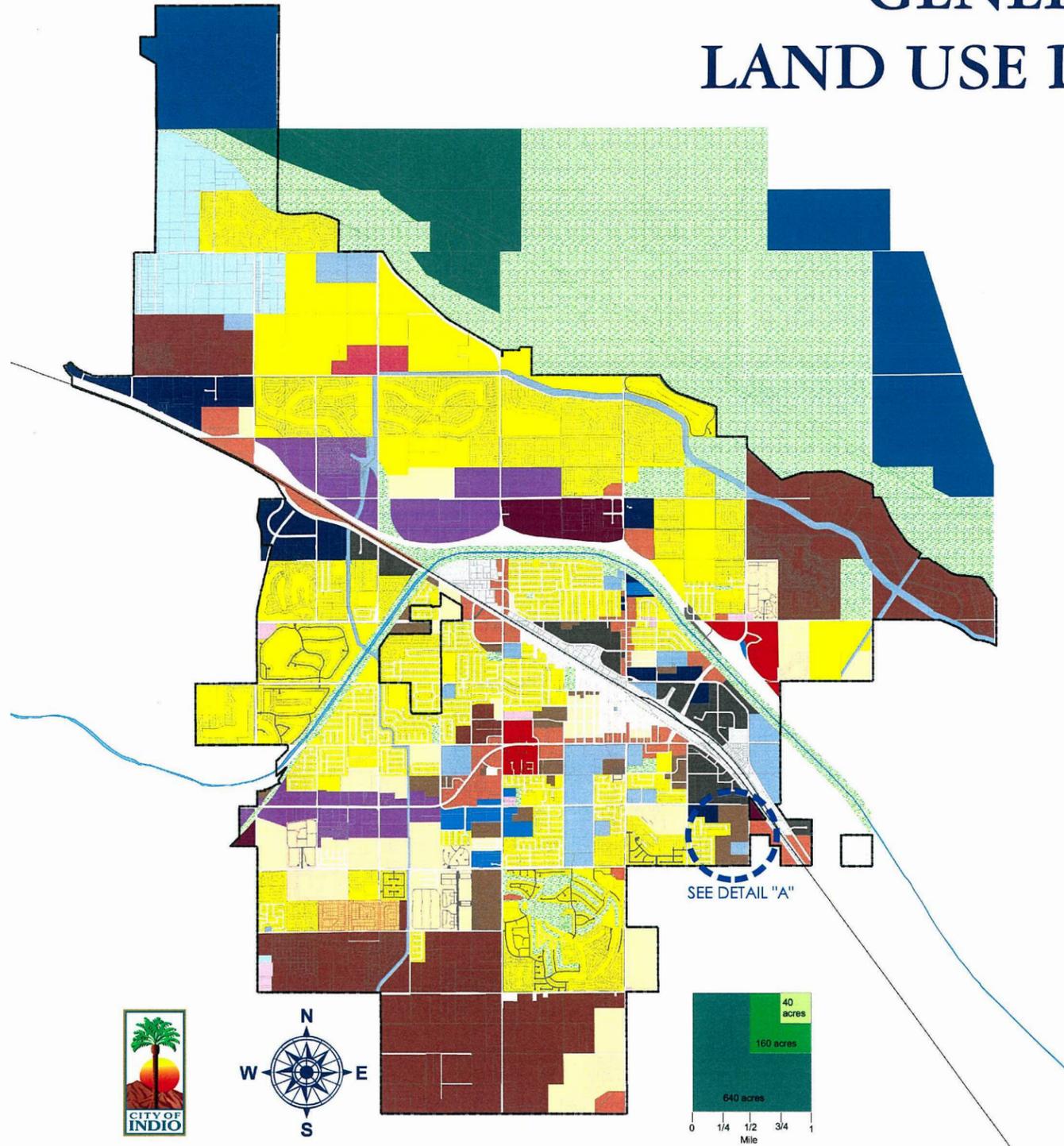
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GENERAL PLAN LAND USE DIAGRAM



Legend	
	Business Park
	Commercial Office
	Community Commercial
	Country Estates
	Country Estates Transition
	Downtown Commerce
	Equestrian Estates
	Industrial Park
	Manufacturing
	Mixed Use (DA)
	Mixed Use (SP)
	Neighborhood Commercial
	Open Space
	Public
	Regional Commercial
	Residential - High
	Residential - Low
	Residential - Medium
	Resource Recovery
	Roadway
	Specific Plan
	Village Core

REVISED MAY 2007

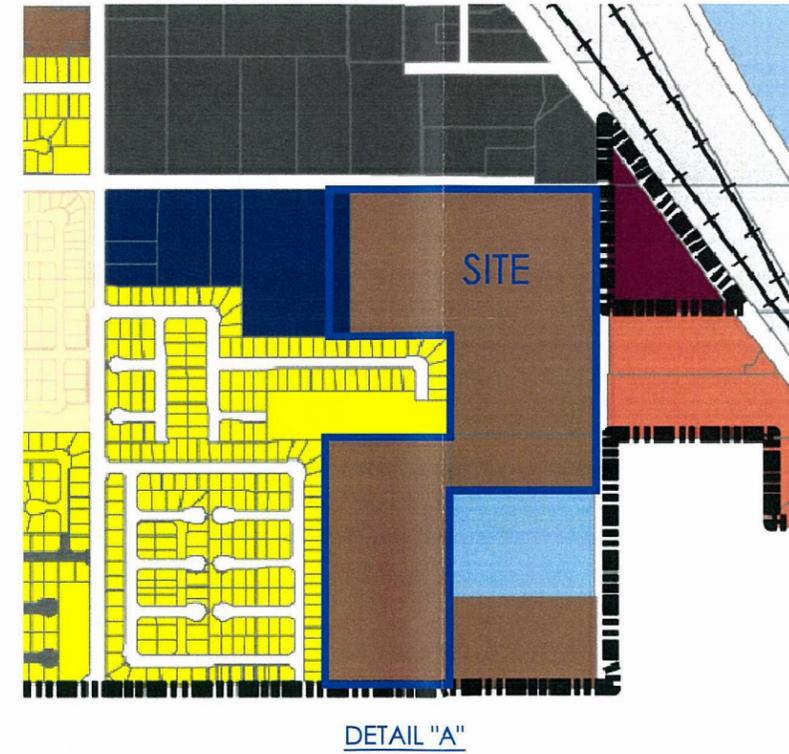


EXHIBIT 7

Exhibit Date: 08/12/2010

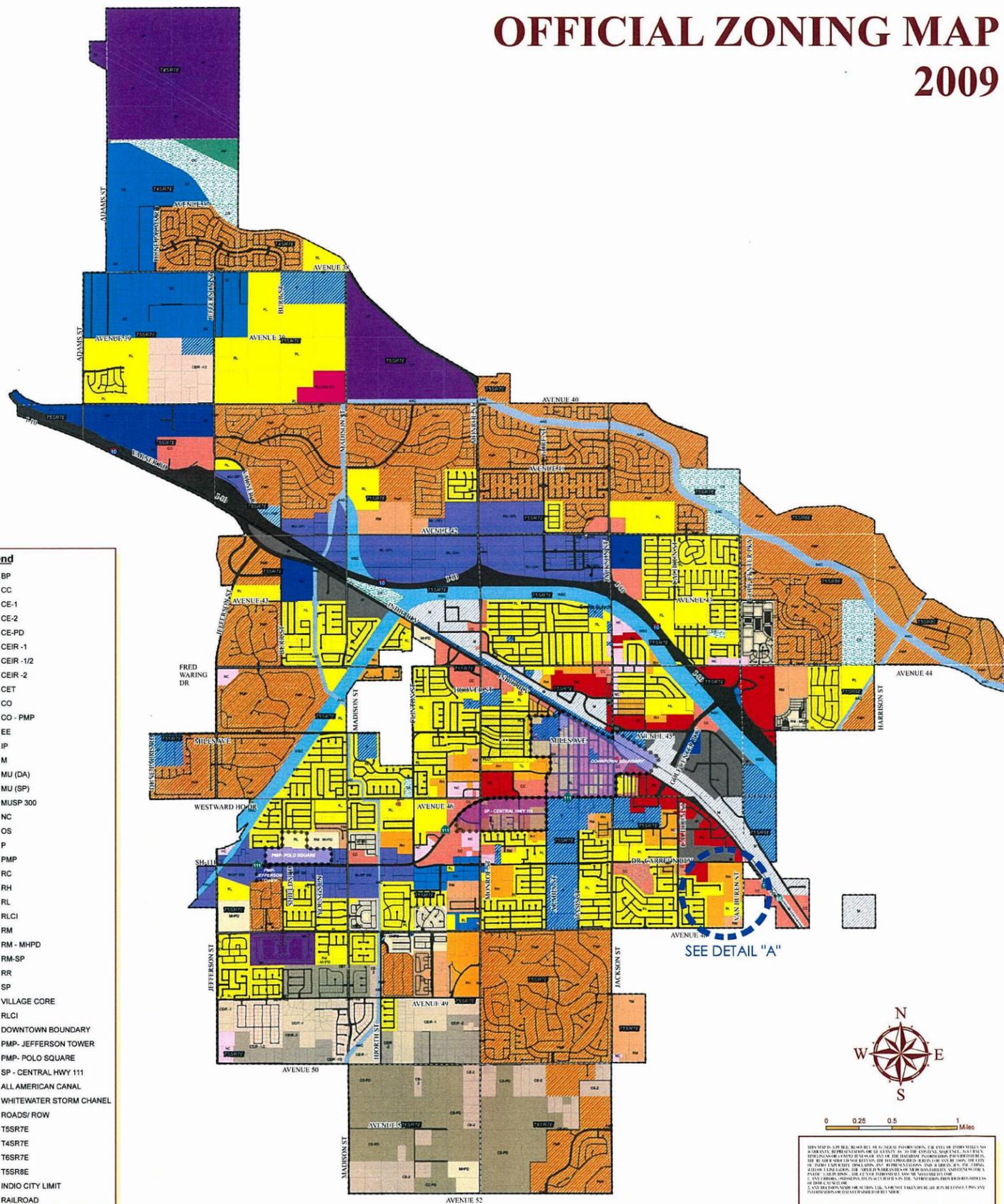
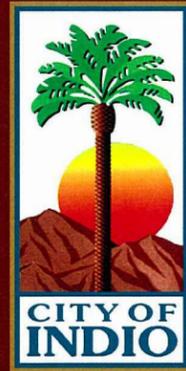
Existing City of Indio General Plan Land Use Map
Fred Young Specific Plan

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N.T.S.
-16-

OFFICIAL ZONING MAP 2009



Legend

BP
CC
CE-1
CE-2
CE-PD
CEIR-1
CEIR-1/2
CEIR-2
CET
CO
CO - PMP
EE
IP
M
MU (DA)
MU (SP)
MUSP 300
NC
OS
P
PMP
RC
RH
RL
RLCI
RM
RM - MHPD
RM-SP
RR
SP
VILLAGE CORE
RLCI
DOWNTOWN BOUNDARY
PMP- JEFFERSON TOWER
PMP- POLO SQUARE
SP - CENTRAL HWY 111
ALL AMERICAN CANAL
WHITEWATER STORM CHANNEL
ROADS/ ROW
TSSR7E
T4SR7E
T6SR7E
TSSR8E
INDIO CITY LIMIT
RAILROAD

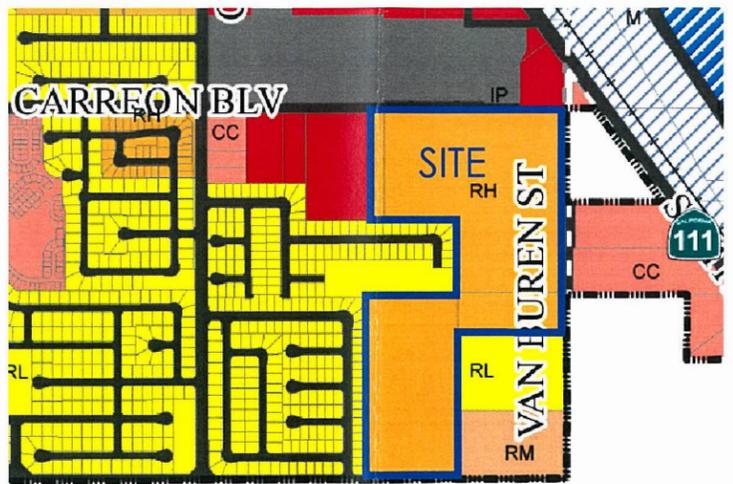


0 0.25 0.5 1 Miles

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THE ZONING DESIGNATIONS OF THE CITY OF INDIO ARE ADOPTED TO PROTECT, PROMOTE AND ENHANCE THE PUBLIC HEALTH, SAFETY AND GENERAL WELFARE, ENSURING THAT DEVELOPMENT WITHIN THE CITY IS RELATED TO THE CITY'S ABILITY TO PROVIDE ESSENTIAL URBAN SERVICES AND IS CONSISTENT WITH THE CITY OF INDIO GENERAL PLAN.



AVENUE 48
DETAIL "A"

EXHIBIT 8

Existing City of Indio Zoning Map
Fred Young Specific Plan

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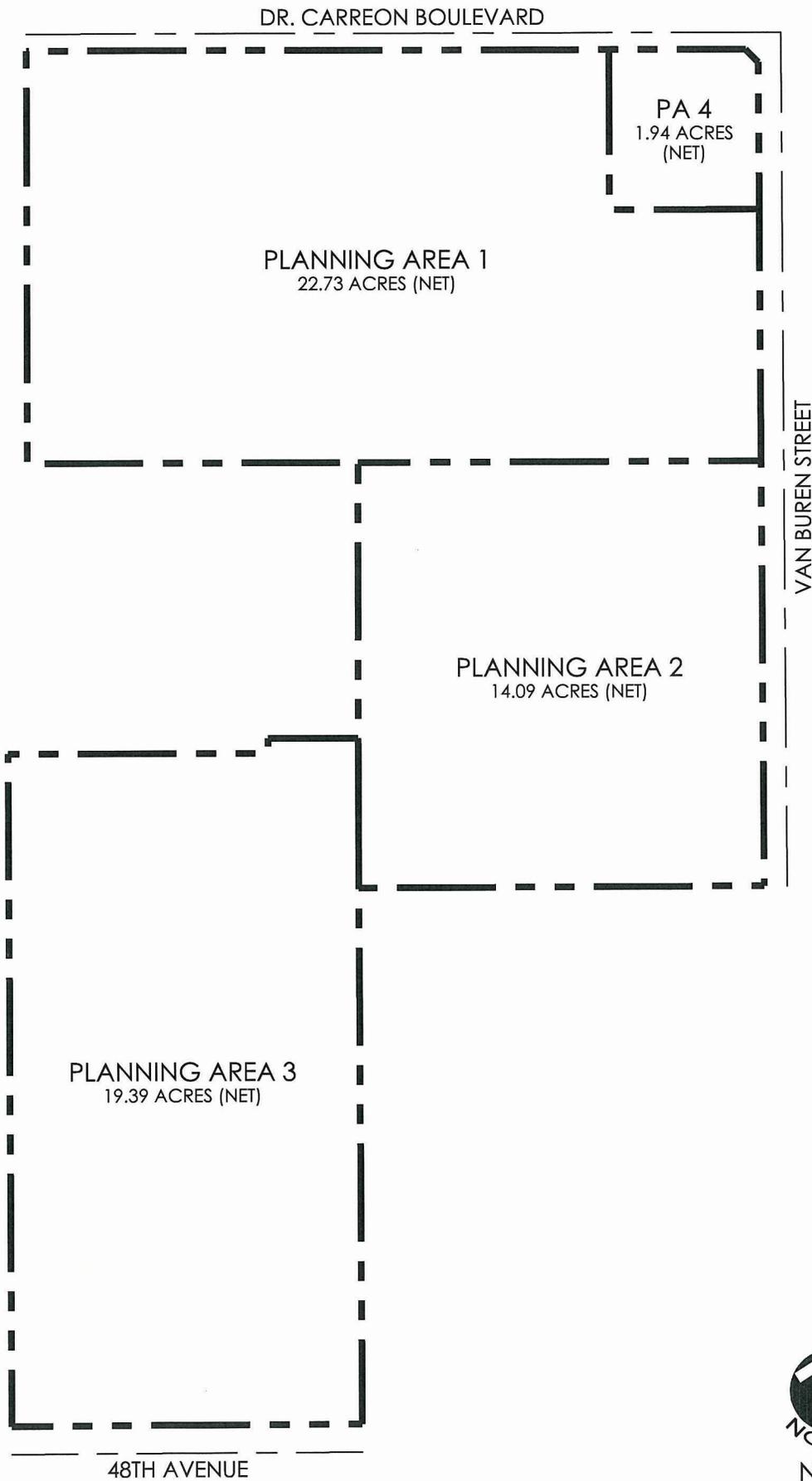


Exhibit Date: 08/12/2010

EXHIBIT 9

Planning Areas Fred Young Specific Plan

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III. REVIEW PROCESS

The initial step in the City's review process is the Development Review Committee (DRC). City staff along with representatives from affected agencies outside of the City such as Valley Sanitary, Indio Water Authority and other service providers review the proposal based on City codes and regulations of the respective agencies.

Following the staff review of the development proposal is the public hearing process. A public hearing is conducted at the Planning Commission level, the recommending body to the City Council. Another public hearing is conducted with the City Council. Interested members of the public may comment on the proposed development at either stage. Prior to adoption of the Fred Young Specific Plan a finding of consistency with the City's General Plan must be made.

The Specific Plan sets forth the land uses and development standards and review procedures. The City's design review process will also be used to evaluate the actual site development for conformance with the Fred Young Specific Plan and City codes.

IV. ENVIRONMENTAL ASSESSMENT

Archaeological and Historical Resources Report

CRM Tech prepared the archaeological and historical resources report for the site. The findings of the report indicate there is no presence of significant archaeological or historical resources on the site. Since no “historical resources”, as defined by CEQA, were encountered during the course of this study, CRM TECH presents the following recommendations to the City of Indio:

- No historical resources exist within or adjacent to the project area, and thus the project as currently proposed will cause no substantial adverse change to any known historical resources.
- No further cultural resource investigation is necessary for the proposed project unless development plans undergo such changes as to include areas not covered by this study.
- If buried cultural materials are discovered during any earth-moving operations associated with the project, all work in that area should be halted or diverted until a qualified archaeologist can evaluate the nature and significance of the finds.

Paleontological Report

CRM Tech also analyzed the Paleontological resources report for the site. The site, being located within the bounds of the former lakebed of Holocene Lake Cahuilla, has the potential of containing these resources. In as much as the site has largely been disrupted with previous activities and development, the conclusion is that on-site monitoring during grading and excavation activities will be required in the event that any paleontological resources are exposed.

Biological Assessment and Impact Analysis

In 2008 the Coachella Valley Multiple Species Habitat Conservation Plan (CVMSHCP) was adopted. With the adoption of the plan, site specific biological assessments for property outside of the Conservation Areas are not required. The proposed project is not within a conservation area of the CVMSHCP. Properties outside of the Conservation Areas pay a mitigation fee. For residential development the fee is assessed based on density. The fee is payable at the issuance of building permits.

Traffic Analysis and Air Quality

Endo Engineering prepared both a Traffic report and an Air Quality report for the project based on the highest possible density enabled by the Specific Plan including the allowable density bonus under State and local laws. The initial findings have led to several changes in the site plan to mitigate key traffic conflicts, primarily in points of access.

Acoustical Analysis

Urban Crossroads prepared the acoustical analysis (Noise Study) to evaluate the potential noise impacts associated with the development of the Fred Young project site.

The project will not have any significant noise/acoustical impacts if Title 24 requirements are met.

Phase I and Phase II Environmental Assessment

RM Engineering performed the Phase I and II Environmental Site Assessment on this site. The findings of the Phase 1 report revealed no evidence of recognized environmental conditions except the following:

- Potential for asbestos containing building materials and lead based paint were identified for the existing community building, the on site structures were built before 1972. It is the consultant's analysis that a survey investigation be conducted to assess and mitigate the potential for lead base paints in the existing structures on the site. Prior to future building renovations or demolition an asbestos survey should be conducted.
- The northeast corner of the project site was formerly used as a maintenance yard from the 1930's to 2000. Three former structure foundations were found in this sector, an inactive groundwater well with associated pump, a shed with miscellaneous non-hazard debris, several small stockpiles of soil mixed with miscellaneous burned materials, and plastic containers filled with used motor oil. Soil contamination was identified on the surface and potential for lead contamination and organochlorine pesticide (OCP) was identified in the stockpile soil. The investigation report made the recommendation for additional assessment in respect to asbestos, lead and OCP.
- An approximate 5,000 gallon fuel underground storage tank (UST) dispenser island and associated piping were identified on the north central portion of the project site (APN 612-170-006). Removal of the underground storage tank is required.

The Phase II reports that on December 16, 2009 a 1,000-gallon fuel UST was removed by Warren Duncan Contracting. No indications (staining, odors, air monitoring, etc.) of soil hydrocarbon contamination were observed during the UST removal. It is the consultant's opinion that no further investigation is warranted for the removed UST at the site.

Geotechnical Analysis

Sladden Engineering performed a geotechnical investigation of the site. The site is mapped in the County's Liquefaction and Ground Shaking Hazard Zone V. The soil near the surface is considered potentially compressible and is not suitable for support of shallow foundations or concrete slabs on-grade in its existing condition. Due to these conditions remedial grading including over-excavation and recompaction is recommended. The report recommends the use of shallow spread footings, mat slabs or post-tensioned slabs to support the proposed structures.

Liquefaction:

Boring tests were conducted on the site to a depth of approximately 49 feet below ground surface (bgs) where groundwater was encountered. The soil on this site consists of sandy silt, silty sand and poorly graded sand. Based on the analysis in the report and historic ground water levels, the maximum estimated ground settlement induced by liquefaction would be approximately 3 inches.

Recommendations:

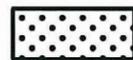
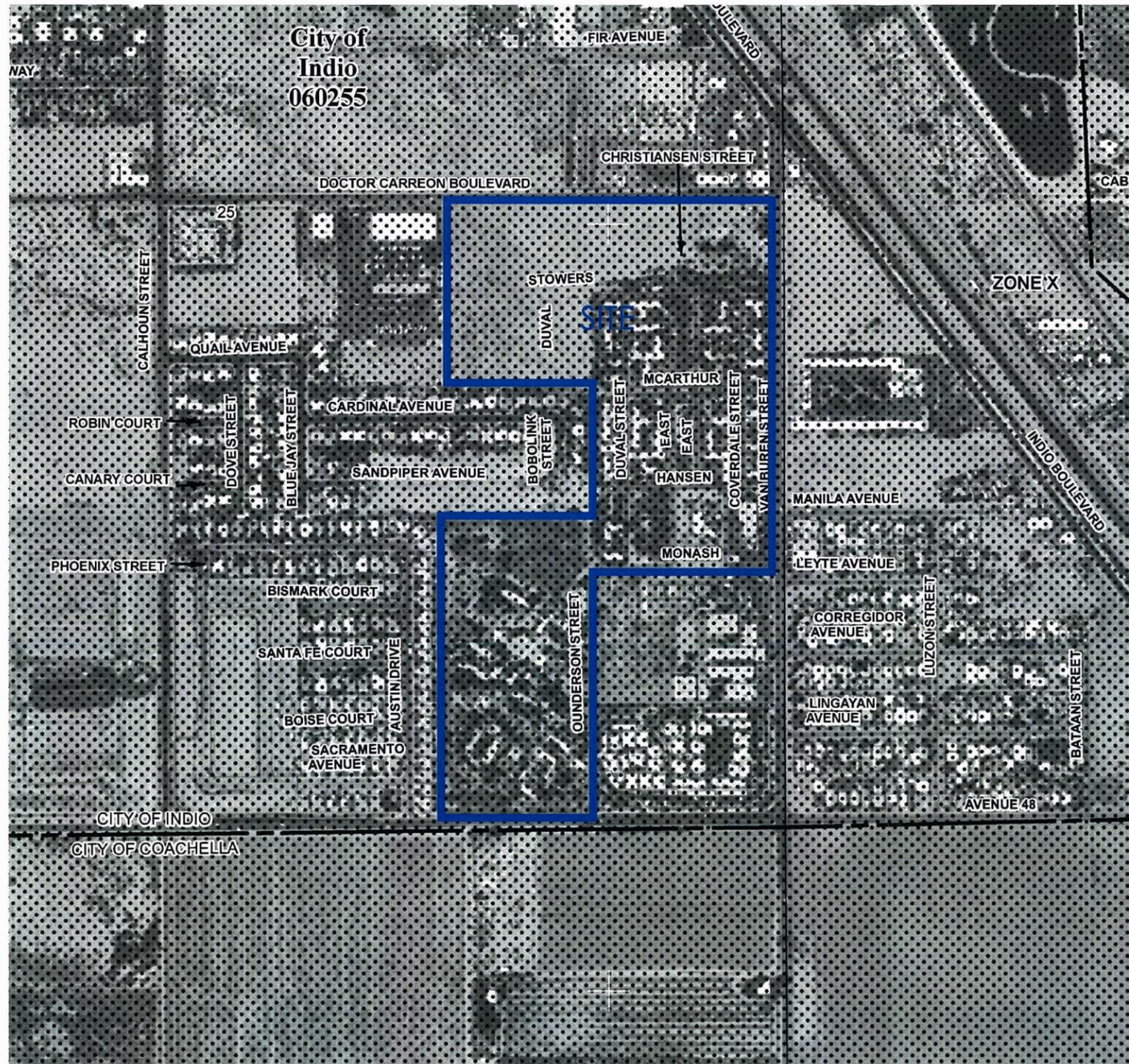
The project is feasible based upon the field and laboratory testing from a soil mechanic's position and if the recommendations for foundation design, site grading and preparation are addressed.

Preliminary Hydrology Analysis

Conceptually, the project will require 11.77 acre-feet of stormwater retention spread throughout the site. There are fourteen retention basins throughout the project ranging in size from 1,624 square feet to 42,025 square feet that will hold three feet of water with one foot of freeboard for a total of 11.80 acre-feet of storage. It is therefore concluded that the proposed development of site meets the hydrologic requirements set forth by the City of Indio. The retention basins shall serve multi-purposes not only as retention, but as recreational areas for the residents and as open space for the project. Retention facilities may be located in adjoining Planning Areas and phases as long as the overall ownership and management of the project remains undivided. See Exhibits 11 and 12.

Recommendations:

Each phase of development will be required to meet its share of retention following the requirements of the City of Indio for stormwater management. It is proposed that there may be opportunities to accommodate the required retention of one phase in an adjacent part of the project.



ZONE X

OTHER FLOOD AREAS

Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

NATIONAL FLOOD INSURANCE PROGRAM

PANEL 2254G

FIRM

FLOOD INSURANCE RATE MAP

**RIVERSIDE COUNTY,
CALIFORNIA
AND INCORPORATED AREAS**

PANEL 2254 OF 3805

(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:

COMMUNITY	NUMBER	PANEL	SUFFIX
COACHELLA, CITY OF	060249	2254	G
INDIO, CITY OF	060255	2254	G

Notice to User: The Map Number shown below should be used when placing map orders; the Community Number shown above should be used on insurance applications for the subject community.



**MAP NUMBER
06065C2254G**

**EFFECTIVE DATE
AUGUST 28, 2008**

Federal Emergency Management Agency

EXHIBIT 11

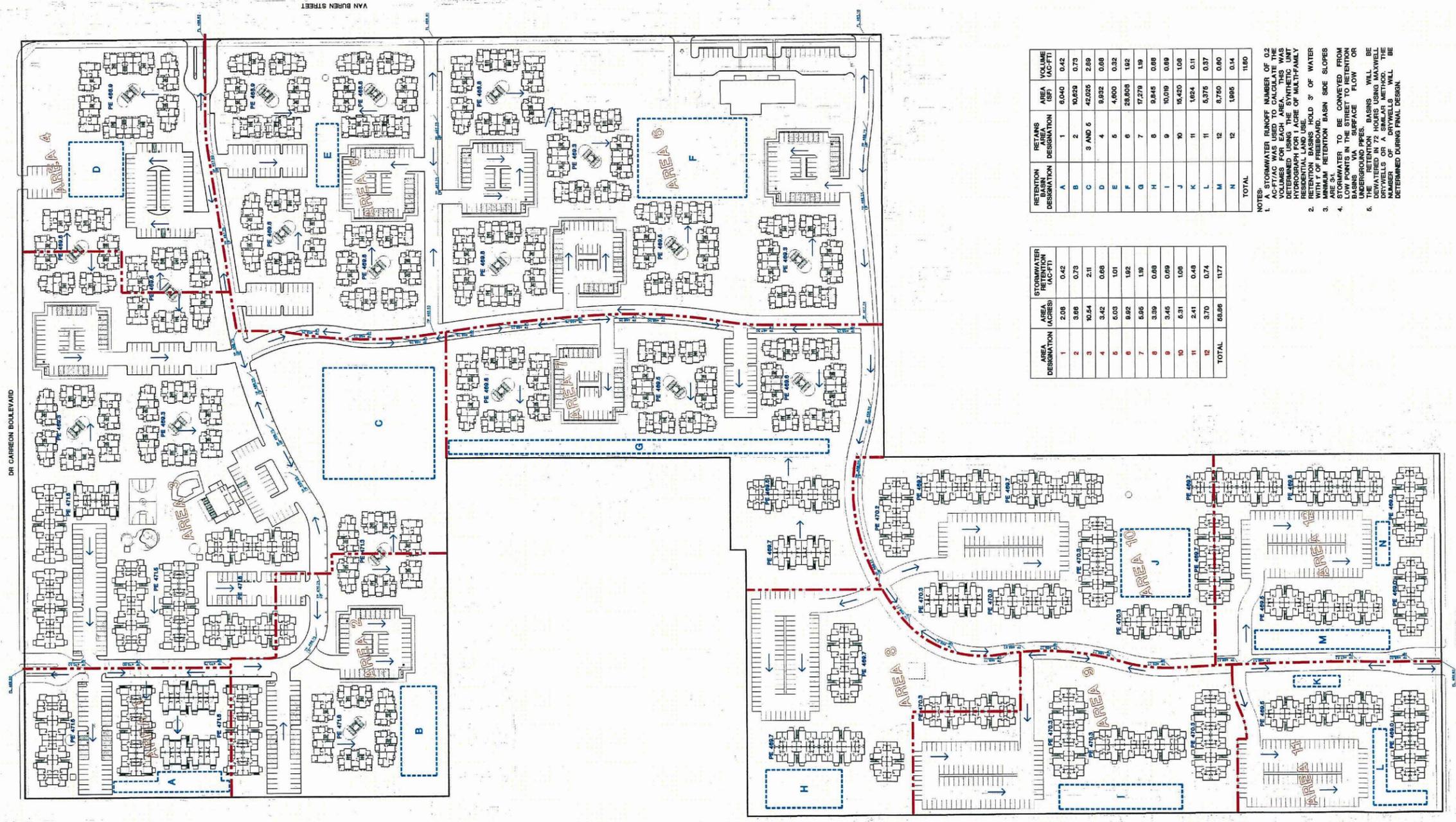
Exhibit Date: 08/12/2010

**Federal Emergency Management Agency Map
Fred Young Specific Plan**

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N.T.S.



AREA DESIGNATION	AREA (ACRES)	STORMWATER RETENTION (AC-FT)
1	2.08	0.42
2	3.66	0.73
3	10.54	2.11
4	3.42	0.69
5	6.03	1.01
6	8.92	1.92
7	5.95	1.19
8	3.99	0.80
9	3.45	0.69
10	5.31	1.00
11	2.41	0.49
12	3.70	0.74
TOTAL	58.06	11.77

RETENTION DESIGNATION	RETAINS DESIGNATION	AREA (SF)	VOLUME (AC-FT)
A	1	6,040	0.42
B	2	10,029	0.73
C	3 AND 6	42,025	2.89
D	4	9,932	0.69
E	5	4,800	0.32
F	6	28,808	1.92
G	7	17,279	1.19
H	8	9,845	0.69
I	9	10,019	0.69
J	10	15,450	1.00
K	11	1,824	0.11
L	12	5,375	0.37
M		6,750	0.60
N		1,995	0.14
TOTAL			11.80

NOTES:
 1. STORMWATER RUNOFF NUMBER OF 0.2 AC-FT/AC WAS USED TO CALCULATE THE VOLUMES FOR EACH AREA. THE HYDROGRAPH FOR 1 ACRE OF MULTIFAMILY RESIDENTIAL LAND USE, WITH A MINIMUM RETENTION BASIN SIDE SLOPES ARE 3:1.
 2. MINIMUM RETENTION BASIN SIDE SLOPES ARE 3:1.
 3. WATER TO BE CONVEYED FROM LOW POINTS IN THE STREET TO RETENTION BASINS VIA SURFACE FLOW OR UNDERGROUND. BASINS WILL BE DEWATERED IN 72 HOURS USING MAXWELL MANHOLELS OF A MINIMUM SIZE DETERMINED DURING FINAL DESIGN.



FRED YOUNG FARM WORKER APARTMENTS
 CONCEPTUAL GRADING PLAN

FEBRUARY 15, 2010
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EXHIBIT 12

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Preliminary On-Site Hydrology Map

Fred Young Specific Plan

V. LAND USE PLAN

Location and Setting

The City of Indio is located in the Coachella Valley, Riverside County, California, approximately 120 miles east of Los Angeles and 250 miles west of Phoenix, Arizona. The City of Indio is known as the "City of Festivals". The Fred Young Specific Plan is located at the southwest corner of Dr. Carreon Boulevard and Van Buren Street. Indio shares Van Buren Street with Riverside County (unincorporated) and also shares 48th Avenue with the City of Coachella (Exhibit 1 and 2).

The Specific Plan area is comprised of approximately 60 +/- acres. A portion of the site is vacant and there are 253 existing housing units on the site. The existing units will be removed by phase and will be replaced in a phased schedule with improved housing conditions to serve the existing residents. Project build out is anticipated to occur in three phases over a 15 year time frame. Surrounding land uses include the commercial/industrial uses to the north, east and west, an elementary school to the south, and single-family residences to the west.

Project Description

Fred Young Specific Plan is a residential community proposed for a maximum of 950 units. There is a proposed 2 acre site at the northeast corner of the project that may accommodate either residential or community commercial uses. The SP anticipates that up to 25,000 square feet of commercial uses with area for 100 parking spaces could be allowed. In lieu of developing the 2 acres with commercial uses the Specific Plan allows an alternative land use with up to 40 residential units in that location. The Specific Plan provides the text, diagrams, development standards, design guidelines, infrastructure plans and technical information for the development. Upon adoption by ordinance, the Fred Young Specific Plan will act as the zoning implementation tool for the site. Phase 1 is 22.73 acres in size and will contain up to 300 multi-family dwelling units.

The second sub-phase of development located on 14.09 acres will contain up to 250 multi-family units, a community center and a day care facility. The third and final sub-phase of 19.39 acres will contain up to 400 multi-family units or up to 200 single family homes. The Specific Plan provides a distinct set of permitted, conditionally permitted and prohibited land uses for the development area.

The existing General Plan land use designation for the major portion of the site is Residential High. A 1.79 acre site on the west boundary has a designation of Business Park. A General Plan Amendment has been filed concurrently with the Specific Plan to amend the designation to Specific Plan. The land use plan will also designate the NE corner of the site as Specific Plan which would allow a 2 acre commercial center or additional multi family units depending on the project needs.

Parking Allocation

Resident and guest parking will be located near the units and the community centers. A ratio of 1.3 spaces per multi-family unit is proposed. This number is supported by an empirical survey of existing developments owned by the Coachella Valley Housing

Coalition (CVHC). The residents of these communities often do not have private vehicles and rely on public transportation or ride sharing. Comments from Sun Line Transit Agency indicate the need for a bus stop on Dr. Carreon Boulevard. CVHC will be working with the Agency to ensure the stop is installed. The parking analysis is included in the Appendix.

Density Bonus and Transfers

There are five Planning Areas within the project site. The overall maximum density is 20.25 dwelling units per acre. There are provisions in California State Law (Government Code 69515-69518) and the City Municipal Code (Chapter 154) that establishes guidelines for affordable or senior housing and density bonuses this project does intend to seek a density bonus. The project is 100% affordable and is entitled to a 35% density increase. Because of the different types of affordable housing needed some areas of the site may be developed at a lower density, such as single family homes. The Specific Plan allows for the transfer of density within the Planning Areas as long as the overall project density does exceed 20.25 du/acre.

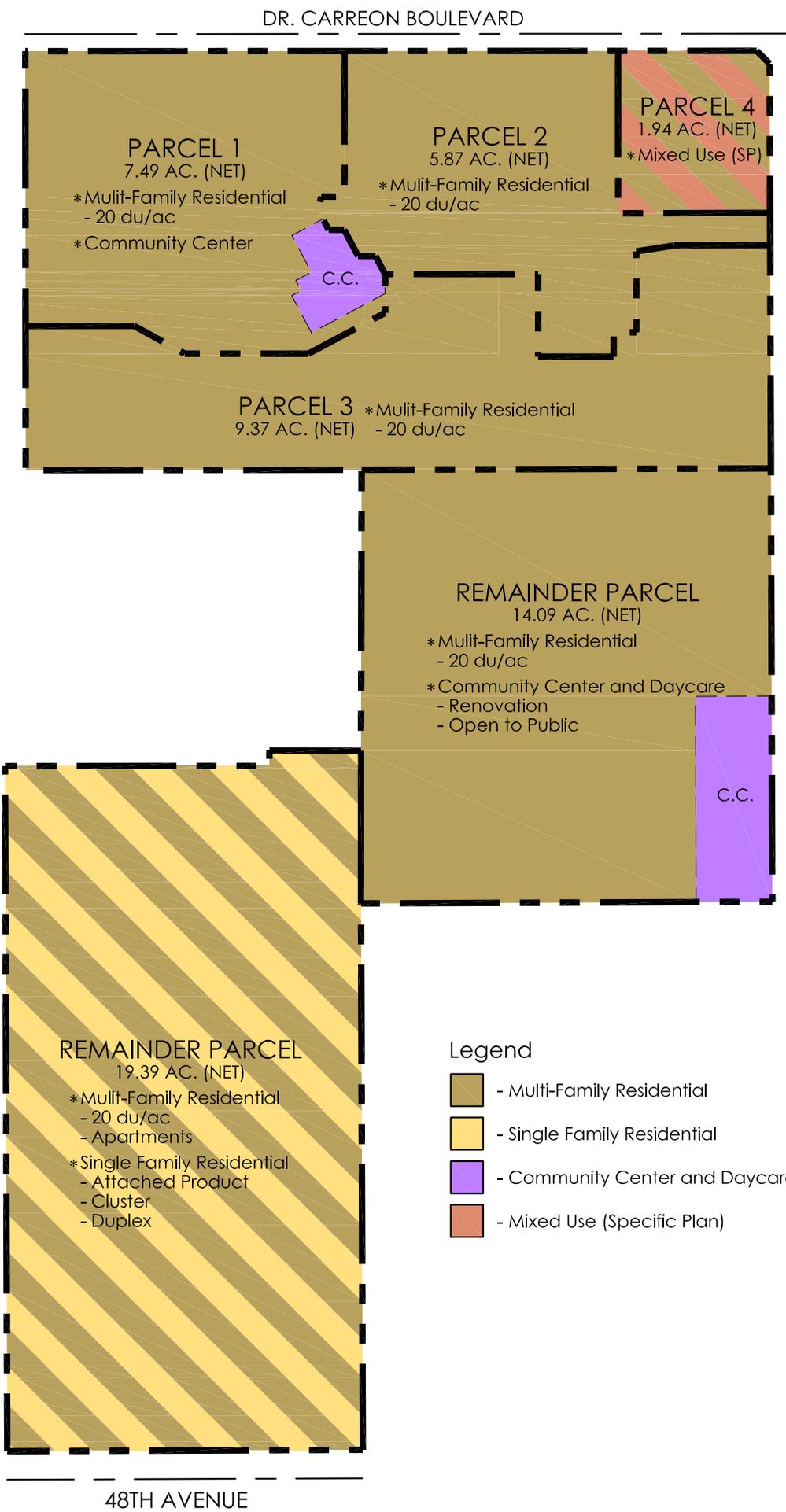


EXHIBIT 13

Land Use Plan

Fred Young Specific Plan

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VI. DEVELOPMENT STANDARDS

The development standards contained in the SP will serve as the zoning ordinance for the site. The standards identified herein shall supersede the zoning ordinance and will include considerations for uses; permitted, conditional and prohibited, building orientation, architecture, lighting, landscaping, setbacks, signs and parking. These standards are intended to be consistent with the Indio General Plan goals, policies and objectives. Other provisions not included are subject to the City of Indio regulations.

Residential – Planning Areas I to III

Permitted Uses:

- (A) Multi family and townhouse structures;
- (B) Single family, row houses, attached and detached residences
- (C) Accessory buildings, uses or structures;
- (D) Community buildings such as day care centers, clubhouse, community center, management offices and community gardens
- (E) Home occupations - subject to City of Indio Regulation §159.500 - §159.500;
- (F) Day Care Facilities

Prohibited Uses:

All uses not specified herein shall be prohibited, unless the Planning Commission determines, on a case by case basis that a particular use is similar to and no more objectionable than specified. The following shall not be allowed by Planning Commission determination.

- (A) Industrial uses.

Commercial Uses- Planning Area IV

Permitted Uses:

- (A) Medical Offices or clinics;
- (B) Administrative, business or professional offices;
- (C) Personal service establishments including, but not limited to, beauty or barber shops, haberdasheries, locksmiths, photography studios, shoe repair, dry cleaners, laundromats, tailors, dressmaking shops, or pet grooming;
- (D) Retail stores including but not limited to, grocery stores over 15,000 square feet, appliance or furniture stores, bookshops, drugstores, florist shops, hardware stores, clothing stores, variety stores, or shoe shops;
- (E) Delicatessens, bakeries, or walk-in restaurants with high or low turnover;
- (F) Banks, financial institutions, or savings and loan institutions;
- (G) Day Care Centers;

- (H) Public parks or recreational facilities;
- (I) Museums, art galleries, or botanical gardens;
- (J) Wholesaling, secondary and appurtenant to a retail outlet.

Conditional Uses:

The following uses may be permitted subject to a conditional use permit:

- (A) Hospitals, convalescent hospitals, skilled nursing facilities, congregate care facilities;
- (B) Hotels or motels;
- (C) Public or private schools or educational institutions;
- (D) Public utility structures;
- (E) Landscape nurseries;
- (F) Licensed "community care facilities" including: Residential; adult day care; day treatment; social rehabilitation; community treatment;
- (G) Places of worship;
- (H) Clubs, lodges or halls;
- (I) Health clubs or spas;
- (J) Antique shops;

Prohibited Uses:

(A) All uses not specified herein shall be prohibited, unless the Planning Commission determines, on a case by case basis that a particular use is similar to and no more objectionable to those specified.

(B) Those uses which are not herein enumerated but are expressly permitted or conditionally permitted in any other zone are prohibited.

(C) The following are specifically prohibited:

- (1) Industrial uses;
- (2) Bars or nightclubs;
- (3) Furniture upholstery shops;
- (4) Veterinary hospitals;
- (5) Check cashing;

- (6) New or used vehicle sales;
- (7) Pawnbroker shops;
- (8) Thrift shops or secondhand dealerships;
- (9) Warehousing;
- (10) Mini-storage;
- (11) Outdoor storage;
- (12) Bail bonds;
- (13) Fortunetelling;
- (14) Swap meets, indoor or outdoor;
- (15) Automotive or vehicle repair facilities business;
- (16) Automobile and truck washing facilities business;
- (17) Drive-through restaurant facilities.
- (18) Liquor Stores.

General Development Standards:

Multi- Family:

- A. Minimum dwelling unit size:
 - One bedroom unit is 500 square feet
 - Two bedroom unit is 750 square feet
 - Three bedroom unit 1,000 square feet
 - Four bedroom unit 1,200 square feet
- B. A minimum of 1.8 parking spaces per unit shall be provided. This is inclusive of guest parking. This standard may be adjusted for subsequent phases based on parking studies for each completed phase.
- C. Maximum building height of 3 stories and 35 feet. Buildings over 26 feet in height shall be setback 200 feet from any single family zone.
- D. Perimeter setback from a public property line to a structure shall be a minimum of 20 feet.
- E. Minimum public street side yards shall be 20 feet.
- F. Minimum setback from private internal streets shall be 15 feet to curb.
- G. Minimum rear yards to adjacent residential uses shall be 40 feet for two story units. Balconies on two story units shall not be located facing any single family

residences. Minimum rear yards shall be 15 feet as measured to an attached structure (i.e. patio) or the main dwelling.

- H. Minimum distance between buildings shall be 10 feet.
- I. Patios and balconies shall be 80 square feet minimum.
- J. Community Buildings, day care, and maintenance buildings may be 5 feet minimum from an interior parcel property line.

Single Family:

- A. Minimum dwelling unit size is 1,000 square feet.
- B. A minimum of 1 parking space per home shall be provided within a covered structure or garage and a second uncovered parking space shall also be provided which may be on the driveway approach.
- C. Maximum building height of 2 story and 26 feet.
- D. Minimum front yard setback from curb line to structure shall be a minimum of 25 feet. Twenty (20) feet if a “roll-up” garage door is used.
- E. Minimum side yard shall be 5 feet for interior lots; street side yards shall be a minimum of 10 feet. Zero lot line single family shall also be allowed with a remaining setback of 10 feet.
- F. Minimum rear yards shall be 15 feet as measured to an attached structure (i.e. patio) or the main dwelling.

Commercial:

- A. A minimum of 1 parking space per 1,000 square feet of gross floor area shall be provided.
- B. Maximum building height of 2 stories and 26 feet to roof with a minimum 4 foot parapet.
- C. Minimum front yard setback from public property line to structure shall be 10 feet.
- D. Minimum street side yards shall be a minimum of 10 feet.
- E. Minimum rear yards to residential uses shall be 20 feet.
- F. Minimum distance between buildings shall be 10 feet.

General Requirements:

- A. Mechanical equipment such as air conditioners, heating, cooling, ventilation, pool, spa, or sauna equipment and all other mechanical, lighting or electrical devices shall be so operated that they do not disturb the peace, quiet, comfort of

- neighboring residents and shall be screened behind a wall or fence from surrounding properties and streets. All mechanical equipment, with the exception of air conditioners shall be no closer than 10 feet to any residential dwelling on adjacent properties. Additionally, no such equipment shall be located in the public street, required front yard setback, or street side yard setback. All mechanical equipment shall be at least 5 feet from any property line. Roofed porches, steps, terraces, balconies, trellises, and porches may project not more than 6 feet into a required yard.
- B. Architectural projections including eaves, awnings, louvers, and similar shading devices; sills, belt courses, cornices, and similar features; and flues and chimneys may not project into a required yard more than 3 feet and shall be at least 3 feet from the property line.
 - C. A minimum of 37% of the site area shall be in Open Space. Retention areas are allowable areas to be included in the Open Space calculations.
 - D. Internally illuminated addresses are required to be displayed in a prominent visible location on all dwelling units.
 - E. A satellite dish may not be wholly visible from a public or private street except that it may project above a legally established fence or wall by not more than 3 feet, but not to exceed 10 feet in overall height as measured from the overall grade of the lot.
 - F. Roof mounted equipment shall be screened from public view.
 - G. Masonry walls or decorative wrought iron fencing a maximum of 6 feet in height shall be required along the perimeter property lines of the residential portion of the project; Exhibit 36.
 - H. Along the project perimeter there shall be minimum sight clearance for vehicular and pedestrian safety. Hedges, fences, walls and other structures or obstructions shall maintain a clear area. No obstructions greater than 24 inches above the established curb grade measured as a triangle formed by the corner property lines with the base measured 20 feet from the apex of the triangle.
 - I. Open parking lots may be within 5 feet of a property line. Carports may be within 20 feet.

Amenities:

Any given phase shall include at least one of the following amenities. The amenities chosen for the individual phases will be at the discretion of Coachella Valley Housing Coalition (CVHC).

- A. Tot Lot / Playground Equipment
- B. Swimming Pool

- C. Splash Pad
- D. Barbeque Pit
- E. Picnic Table
- F. Basketball Court
- G. Walking Trail
- H. Community Building
- I. Dog Park
- J. Baseball Field
- K. Soccer Field
- L. Public Open Space
- M. Community Garden
- N. Outdoor Exercise Equipment
- O. Computer Lab

Amendments to the Specific Plan:

Major:

Any amendment to the Specific Plan shall be made in accordance with the adopting provisions of the original Fred Young SP and City of Indio regulations (i.e. a public hearing before the Planning Commission and City Council).

Minor:

The Director of Community Development may make interpretations and minor modifications to the content of the Specific Plan when such interpretation does not result in a substantive alteration of these provisions.

Deviations of up to 10% of the development standards are considered minor modifications and may be granted administratively by the Director of Community Development or designated City official. Any decision is appealable to the Planning Commission. Deviations greater than 10% shall be subject to the City of Indio Municipal Code, Section 159.780 through 159.793 (Variances).

VII. DESIGN GUIDELINES

Architectural Guidelines

A variety of architectural styles are encouraged in the overall development such as California Contemporary, Mediterranean, and Spanish Colonial. Articulation within the elevations, varied colors and building heights and undulation in the building foot print are encouraged to provide a varied street scene.

The elevations, colors, materials, wall and landscape designs that are depicted in this document represent the allowable design themes including the design proposed for Phase 1A. Other themes will be considered for other phases. The final designs that will be submitted for review and approval will contain some of these concepts. Architectural styles using sloping roofs shall incorporate clay or concrete tile and or standing seam metal roofs.

The elevations have been designed with the desert environment in mind. All materials are selected for their ability to withstand the extreme temperature in the desert. The materials that withstand this environment well are stucco, tile and alternative wood products (i.e., trex) and aluminum for trellises. One guideline common to all allowable architectural styles is to build in as much passive solar control as possible with the building envelope design. When that is not practical, the design should incorporate permanent features that shade at least the larger windows and openings. All of the proposed developments will comply with California Title 24 requirements. Examples of acceptable architectural styles are shown in Exhibits 14 through 18.



N.T.S.
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EXHIBIT 14

Exhibit Date: 08/12/2010

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Architectural Styles - Multifamily Residential

Fred Young Specific Plan



Exhibit Date: 08/12/2010

EXHIBIT 14A

Architectural Styles - Multifamily Residential
 Fred Young Specific Plan

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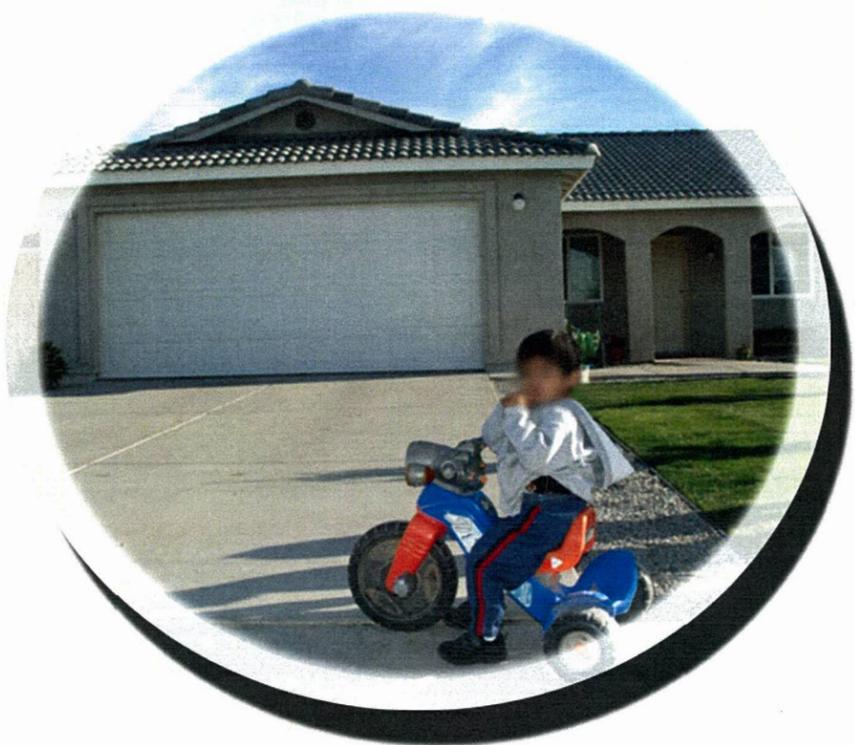
Exhibit Date: 08/12/2010

EXHIBIT 15

Architectural Styles - Single Family Residential
Fred Young Specific Plan

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N.T.S.
-39-

EXHIBIT 16

Exhibit Date: 08/12/2010



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Architectural Styles - Single Family Residential
Fred Young Specific Plan



N.T.S.
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EXHIBIT 17

Exhibit Date: 08/12/2010



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Architectural Styles - Single Family Residential
Fred Young Specific Plan

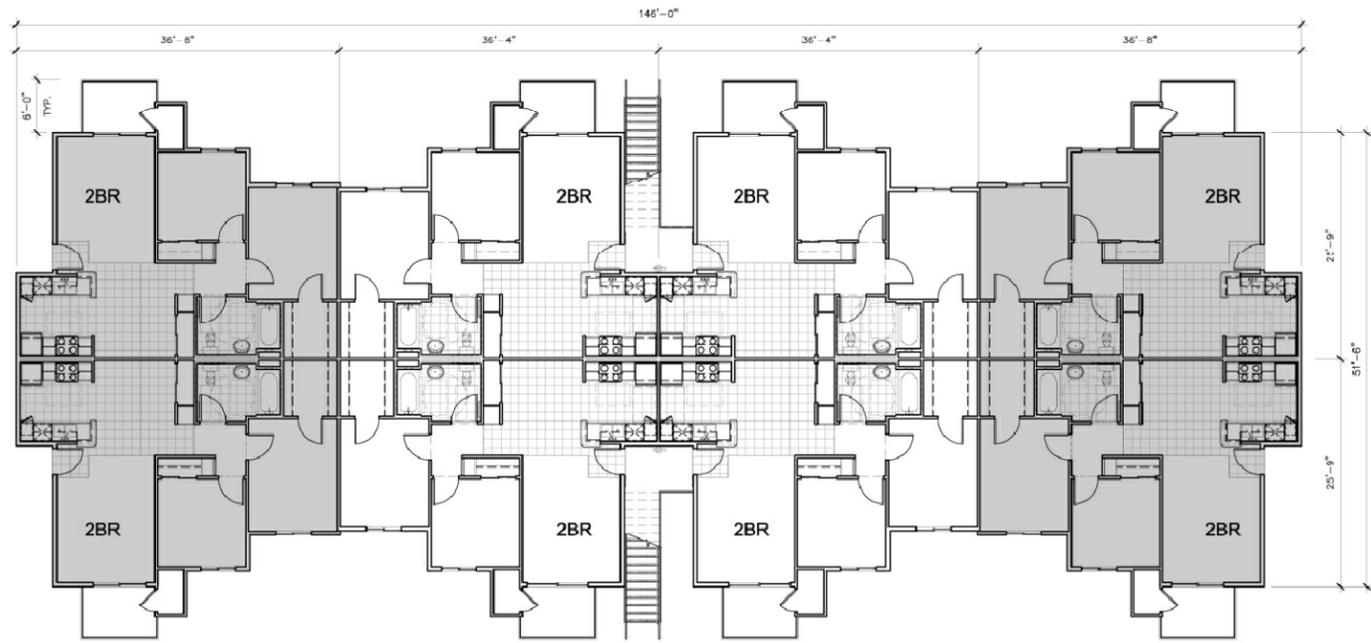


EXHIBIT 18

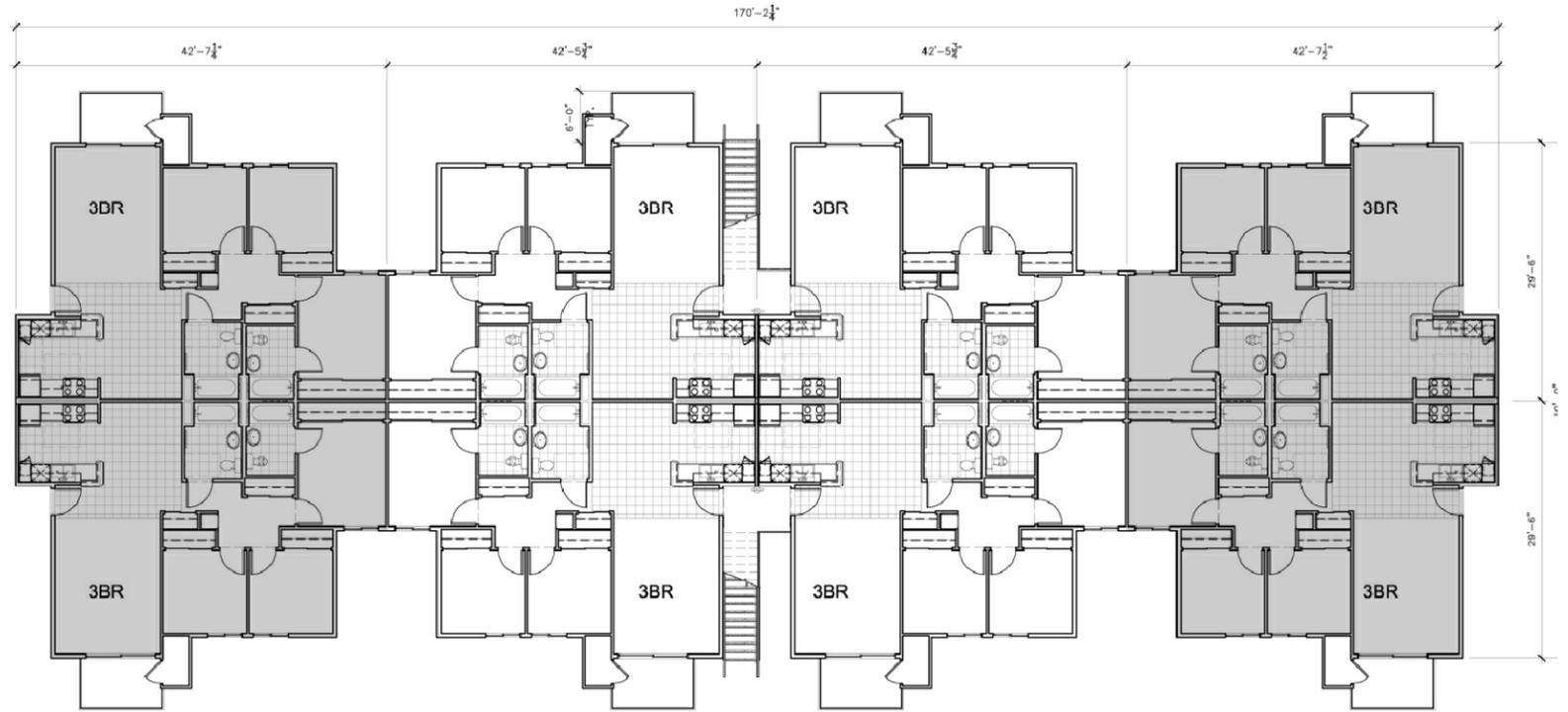
Architectural Styles - Mixed Use
Fred Young Specific Plan

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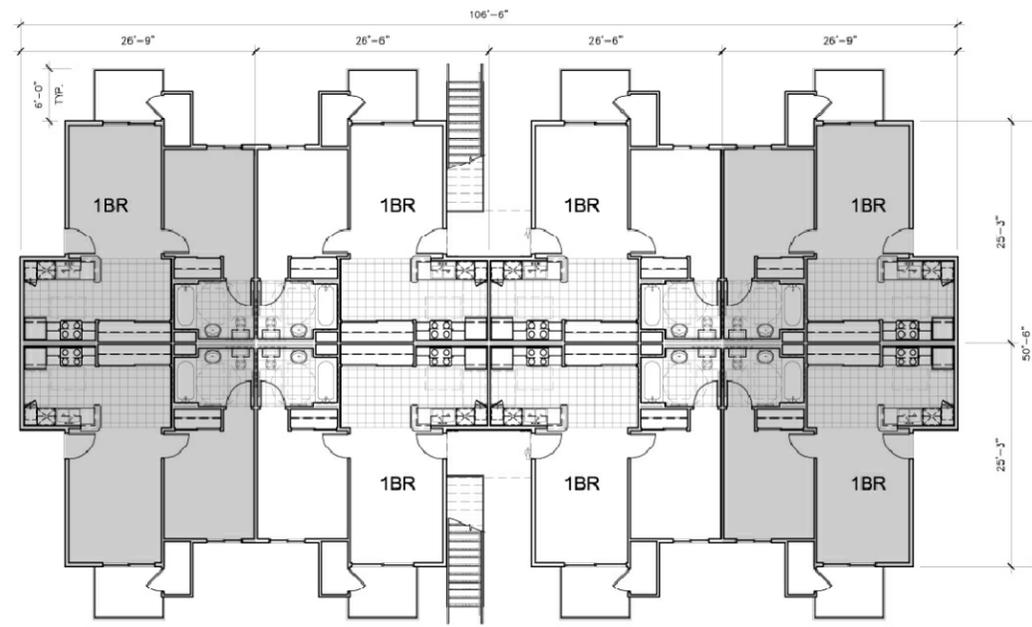




BUILDING #2
2 BEDROOM MODULE
FIRST/SECOND FLOOR
SCALE: 1/8" = 1'-0" ②



BUILDING #3 & #4
3 BEDROOM MODULE
FIRST/SECOND FLOOR
SCALE: 1/8" = 1'-0" ③



BUILDING #1
1 BEDROOM MODULE
FIRST/SECOND FLOOR
SCALE: 1/8" = 1'-0" ①

JOHN COTTON ARCHITECTS

3816 MAIN STREET
CULVER CITY CALIFORNIA 90232 (310)558-8616 PHONE (310)558-8676 FAX
WWW.JOHN COTTON ARCH.COM

N.T.S.
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EXHIBIT 19

Exhibit Date: 10/4/2010

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Conceptual Building Floorplans (1)
Fred Young Specific Plan

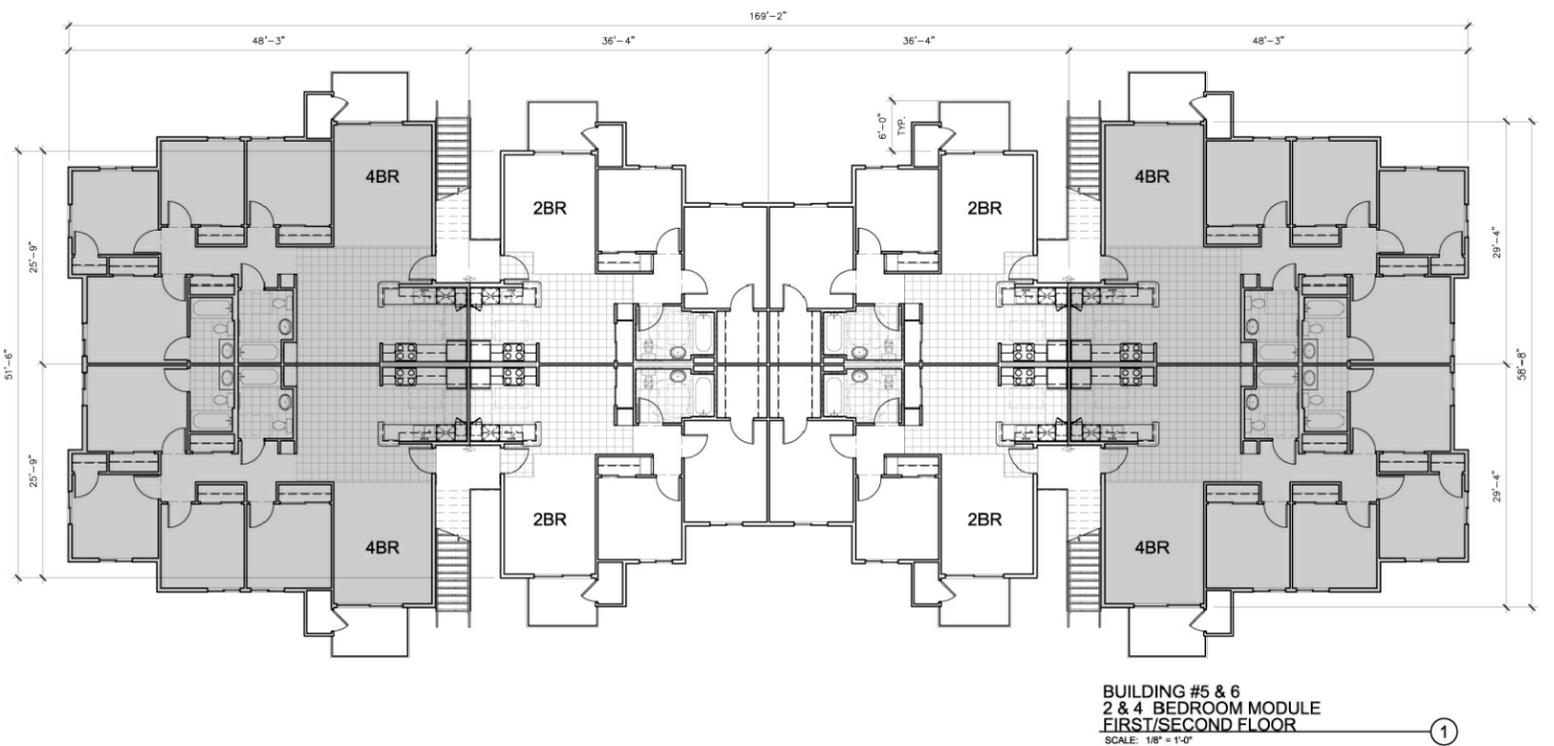
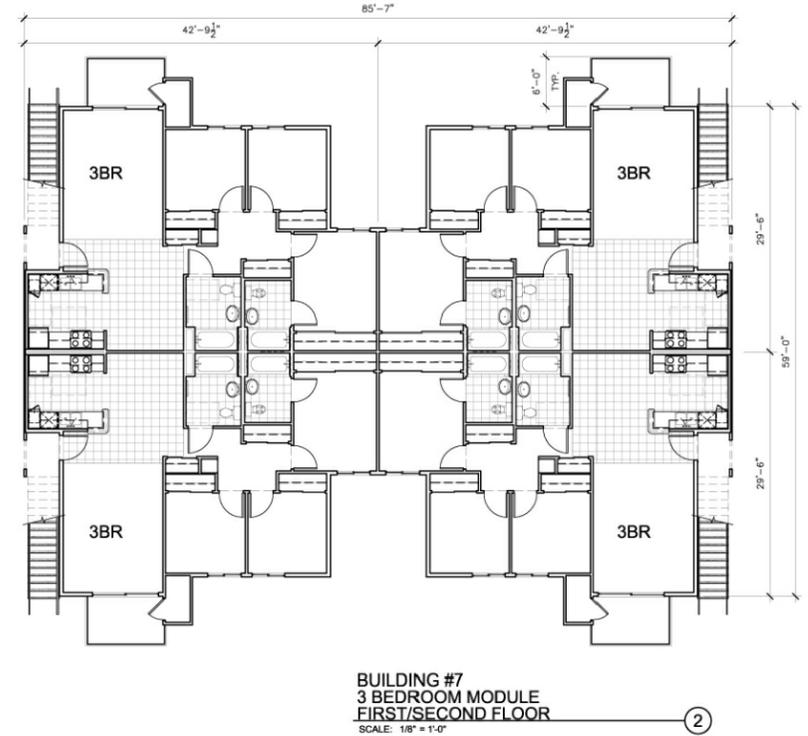
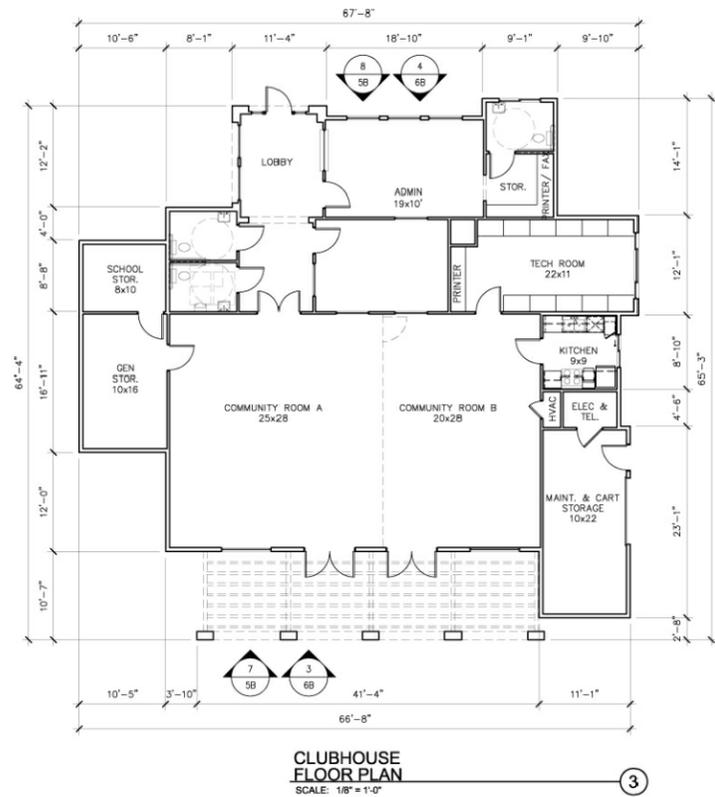


EXHIBIT 20

Conceptual Building Floorplans (2)
Fred Young Specific Plan

Exhibit Date: 10/4/2010

JOHN COTTON ARCHITECTS
3816 MAIN STREET
CULVER CITY CALIFORNIA 90232 (310)558-8616 PHONE (310)558-8676 FAX
WWW.JOHN COTTON ARCH.COM

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34200 BOB HOPE DRIVE ■ RANCHO MIRAGE ■ CA 92270
TELEPHONE (760) 320-9811 ■ FAX (760) 323-7893



N.T.S.
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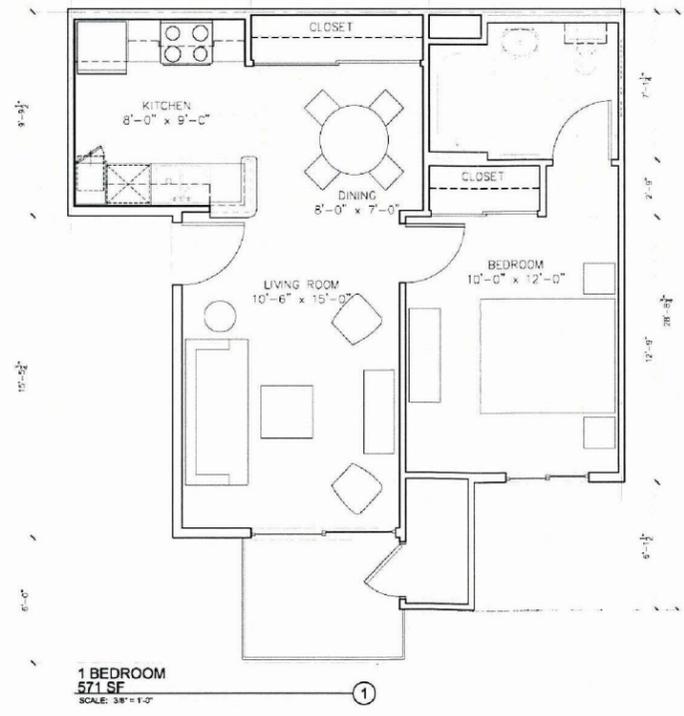
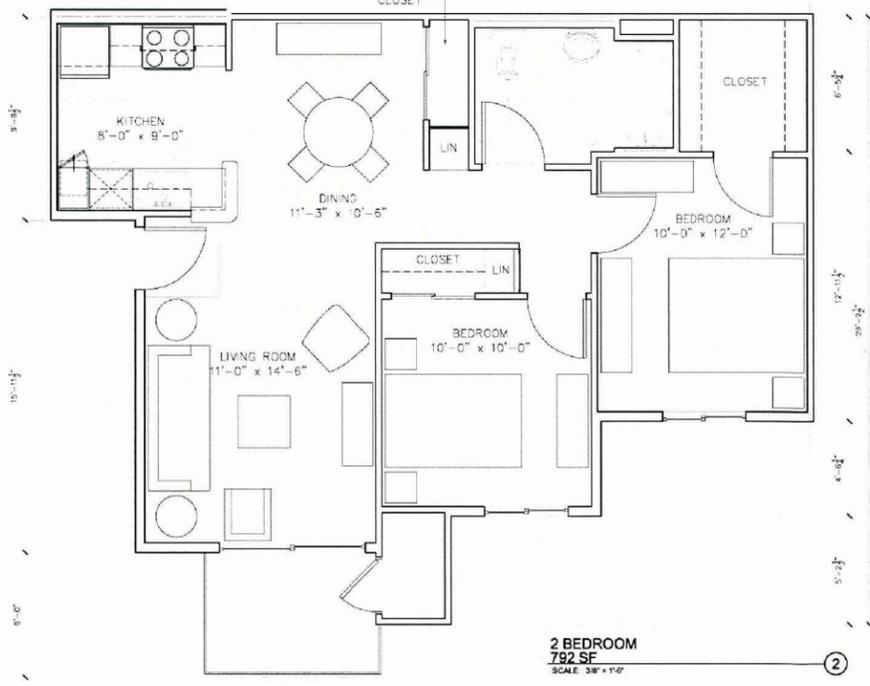
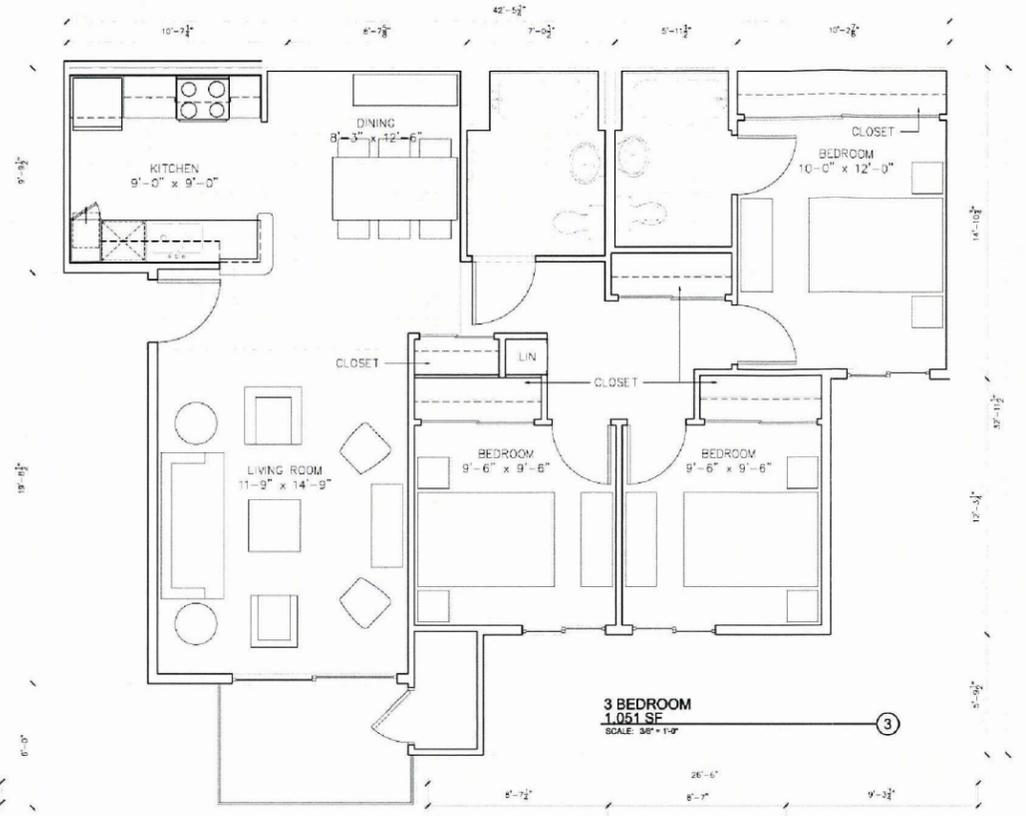
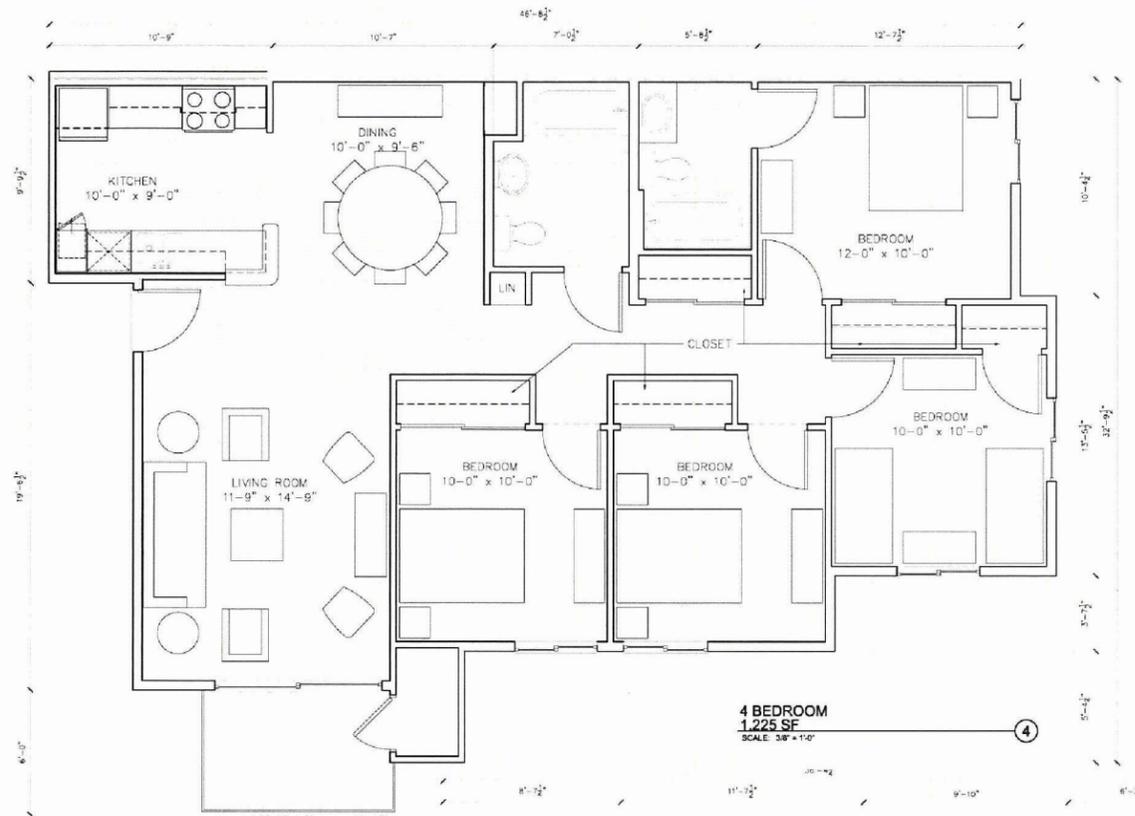


EXHIBIT 21

Building Floorplan Units

Fred Young Specific Plan

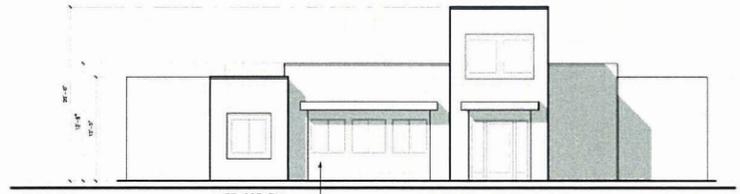
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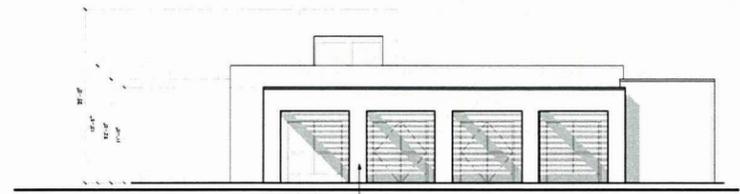


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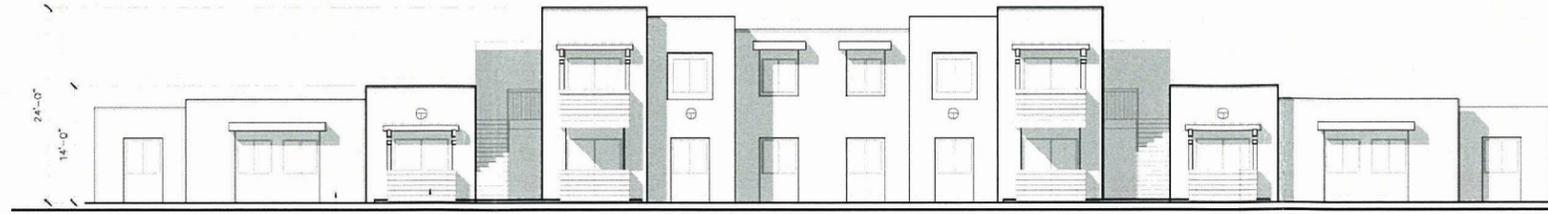
CLUBHOUSE
BACK ELEVATION
SCALE: 1/4" = 1'-0" ⑧



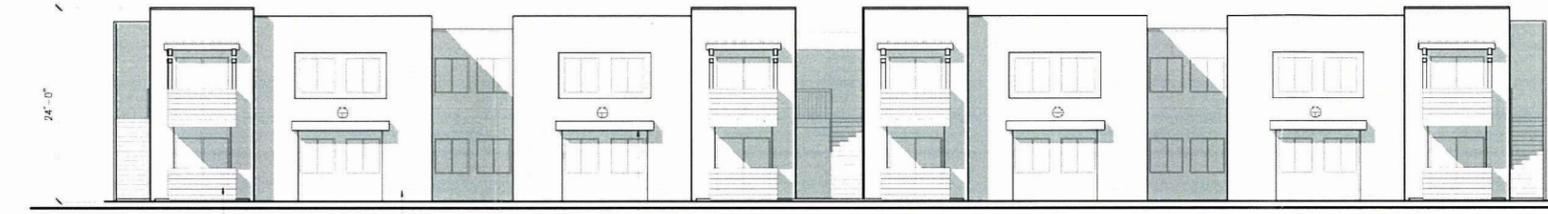
CLUBHOUSE
FRONT ELEVATION
SCALE: 1/4" = 1'-0" ⑦



FRONT ELEVATION BLDG #6
SCALE: 1/8" = 1'-0" ⑥



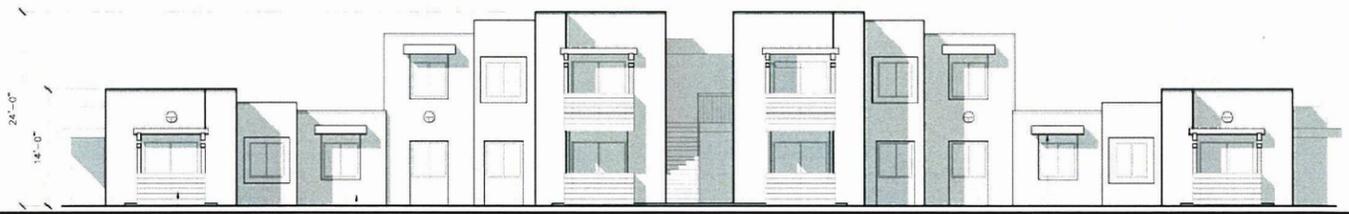
FRONT ELEVATION BLDG #5
SCALE: 1/8" = 1'-0" ⑤



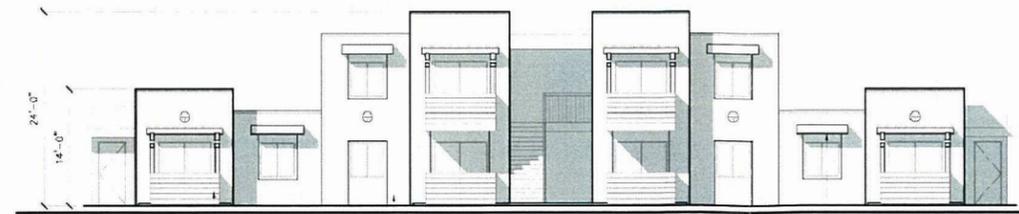
FRONT ELEVATION BLDG #4
SCALE: 1/8" = 1'-0" ④



FRONT ELEVATION BLDG #3
SCALE: 1/8" = 1'-0" ③



FRONT ELEVATION BLDG #2
SCALE: 1/8" = 1'-0" ②



FRONT ELEVATION BLDG #1
SCALE: 1/8" = 1'-0" ①

EXHIBIT 22

Building Elevations Fred Young Specific Plan

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EXHIBIT 23

Rendered Building Elevations Fred Young Specific Plan

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BUILDING #2
FRONT VIEW
SCALE: N.T.S.

①

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EXHIBIT 24

Exhibit Date: 10/4/2010

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Conceptual Architectural Perspective
Fred Young Specific Plan

Landscape Guidelines

The proposed landscape theme to be established for the street frontages captures the essence of early California desert design. The perimeter street scene will contain canopy and shade trees for the understory planting of desert shrubs and accent desert groundcovers. The meandering sidewalk will be enhanced by a variety of Palo Verde and Tipu trees and Palms along with desert shrubs and desert groundcover.

The planting design will provide movement to the ground plane and will make for an interesting parkway design. The parkway theme is continued into the interior of the project. The canopy trees will define the pedestrian pathways and gathering spaces. Trees and palms will complement the contemporary California desert theme. The retention areas will also be enhanced with landscaping, turf and decorative features.

The internal streets will be 32 feet in width; 24 foot drive aisle and an 8 foot parking lane on one side of the street. There will be a variety of canopy trees that will line the internal main circulation streets.

Canopy trees, patio and courtyard trees are just a few of the amenities that will be located around the structures. The master plant list is shown in Exhibit 25.

Wall and Fence Guidelines

Walls are a major component in achieving an overall community theme within the Fred Young project. Wall and fence materials will be designed to be compatible with adjacent architectural and landscape elements.

Perimeter and Community Walls

A combination of solid decorative walls and view fences will be used throughout the project. View fences will be utilized, where appropriate.

In keeping with the natural desert landscape theme the perimeter community walls will be an open view fence 6 feet in height. Along the western boundary a 6 foot masonry wall will be constructed as a buffer to the adjacent land uses.



Acacia salicina



Cercidium 'Desert Museum'



Hesperaloe parvifolia



Dodonea viscosa 'Purpurea'



Leucophyllum f. 'Green Cloud'



Tipuana Tipu



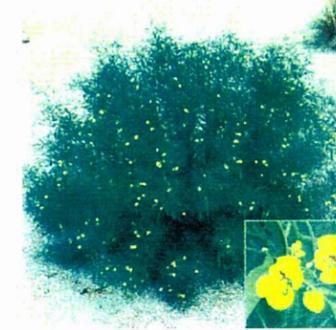
Acacia stenopylla



Muhlenbergia capillaris



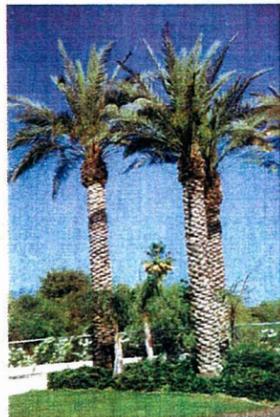
Caesalpinia pulcherrima



Cassia nemophila



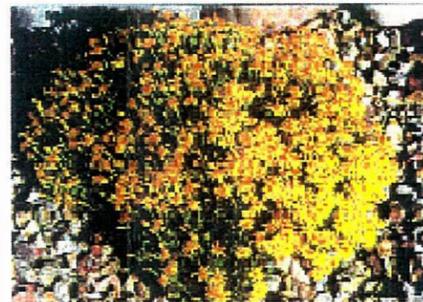
Chamaerops humilis



Phoenix dactylifera



Ruellia b. 'Katie'



Chrysactinia mexicana



Lantana montevidensis



Lantana 'New Gold'



Bougainvillea 'Barbara Karst'



Calliandra inaequilatera



Bougainvillea 'Oh La La'



Wedelia trilobata



Carissa g. 'Green Carpet'

CONCEPTUAL SPECIFIC
PLANT PALETTE
SCALE: N.T.S.

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RANCHO MIRAGE, CA 92270, (760)776-7151

EXHIBIT 25

Plant Palette
Fred Young Specific Plan

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Exhibit Date: 08/12/2010

N.T.S.
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Cercidium 'Desert Museum'



Tipuana Tipu



Acacia stenophylla



Acacia salicina



Phoenix dactylifera



Chamaerops humilis



Lantana montevidensis



Caesalpinia pulcherrima



Bougainvillea 'Oh La La'



Wedelia trilobata



Carissa g. 'Green Carpet'



Hesperaloe parvifolia



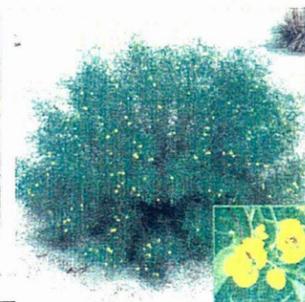
Dodonea viscosa 'Purpurea'



Muhlenbergia capillaris



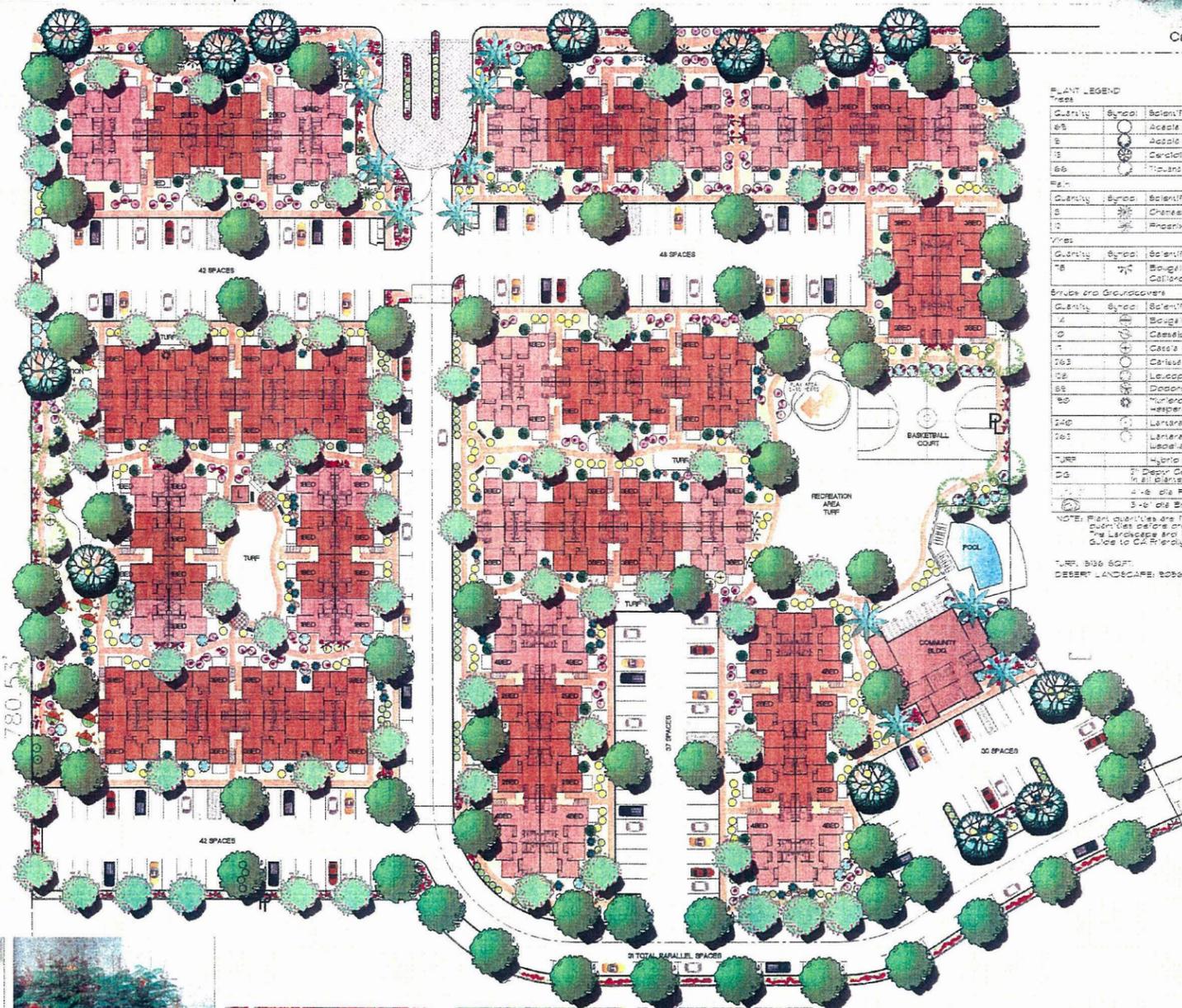
Leucophyllum f. 'Green Cloud'



Cassia nemophila



Lantana 'New Gold'



PLANT LEGEND

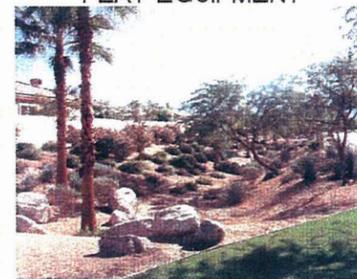
Quantity	Symbol	Scientific Name	Common Name	Planting Size
67	(Symbol)	Acacia salicina	White Acacia	36" Box
8	(Symbol)	Bougainvillea	Bougainvillea	36" Box
12	(Symbol)	Cercidium 'Desert Museum'	Desert Museum	36" Box
86	(Symbol)	Tipuana Tipu	Tipu Tree	36" Box
Trees				
5	(Symbol)	Chorizanthe humilis	Madagascar Fern	36" Box
12	(Symbol)	Phoenix dactylifera	Date Palm	8" H. Diamond Cut
Vines				
18	(Symbol)	Bougainvillea	Bougainvillea	36" Box
12	(Symbol)	Calliandra inaequalis	Pink Powder Puff	36" Box
Shrub and Groundcovers				
4	(Symbol)	Bougainvillea 'Oh La La'	Bougainvillea	5-Gal
10	(Symbol)	Caesalpinia pulcherrima	Queen Poinciana	5-Gal
1	(Symbol)	Cassia nemophila	Desert Cassia	5-Gal
163	(Symbol)	Cercidium g. 'Green Cloud'	Green Cloud	5-Gal
12	(Symbol)	Leucophyllum f. 'Green Cloud'	Texas Sage	5-Gal
88	(Symbol)	Dodonea viscosa 'Purpurea'	Red Bush	5-Gal
50	(Symbol)	Muhlenbergia capillaris	Regal Mist	5-Gal
140	(Symbol)	Hesperaloe parvifolia	Red Yucca	5-Gal
163	(Symbol)	Lantana montevidensis	Trailing Lantana	5-Gal
163	(Symbol)	Lantana 'New Gold'	New Gold Lantana	5-Gal
163	(Symbol)	Wedelia trilobata	Wedelia	5-Gal
Turf				
1	(Symbol)	Lynora Bermuda	Lynora Bermuda	500 sq. ft.
1	(Symbol)	4" x 8" x 1/2" Brown Cracked Granite	4" x 8" x 1/2" Brown Cracked Granite	500 sq. ft.
1	(Symbol)	4" x 8" x 1/2" Brown Cracked Granite	4" x 8" x 1/2" Brown Cracked Granite	500 sq. ft.
1	(Symbol)	3" x 6" x 1/2" Brown Cracked Granite	3" x 6" x 1/2" Brown Cracked Granite	500 sq. ft.

NOTE: Plant quantities are for estimating purposes only. Contractor to verify plant quantities before ordering and installing.
The Landscape Area includes all plants to be installed and all materials to be used in the Landscape Area.

TURF: 500 SQ. FT.
DESERT LANDSCAPE: 20000 SQ. FT.



PLAY EQUIPMENT



RETENTION AREA

CONCEPTUAL SPECIFIC LANDSCAPE PLAN



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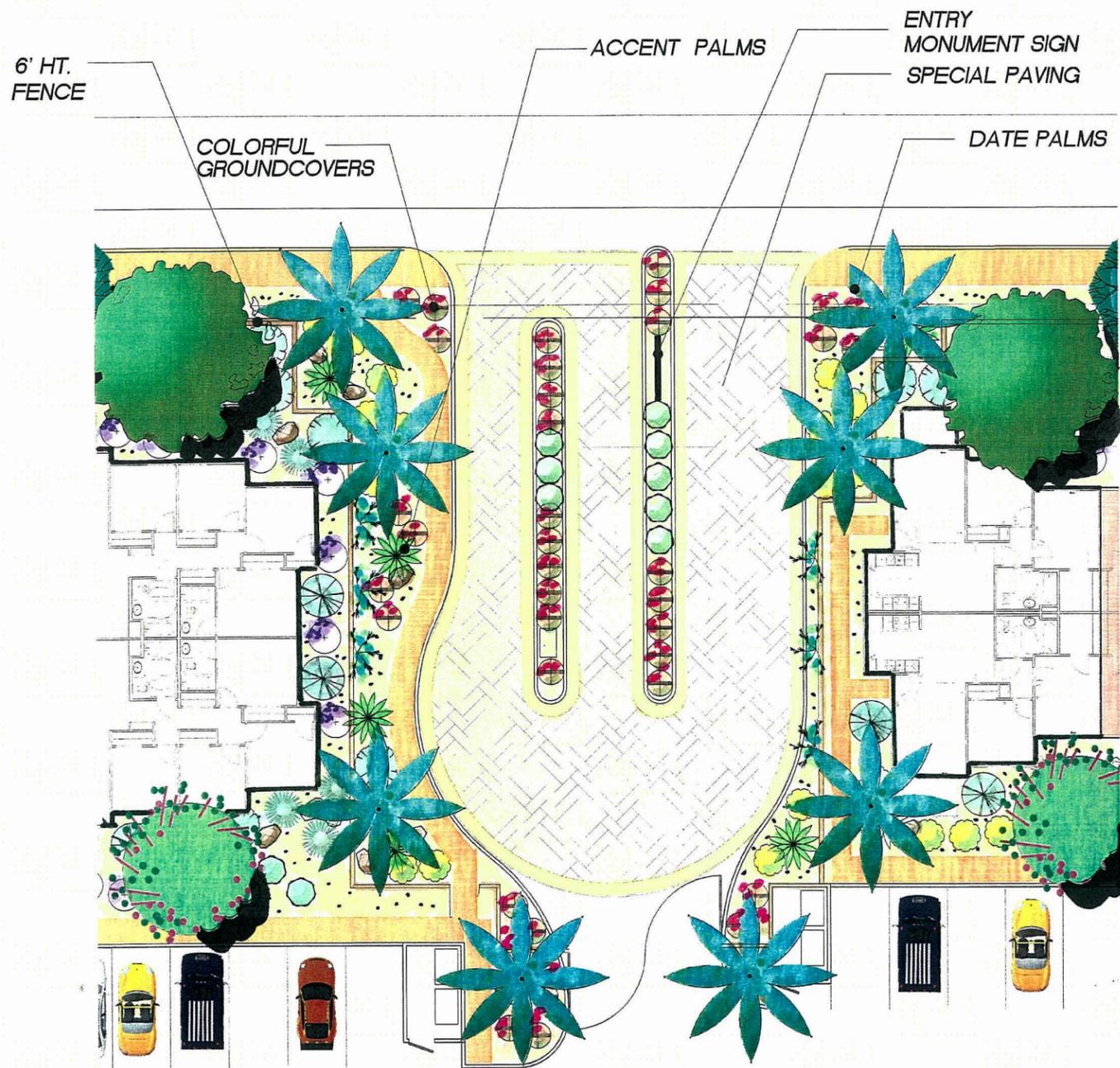
N.T.S.
-50-

EXHIBIT 26

Conceptual Landscape Plan
Fred Young Specific Plan

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34200 BOB HOPE DRIVE ■ RANCHO MIRAGE ■ CA 92270
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PLANT LEGEND FOR DR. CARREON MAIN ENTRY

Palm

Quantity	Symbol	Scientific Name	Common Name	Planting Size
8		<i>Phoenix dactylifera</i>	Date palm	18' HT. Diamond Cut
4		<i>Chamaerops humilis</i>	Mediterranean fan palm	36"-Box Multi tr.

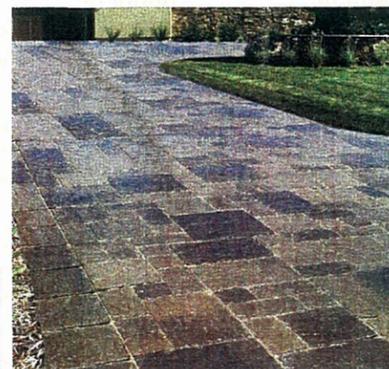
Vines

Quantity	Symbol	Scientific Name	Common Name	Planting Size
4		<i>Bougainvillea 'Barbara Karst'</i>	Bougainvillea	15-Gal esp. on wall
		<i>Calliandra inaequilatera</i>	Pink Powder Puff	

Shrubs and Groundcovers

Quantity	Symbol	Scientific Name	Common Name	Planting Size
45		<i>Bougainvillea 'Oh La La'</i>	Bougainvillea	5-Gal
8		<i>Carrisa g. 'Green Carpet'</i>	Green Carpet	5-Gal
17		<i>Lantana 'New Gold'</i>	New Gold lantana	5-Gal
PG		2" Depth Compacted 3/8" Minus Brimstone Decomposed Granite in all planters By Southwest Boulder and Stone		
		4'-6" dia. Fractured Granite Brown Cresta By Southwest Boulder and Stone		
		3'-6" dia Brown Cresta Boulders By Southwest Boulder and Stone		

NOTE: Plant quantities are for estimating purpose only. Contractor to verify plant quantities before ordering plant material. The Landscapes and Irrigation will conform to Ordinance No 2532 and Riverside



INTERLOCKING PAVERS



Bougainvillea 'Oh La La'



Chamaerops humilis



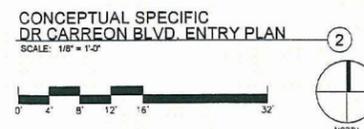
Phoenix dactylifera



Carrisa 'Green Carpet'



Lantana 'New Gold'



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RANCHO MIRAGE, CA 92270, (760)776-7151

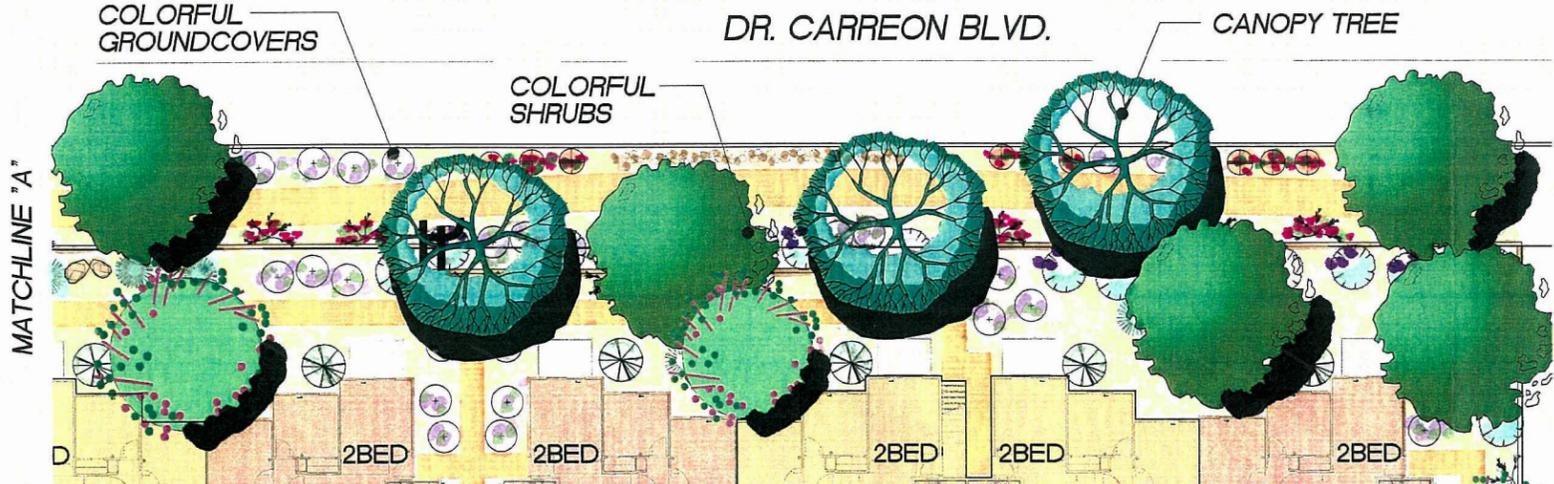
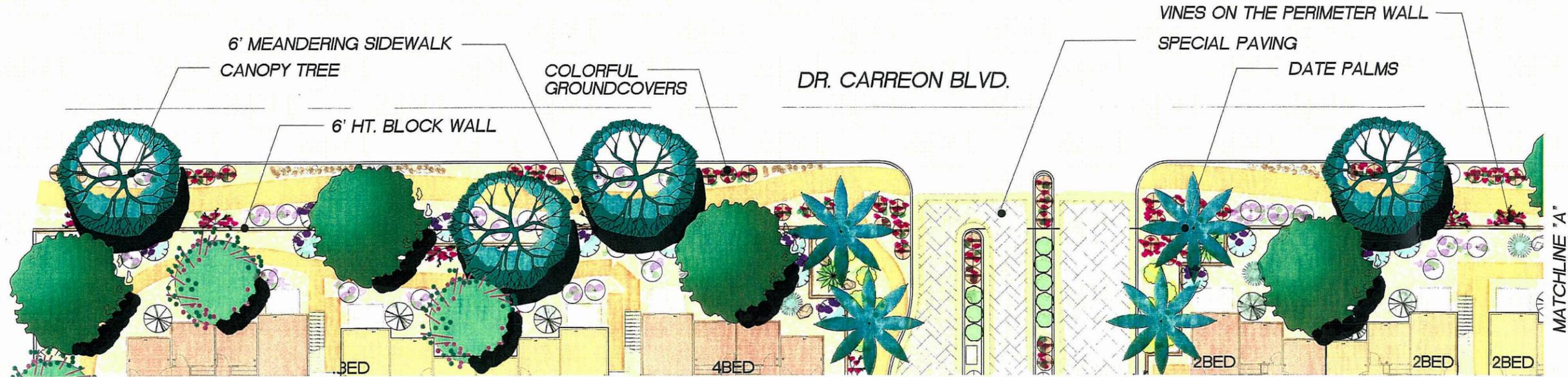


EXHIBIT 27

Dr. Carreon Boulevard Main Entry Landscape
Fred Young Specific Plan

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34200 BOB HOPE DRIVE ■ RANCHO MIRAGE ■ CA 92270
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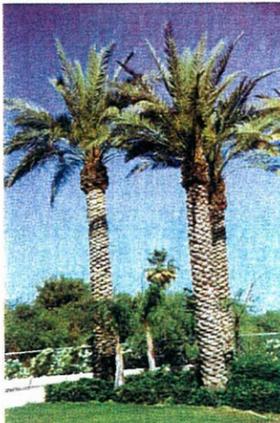


PLANT LEGEND FOR DR. CARREON BLVD. STREETSCAPE

Quantity	Symbol	Scientific Name	Common Name	Planting Size
1		<i>Cercidium hybrid 'Desert Museum'</i>	Hybrid palo verde	36"-Box Multi tr.
4		<i>Tipuana Tipu</i>	Tipu Tree	36"-Box
Palm				
2		<i>Phoenix dactylifera</i>	Date palm	18' HT. Diamond Cut
2		<i>Chamaerops humilis</i>	Mediterranean fan palm	36"-Box Multi tr.
Vines				
15		<i>Bougainvillea 'Barbara Karst'</i>	Bougainvillea	15-Gal esp. on wall
		<i>Calliandra inaequilatera</i>	Pink Powder Puff	
Shrubs and Groundcovers				
47		<i>Bougainvillea 'Oh La La'</i>	Bougainvillea	5-Gal
11		<i>Leucophyllum f. 'Green Cloud'</i>	Texas sage	5-Gal
6		<i>Hesperaloe parvifolia</i>	Red yucca	5-Gal
40		<i>Lantana montevidensis</i>	Trailing lantana	5-Gal
DG		2" Depth Compacted 3/8" Minus Erimstone Decomposed Granite in all planters By Southwest Boulder and Stone		
		4"-6" dia. Fractured Granite Brown Cresta By Southwest Boulder and Stone		
		3'-6" dia Brown Cresta Boulders By Southwest Boulder and Stone		

NOTE: Plant quantities are for estimating purpose only. Contractor to verify plant quantities before ordering plant material. The Landscape and Irrigation will conform to Ordinance No 8592 and Riverside

CONCEPTUAL SPECIFIC DR. CARREON BLVD. LANDSCAPE PLAN 3



Phoenix dactylifera



Chamaerops humilis



Cercidium 'Desert Museum'



Leucophyllum f. 'Green Cloud'



Lantana montevidensis



Hesperaloe parvifolia



Bougainvillea 'Oh La La'

EXHIBIT 28

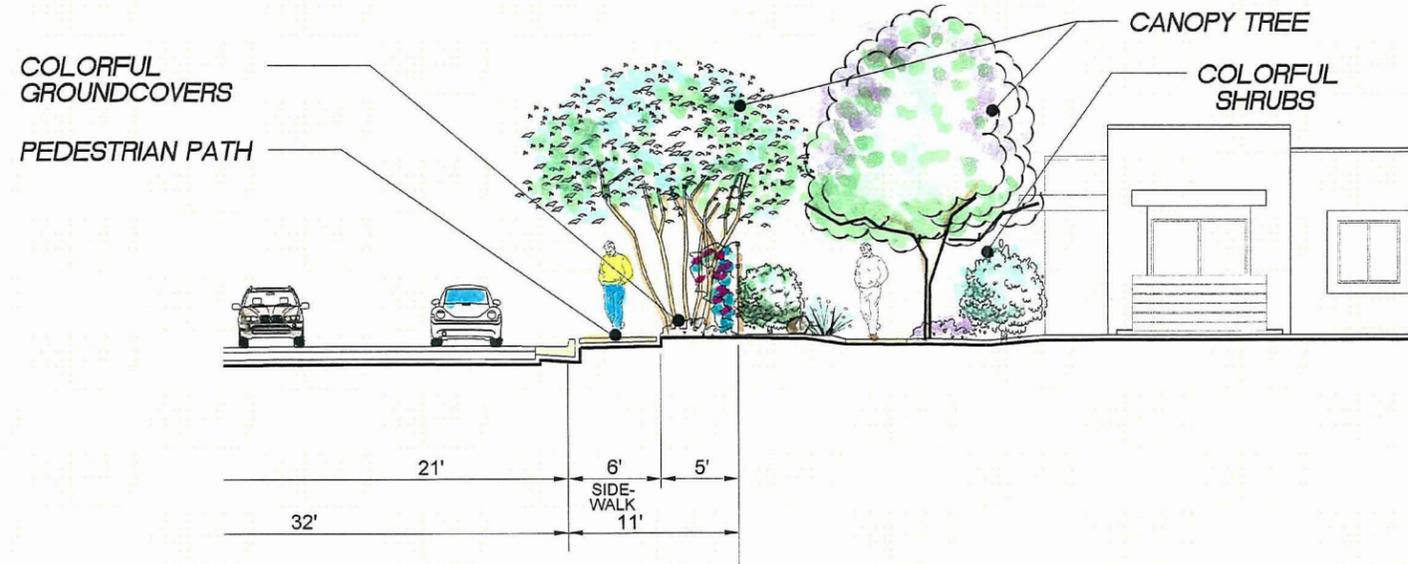
Dr. Carreon Boulevard Plan View Landscape
Fred Young Specific Plan

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34200 BOB HOPE DRIVE ■ RANCHO MIRAGE ■ CA 92270
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CONCEPTUAL SPECIFIC CROSS SECTIONS
SCALE: 1/4" = 1'-0"



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EXHIBIT 29

Exhibit Date: 08/12/2010

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Dr. Carreon Boulevard Landscape Cross-Section
Fred Young Specific Plan

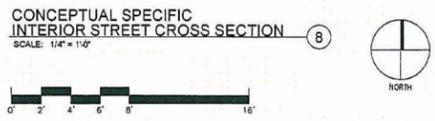
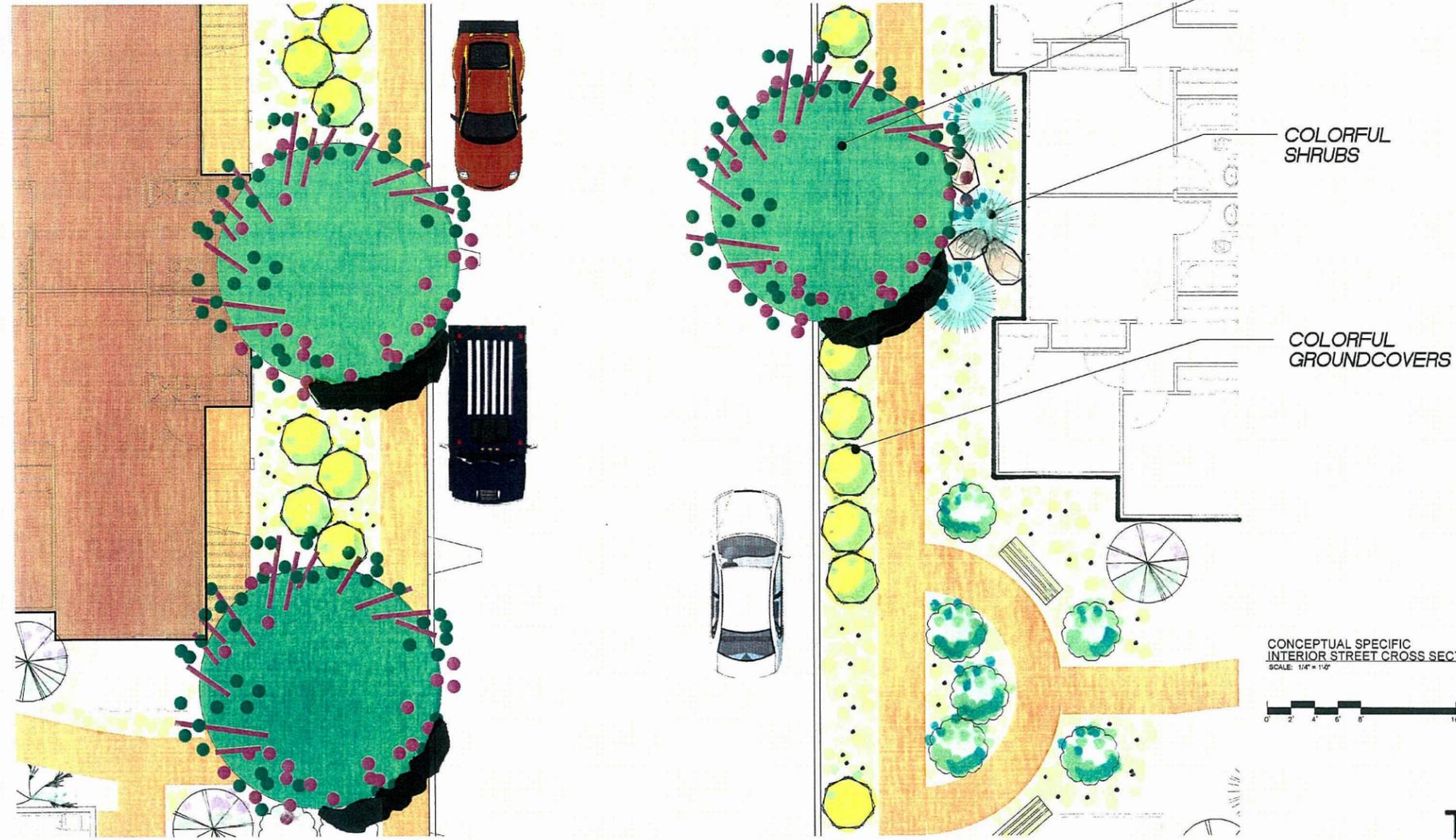
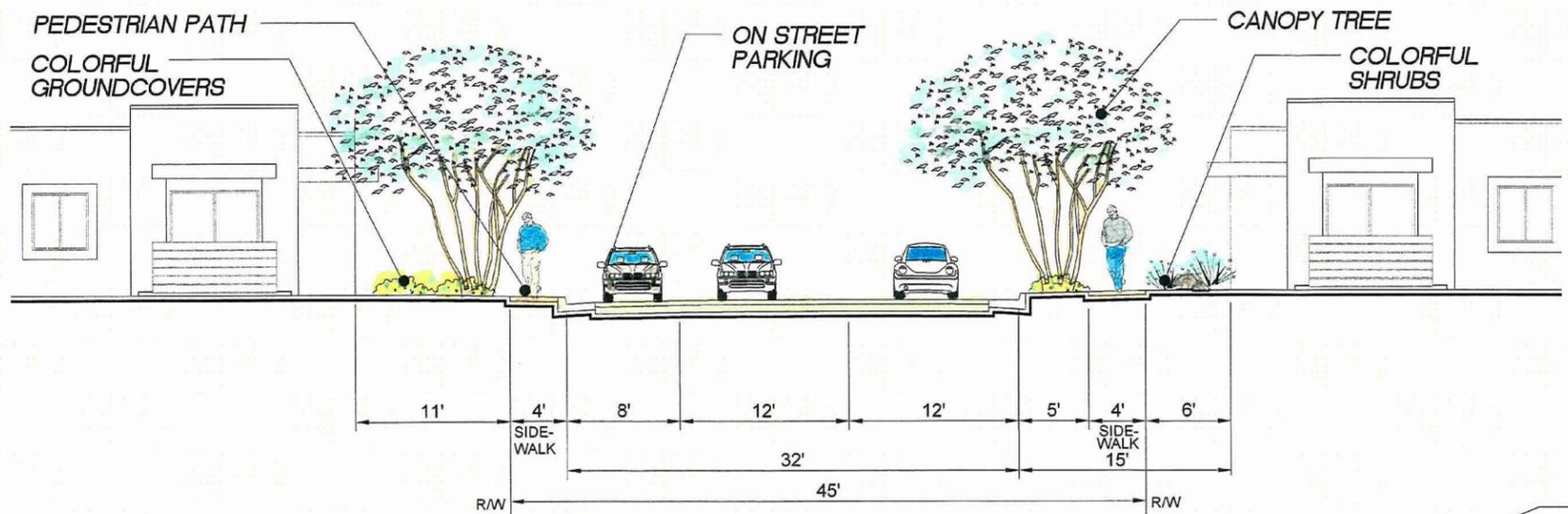


EXHIBIT 30

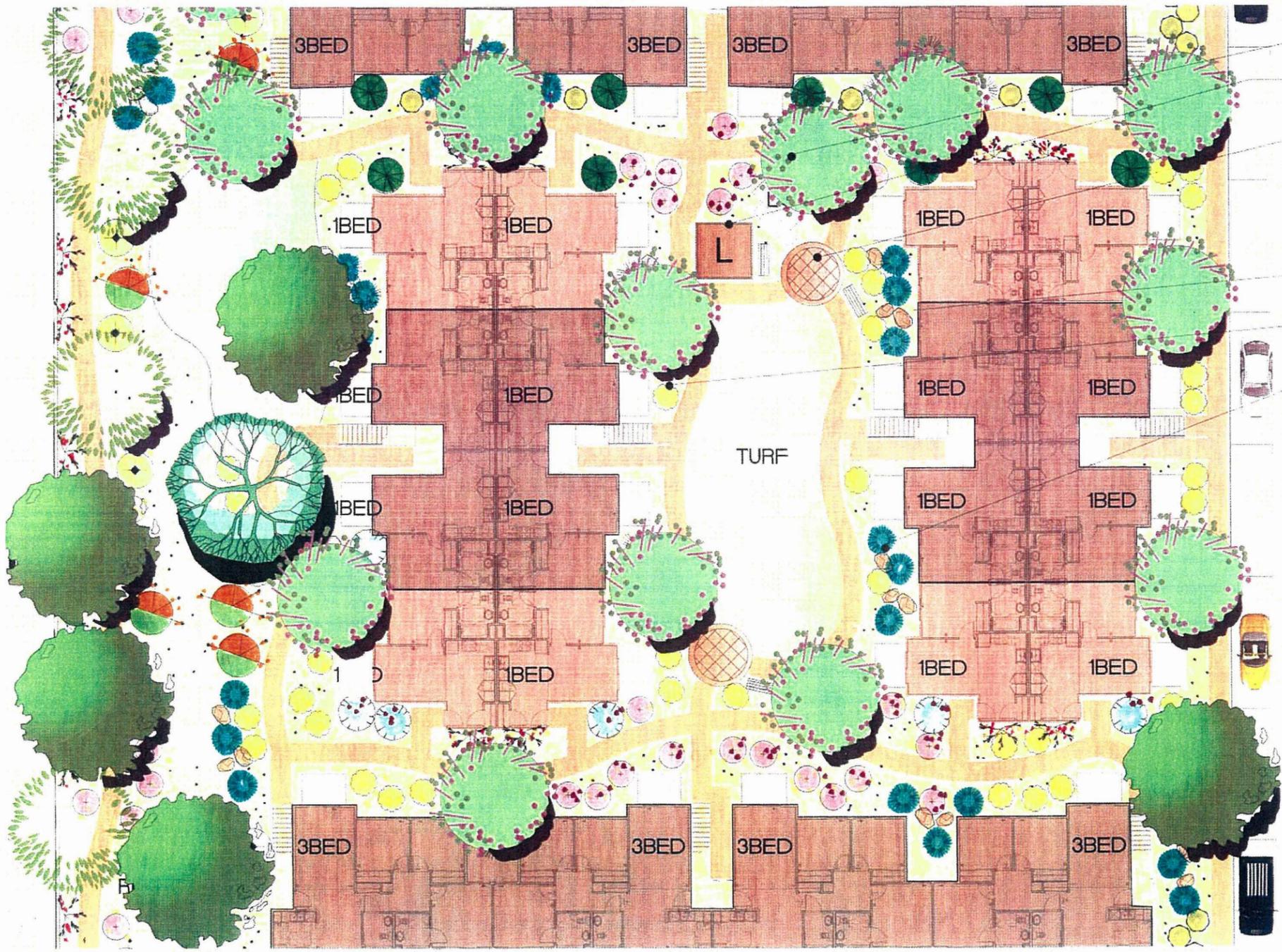
Interior Street Landscape Plan View and Cross-Section
 Fred Young Specific Plan

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- TOT LOT
- LAUNDRY BUILDING
- SPECIAL PAVING WITH SEATING AREA
- TYPICAL CANOPY TREES
- COLORFUL GROUNDCOVERS
- COLORFUL SHRUBS



TOT LOT



SPECIAL PAVING

TYPICAL UNIT LANDSCAPE PLAN
SCALE: 1/8"=1'-0"

CONCEPTUAL SPECIFIC
TYPICAL UNITS LANDSCAPE PLAN
SCALE: 1/8"=1'-0"



EXHIBIT 31

Typical Units Landscape Plan

Fred Young Specific Plan

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 NORTH
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 -55-

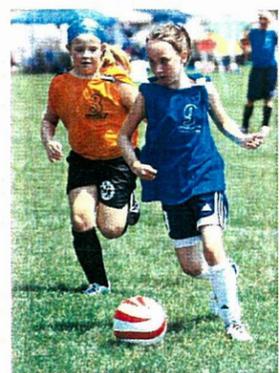


- TOT LOT
- COLORFUL SHRUBS
- VINES ON THE PERIMETER WALL
- CANOPY TREE
- COLORFUL GROUNDCOVERS
- DATE PALMS

PLANT LEGEND FOR RECREATION AREA

Trees				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
3		Acacia salicina	Willow acacia	36"-Box
5		Acacia stenophylla	Shoestring acacia	36"-Box
1		Tipuana Tipu	Tipu Tree	36"-Box
Palm				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
2		Chamaerops humilis	Mediterranean fan palm	36"-Box Multi tr.
4		Phoenix dactylifera	Date palm	18" HT. Diamond Cut
Vines				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
9		Bougainvillea 'Barbara Karst'	Bougainvillea	15-Gal esp. on wall
		Calliandra inaequilatera	Pink Foucher Fuft	
Shrubs and Groundcovers				
Quantity	Symbol	Scientific Name	Common Name	Planting Size
13		Bougainvillea 'Oh La La'	Bougainvillea	5-Gal
11		Cassia nemophila	Desert Cassia	5-Gal
30		Leucophyllum f 'Green Cloud'	Texas sage	5-Gal
5		Dodonaea viscosa 'Purpurea'	Hop bush	5-Gal
8		Muhlenbergia capillaris Hesperaloe parvifolia	Regal Mist Red Yucca	5-Gal
9		Lantana montevidensis	Trailing lantana	5-Gal
50		Lantana 'New Gold'	New Gold lantana	5-Gal
		Wedelia trilobata	Wedelia	
TURF		Hybrid Bermuda		
DG		2" Depth Compacted 3/8" Minus Brimstone Decomposed Granite in all planters By Southwest Boulder and Stone		
		4"-6" dia. Fractured Granite Brown Cresta By Southwest Boulder and Stone		
		3'-6" dia Brown Cresta Boulders Southwest Boulder and Stone		

NOTE: Plant quantities are for estimating purpose only. Contractor to verify plant quantities before ordering plant material.
The Landscape and Irrigation will conform to Ordinance No 2592 and Riverside Guide to CA Friendly Landscaping.



CONCEPTUAL SPECIFIC RECREATION AREA LANDSCAPE PLAN 5
SCALE: 1" = 10'-0"

FIELD PLAY AREAS



The above drawings, specifications, ideas, designs and arrangements represent the property of TKD Associates, Inc. and shall remain the property of TKD Associates, Inc. and shall not be used, copied, reproduced, or otherwise disseminated without the written consent of TKD Associates, Inc. All work shall conform to the specifications and standards of the California Building Code and all applicable laws and regulations. The contractor shall be responsible for obtaining all necessary permits and approvals. The contractor shall be responsible for the accuracy of the dimensions and quantities shown on these drawings. The contractor shall be responsible for the accuracy of the dimensions and quantities shown on these drawings. 2009 ©

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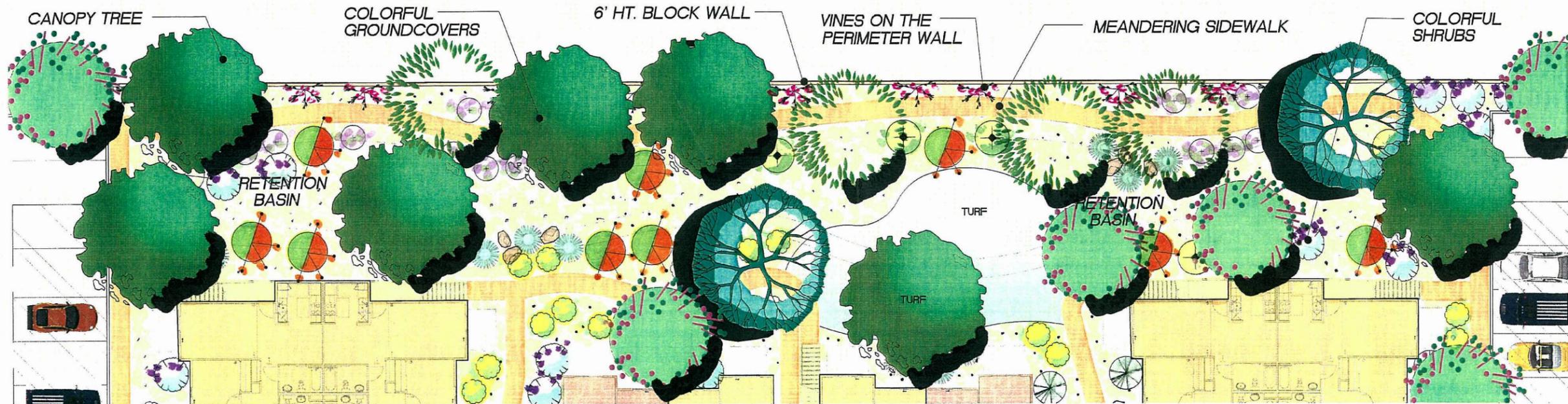
EXHIBIT 32

Recreation Area Landscape
Fred Young Specific Plan

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Exhibit Date: 08/12/2010



RETENTION BASIN PLAN
SCALE: 1/8"=1'-0"



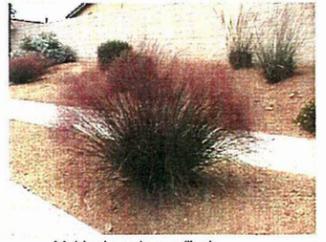
Acacia salicina



Tipuana Tipu



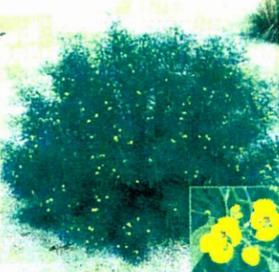
Cercidium 'Desert Museum'



Muhlenbergia capillaris



Leucophyllum f. 'Green Cloud'



Cassia nemophilla



Caesalpinia pulcherrima



Lantana montevidensis



Lantana 'New Gold'

PLANT LEGEND FOR RETENTION AREA

Trees

Quantity	Symbol	Scientific Name	Common Name	Planting Size
4	○	Acacia salicina	Willow acacia	36"-Box
4	○	Acacia stenophylla	Shoestring acacia	36"-Box
2	○	Cercidium hybrid 'Desert Museum'	Hybrid palo verde	36"-Box Multi tr.
1	○	Tipuana Tipu	Tipu Tree	36"-Box

Vines

Quantity	Symbol	Scientific Name	Common Name	Planting Size
11	—	Bougainvillea 'Barbara Karst'	Bougainvillea	15-Gal esp. on wall
	—	Calliandra inaequilatera	Pink Powder Puff	

Shrubs and Groundcovers

Quantity	Symbol	Scientific Name	Common Name	Planting Size
10	⊗	Caesalpinia pulcherrima	Dwarf poinciana	5-Gal
9	⊕	Cassia nemophila	Desert Cassia	5-Gal
15	⊗	Leucophyllum f. 'Green Cloud'	Texas sage	5-Gal
9	⊗	Muhlenbergia capillaris	Regal Mix	5-Gal
		Hesperaloe parviflora	Red yucca	
23	○	Lantana montevidensis	Trailing lantana	5-Gal
15	○	Lantana 'New Gold'	New Gold lantana	5-Gal
		Wedelia trilobata	Wedelia	
TURF		Hybrid Bermuda		
DG		2" Depth Compacted 3/8" Minus Brimstone Decomposed Granite in all planters By Southwest Boulder and Stone		
		4"-6" dia. Fractured Granite Brown Cresta By Southwest Boulder and Stone		
		3'-6' dia Brown Cresta Boulders By Southwest Boulder and Stone		

NOTE: Plant quantities are for estimating purpose only. Contractor to verify plant quantities before ordering plant material. The Landscape and Irrigation will conform to Ordinance No 8592 and Riverside Guide to CA Friendly Landscaping.

CONCEPTUAL SPECIFIC RETENTION BASIN LANDSCAPE PLAN (4)



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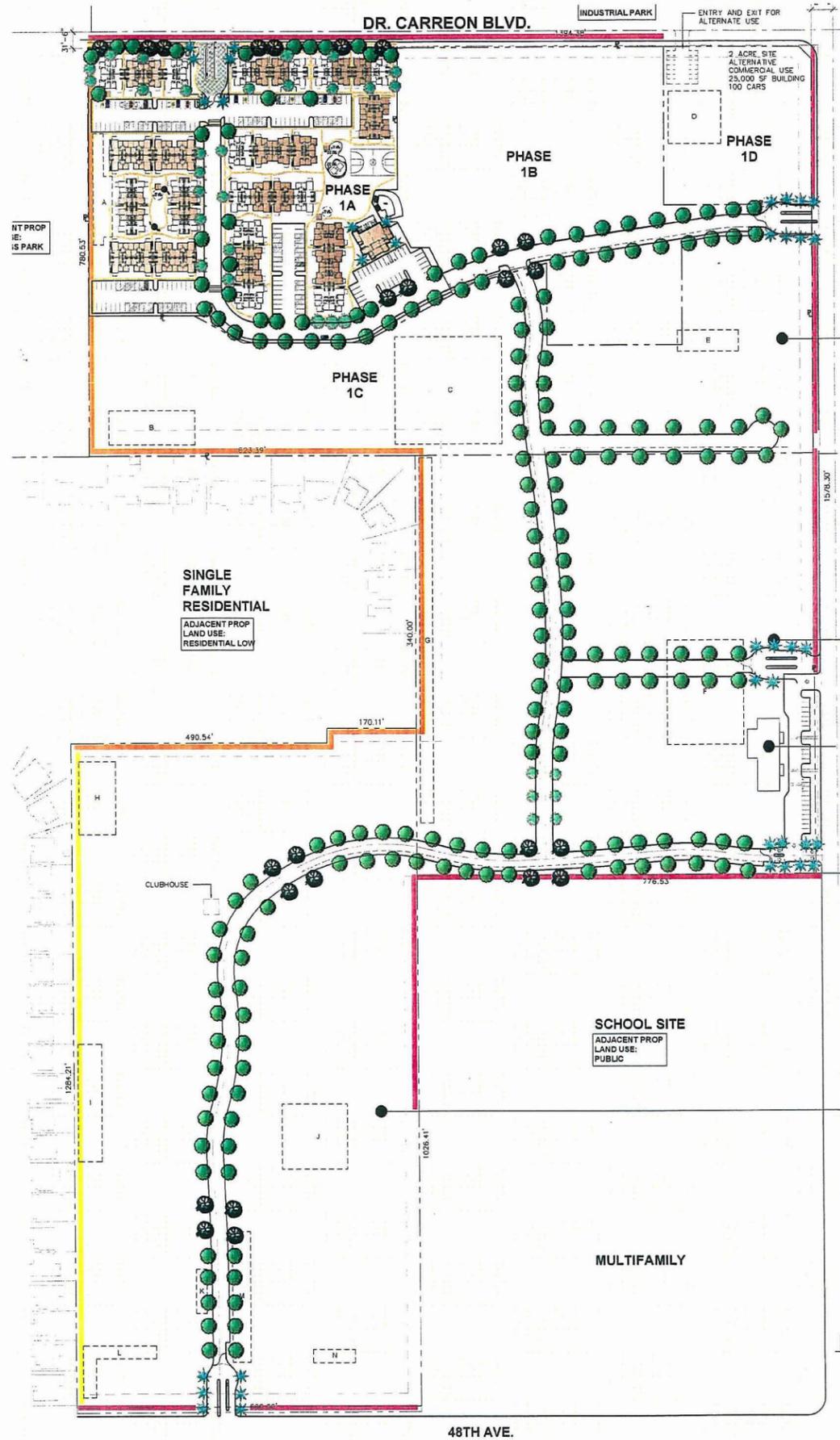
EXHIBIT 33

Retention Basin Landscape
Fred Young Specific Plan

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LEGEND

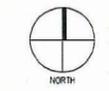
- EXISTING BLOCK WALL
- PROPOSED 6' HT. VIEW FENCE
- PROPOSED 6' HT. BLOCK WALL

PHASE I
24.7 ACRES
500 UNITS
650 CARS

PHASE I
14.1 ACRES
286 UNITS
372 CARS

PHASE III
19.4 ACRES
393 UNITS
511 CARS

MASTER PLAN
SCALE: 1" = 100'-0"



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EXHIBIT 34

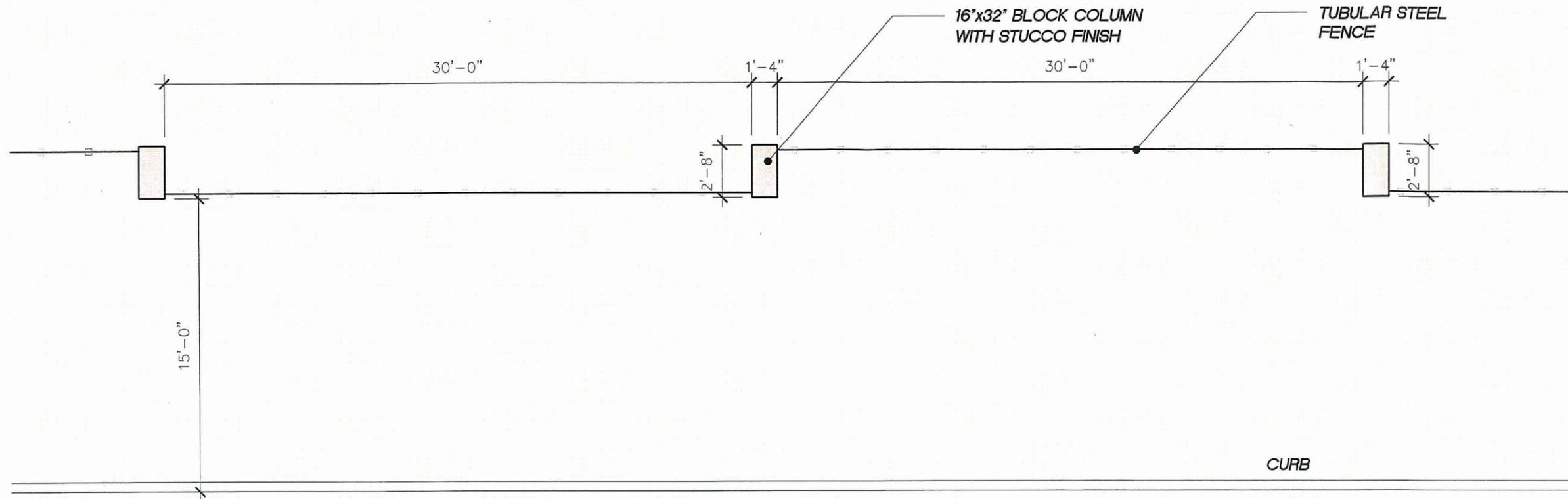
Wall and Fence Plan
Fred Young Specific Plan

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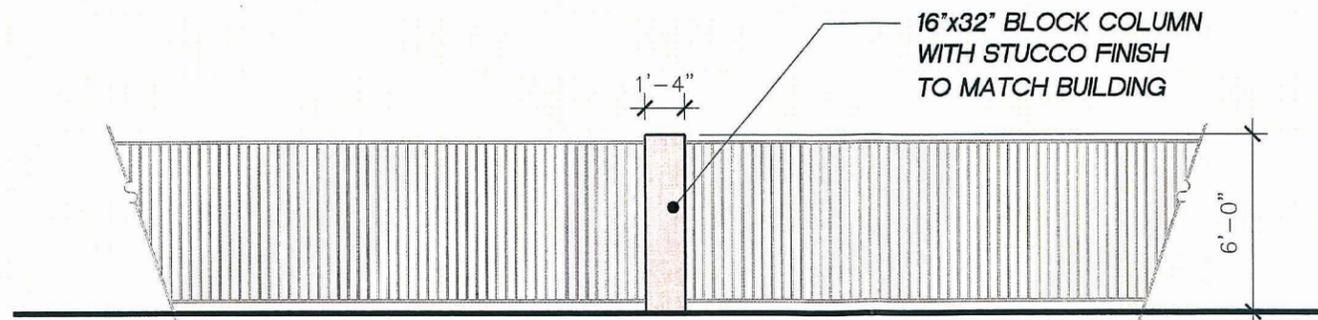
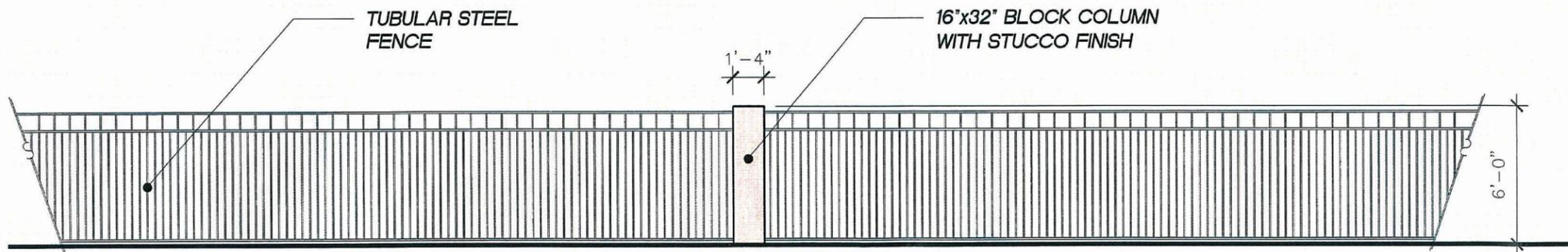


Exhibit Date: 08/12/2010

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PERIMETER WALL PLAN DETAIL
SCALE: 1/2"=1'-0"



CONCEPTUAL SPECIFIC PERIMETER FENCE PLAN AND DETAIL
SCALE: 1/2"=1'-0"



FENCE ELEVATION
SCALE: 1/2"=1'-0"

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EXHIBIT 35

Exhibit Date: 08/12/2010

Fence Plan View and Elevation
Fred Young Specific Plan

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LIGHTING LEGEND

QTY.	SYM.	FIXTURE	COMMENTS
71	⊕	CYCLONE LIGHTING INC. MODEL: LIGHT-CY1905-PR3-LAF-100MH-120V-SI-RAL3011-PC POST-PA40-12-TB-3512-RAL3011-DU	POST LIGHT
12	⊙	CYCLONE LIGHTING INC. MODEL: CBM 1152-T5 WATT-RAL3011	BOLLARD LIGHT
4	⊏	KIM LIGHTING MODEL: 4305DB-32WATT-FL-T-8	SIGN UP LIGHT
10	⊕	SPJ16-04 ELECTRICAL: 120V, LAMP: 10 WATT LED PALM LIGHT	MOUNTING: 1/2" NPT. (MODEL#SPJ19-03) SOCKET: PORCELAIN MEDIUM BASE COLOR: GUN METAL

NOTES: LIGHTING CONTRACTOR TO VERIFY LIGHTING COUNT BEFORE ORDERING FIXTURES.



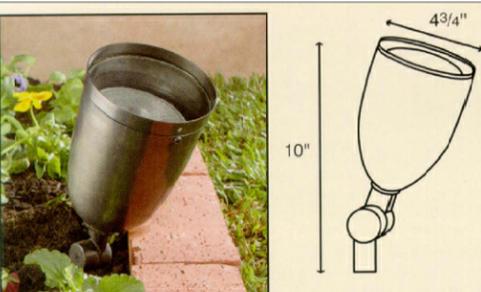
EXHIBIT 38

Lighting Plan Fred Young Specific Plan

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Exhibit Date: 10/4/2010



Shown: Gun Metal / Par 30 Bullet. Tempered Lens & Cover Included.
Model: SPJ16-04
Mounting: 1/2" NPT. (Model# SPJ19-03
"Perma Post" Recommended)
Socket: Porcelain Medium Base
Electrical: 120V
Lamp: Specify

CY19

Weight: 27 lbs
EPA: 1.97 ac-ft
Slip fit on 4" x 3" long limes

DESCRIPTION

A heavy duty aluminum post, tapered reflector-mounted, clear or bronze reflector for superior performance. The reflector is equipped with a cast aluminum mounting ring & decorative arm. The luminaire is the only one of its kind that is designed to be a simple operation and the luminaire has "PERMA POST" recommended for the long and to the ballast components. The ballast components are assembled on a "TOOL FREE" removable tray.

ORDERING INFO

Finish: **FR** - High reflective chrome
CR - Chrome
BL - Black
GR - Gun Metal
WH - White
BR - Bronze
SS - Stainless Steel

Options: **PC** - Polycarbonate lens
HS - House side shield
TS - Tempered glass

Tool-Free System

ORDERING EXAMPLE

CY19-05-PR3-LAF-100MH-120V-SI-RAL3011-PC-PA40-12-TB-3512-RAL3011-DU

SPECIFICATIONS

Housing: One piece extruded aluminum with die cast aluminum ends.

Ballast: One piece extruded aluminum with locking feet; one 1/2" NPT plus solid brass lock for mounting. Clear anodized or for chrome match connection coating for added corrosion resistance.

Reflector: Specular Alum.

Lens: Clear flat acrylic. Fully gasketed, retained by a precision extruded aluminum rail with recessed captive set screw fasteners.

Socket: Medium spin mounted on reflector.

Wiring: Factory gasketed with No. 18AWG rated 150°C, extra enclosed from receiver base.

Ballast: Electronic ballast 0" starting.

Finish: Gun Metal. Chromed collector powder coat paint, 2.5 mil nominal thickness applied over a chromic conversion coating, 2500 hour salt spray test endurance rating. Standard colors are Black (BL), Dark Bronze (DB), Verde Green (GR), and White (WH).

Certification: UL Listed to U.S. and Canadian safety standards for wall locations. Fixture manufacturer shall be registered to ISO 9001.

ORDERING INFORMATION

Cat. No. Voltage / Lamp

4305*BL 32W

4305*DB 32W

4305*GR 32W

4305*WH 32W

* Specify 077 volts for 077V to Cal. No. Fixtures 4305*77BL

PHOTOMETRIC DATA

See page 98

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N.T.S.
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VIII. INFRASTRUCTURE PLANS

Circulation

Van Buren Street was designated as an Augmented Major when the improvements were installed. Since then the street has been re-designated as a Collector in the General Plan Circulation Element. As a cost saving measure (removal and replacement of the existing street improvements), the improvements will remain but an additional 13 feet of right of way will need to be dedicated. A new 6' sidewalk will be added. This street forms the eastern boundary of the site.

Dr. Carreon Boulevard is designated a Collector street and is 64 feet in ultimate width. There is an existing 30 foot half street dedication; therefore there will be an additional 2 feet of dedication required. Within the development the streets will be privately owned and maintained by the developer, CVHC. The main entry will be 60 foot wide (curb to curb) and the internal streets will be 32 feet in width, with parking allowed on one side. The site will be gated and residents and visitors will use transponders or pass keys to gain entry. See Circulation Exhibit 39.

The on-site circulation system will be established in the specific plan as several connecting roadways with multiple points of side access. The site access points are proposed to be gated with visitors directed to the main entry on Dr. Carreon. The individual development areas will then have parking courts arranged to provide resident and emergency access around each building cluster. The commercial center will have access to the general public from both Dr. Carreon and Van Buren Street.

Water Service Plan

The Indio Water Authority will provide water for the project. Indio serves over 14,150 residents and businesses, consuming approximately 6.0 billion gallons of water per year. The water system source is derived from 17 ground water wells. The system includes four (4) groundwater production plants that incorporate 3 wells, a 2 million-gallon above ground steel tank reservoir and a booster station that supplies the flow of pressure into the distribution system. There are five (5) additional well sites, located in other areas of the city that are independent of the reservoir sites.

There is an 8" ACP water main located in the south side of 47th and on the east side of Van Buren. There is also an 8" main in the north side of 48th. A 10-inch line west of Harrison Street approximately ½ mile from the project site on the north side of Avenue 44 is the current nearest point of connection. Proposed water service is shown on Exhibit 41.

Sewer Service Plan

Valley Sanitary provides wastewater services for the City in this area. The treatment plant is located at 4550 Van Buren Street. The District currently treats 6.2 mgd (million gallons per day). The plant has a capacity of 8.5 mgd. Normal extensions and service laterals on site will be required to serve the development. There is a single gravity sewer line located in the north side of 47th. There are 2 gravity sewer lines in Van Buren. One on the west side and another that aligns with the Van Buren centerline. There are 3 gravity sewer lines located in 48th.

The project sanitary sewer generation is on service unit or 300 gallons per day per residence. At maximum buildout (950 residences) the project will generate 360,000 gallons of waster per day. The District indicates that there is sufficient capacity to handle the flow generated by the project. Proposed sanitary sewer service is shown on Exhibit 42.

Electrical Service Plan

Imperial Irrigation District provides electrical power to this site. Overheard electrical power is present on the north side of Dr. Carreon, on the east side of Van Buren, and on the south side of 48th. The lines will be placed underground during the phased construction.

Storm Drain

There was no storm drain found.

BOR Irrigation

There were no BOR/Irrigation laterals found. Plat information show old lines as having been abandoned.

Other Utility Providers

Telephone:

The local provider is Verizon. Both overhead and underground facilities can be found on the north side of Dr. Carreon. Underground facilities are located in the west side of Van Buren, and along the south side of 48th.

CATV:

The local provider is Time Warner Cable (TWC). Overhead cable is present on the north side of Dr. Carreon and along the east side of Van Buren. There is cable on 48th, but not along the project boundary.

Gas:

The local provider is The Gas Company. There is no gas located in Dr. Carreon. There is a 3" medium pressure gas main located in the east side of Van Buren. There is 4" medium pressure gas main located in the north side 48th (Exhibit 43).

Grading and Drainage

The site is partially developed and has been previously disturbed. There are a series of retention basins proposed. The basins will retain the storm water that falls on the site. De-watering of the basins will occur with dry wells or elevated playing fields as the basins will serve dual purposes. It is anticipated that the grading will balance on the site. The project will also be in compliance with PM-10 and SWPPP regulations and the Water Quality Management Plan (WQMP) regulations. See Exhibit 44.

Flood Control - Hydrology

The Coachella Valley Water District provides regional storm water protection for Indio. Localized storm water regulation is the responsibility of the City of Indio. It is the policy of the City that individual developments retain the incremental increase of storm water on-site and the existing run-off can continue to drain to the existing facilities.

As regional storm drain facilities are not available to the area around the Fred Young project, no storm drain facilities are planned or required. Instead, as each phase of the project moves forward, the on-site retention needs will be assessed and accommodated within the boundary of the overall project. The initial concept is to spread the retention areas throughout the various phases but it may prove practical to share a retention facility between phases as long as the property continues to be owned and managed as a unit.

It is proposed that retention basins be designed as an integral part of the site's open space and recreation activities. The design of the basins shall include multiple grade levels to insure that the majority of the active recreation facilities are not impacted by nuisance water or small storms (up to 10 year events). Nuisance water shall be contained by dry wells and it is important to manage on-site mitigation to minimize water leaving landscape areas and running off into the basins.

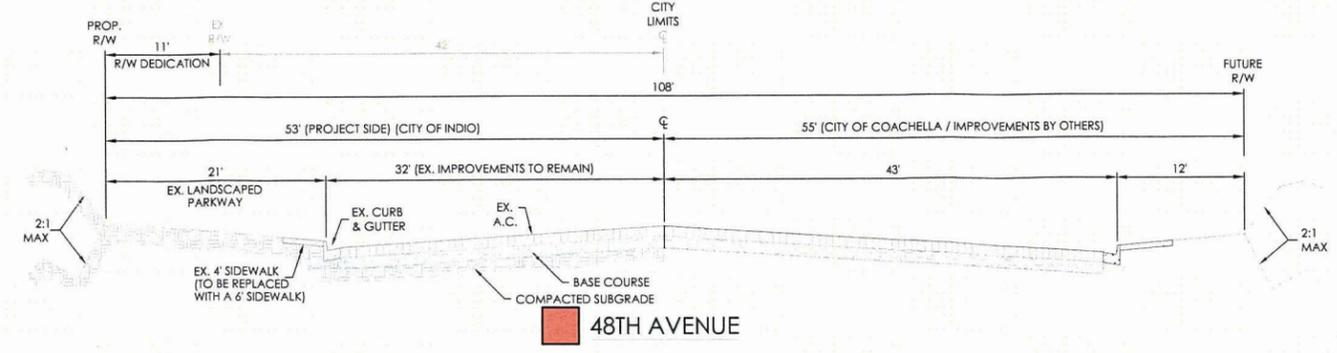
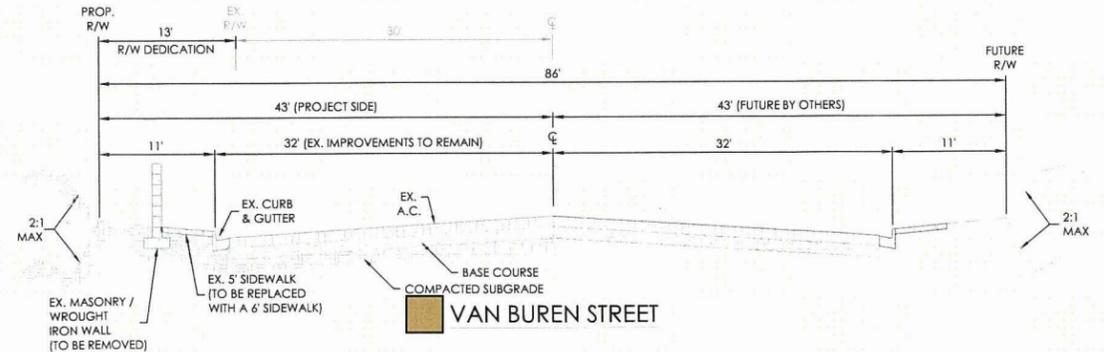
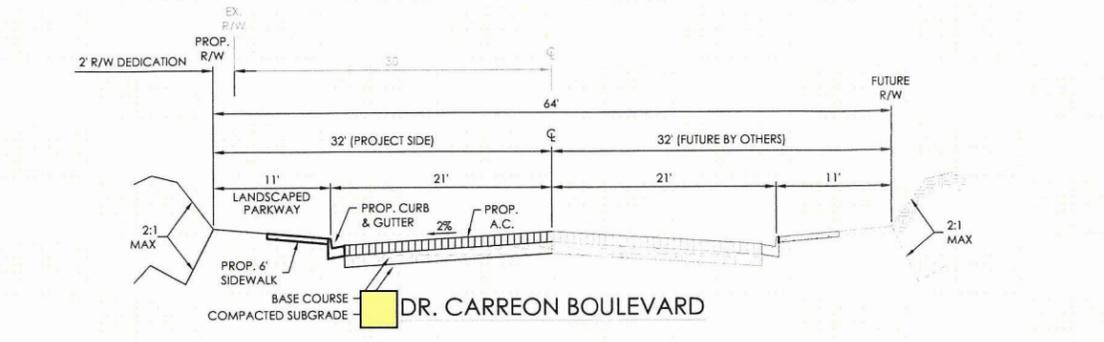
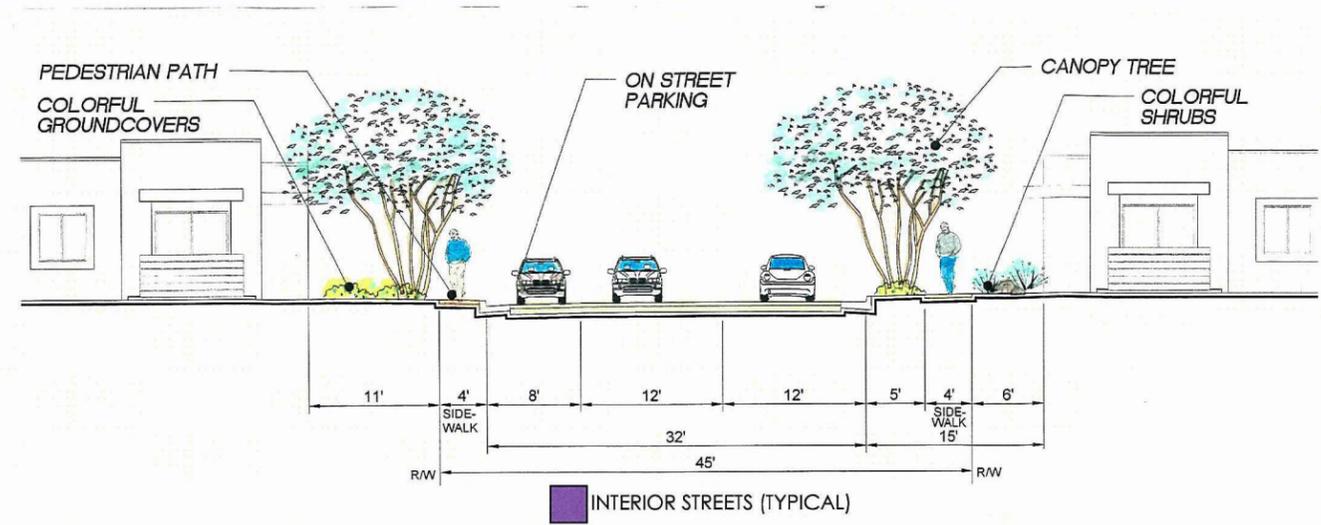
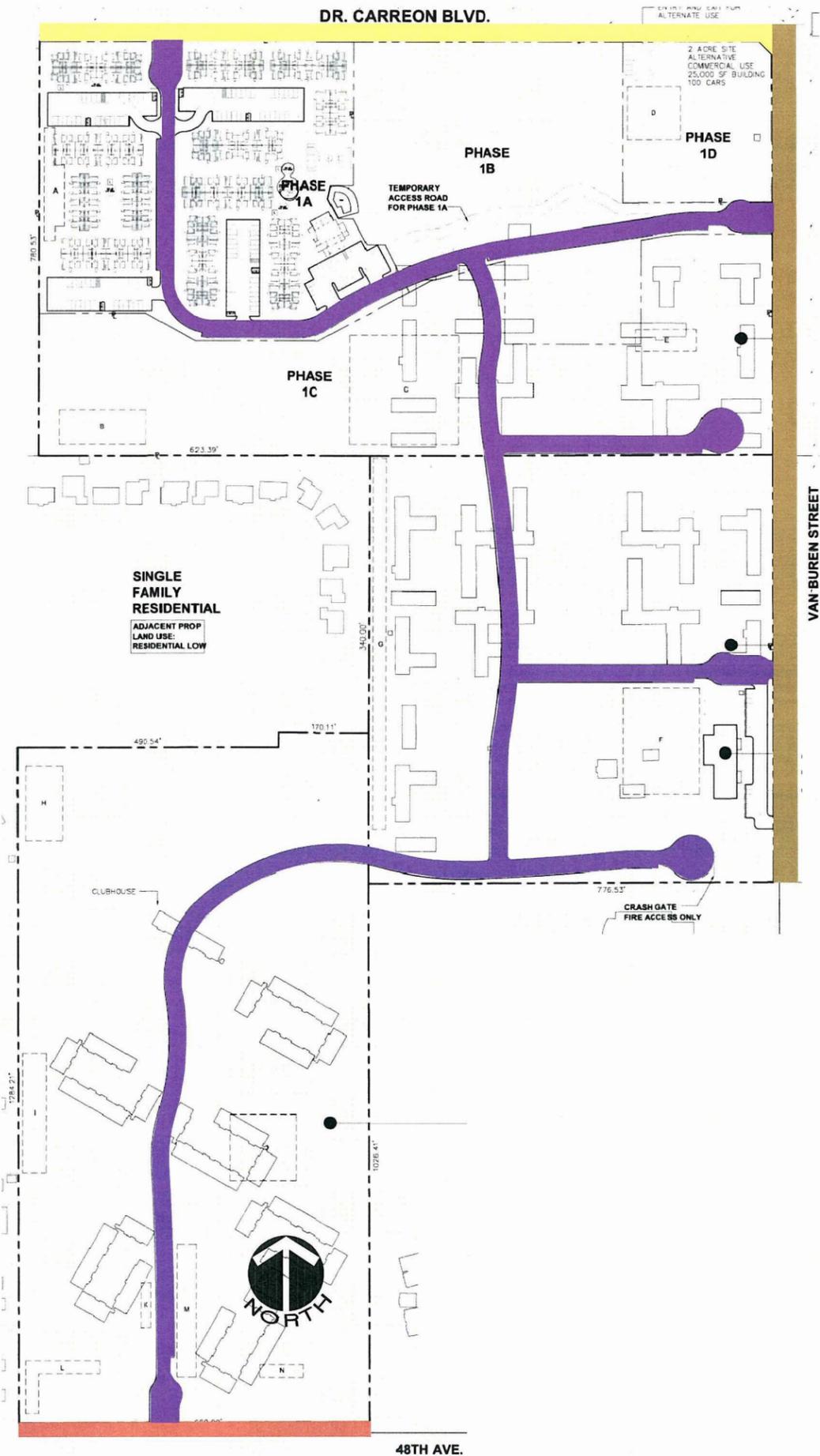


EXHIBIT 39

Exhibit Date: 08/12/2010

Circulation
Fred Young Specific Plan

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JOHN COTTON ARCHITECTS
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CULVER CITY CALIFORNIA 90232 (310)558-8616 PHONE (310)558-8676 FAX
WWW.JOHNCOITONARCH.COM

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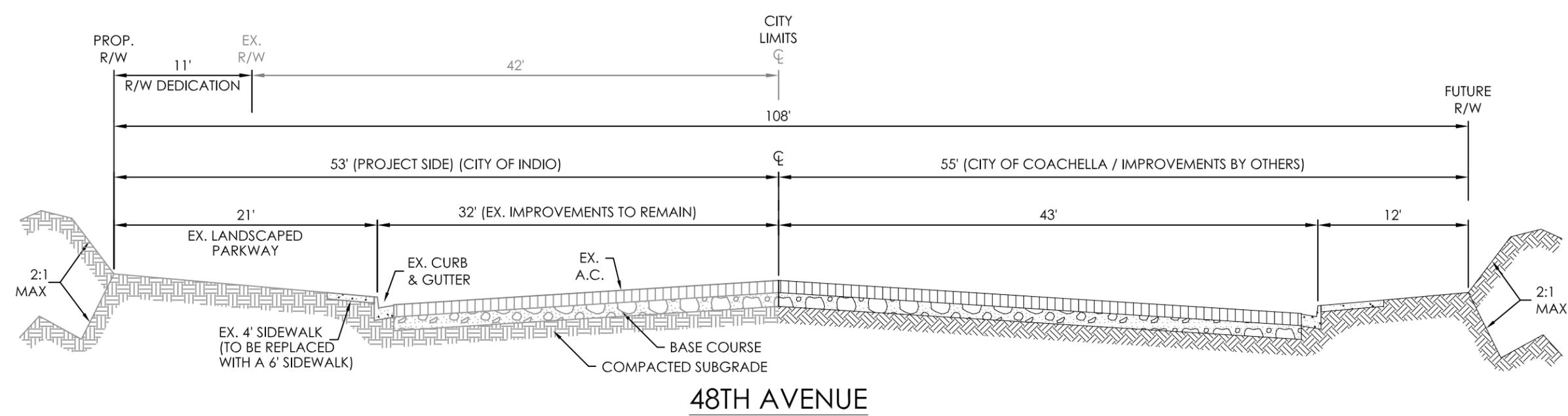
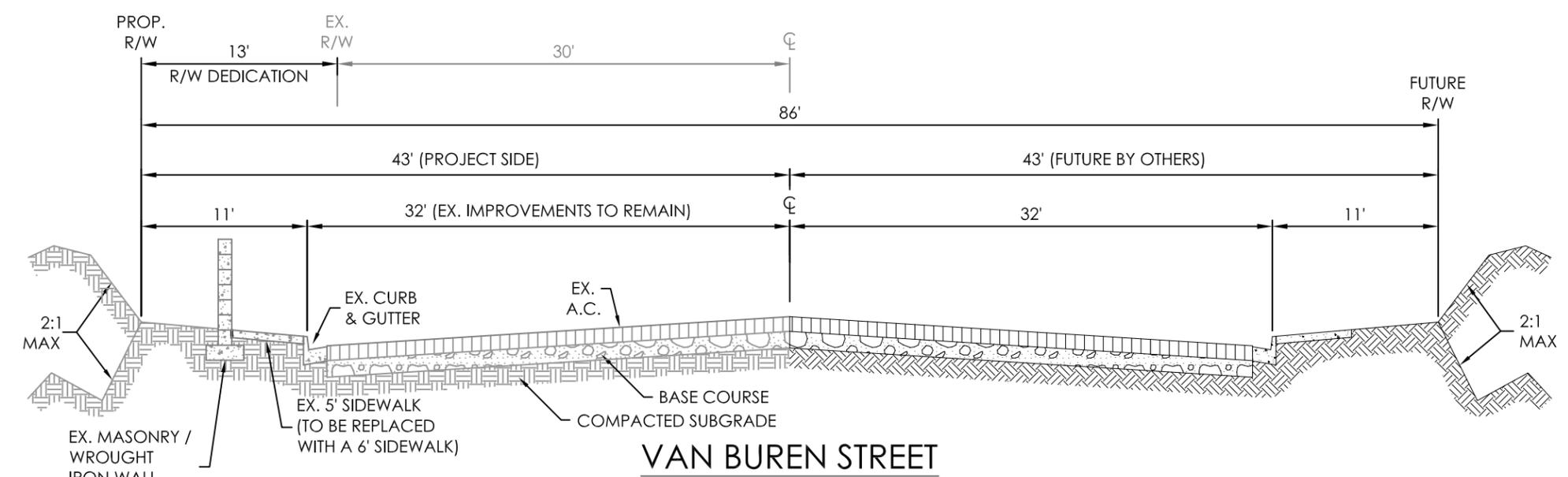
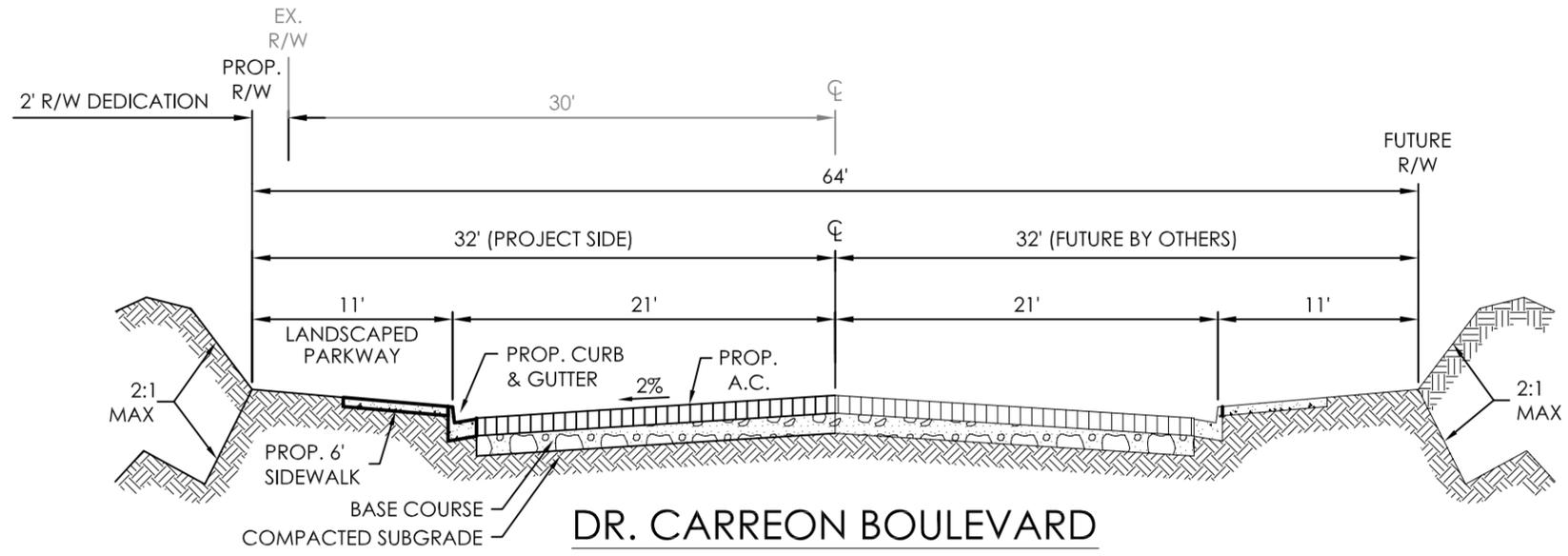


EXHIBIT 40

Public Street Sections
Fred Young Specific Plan

Exhibit Date: 08/12/2010

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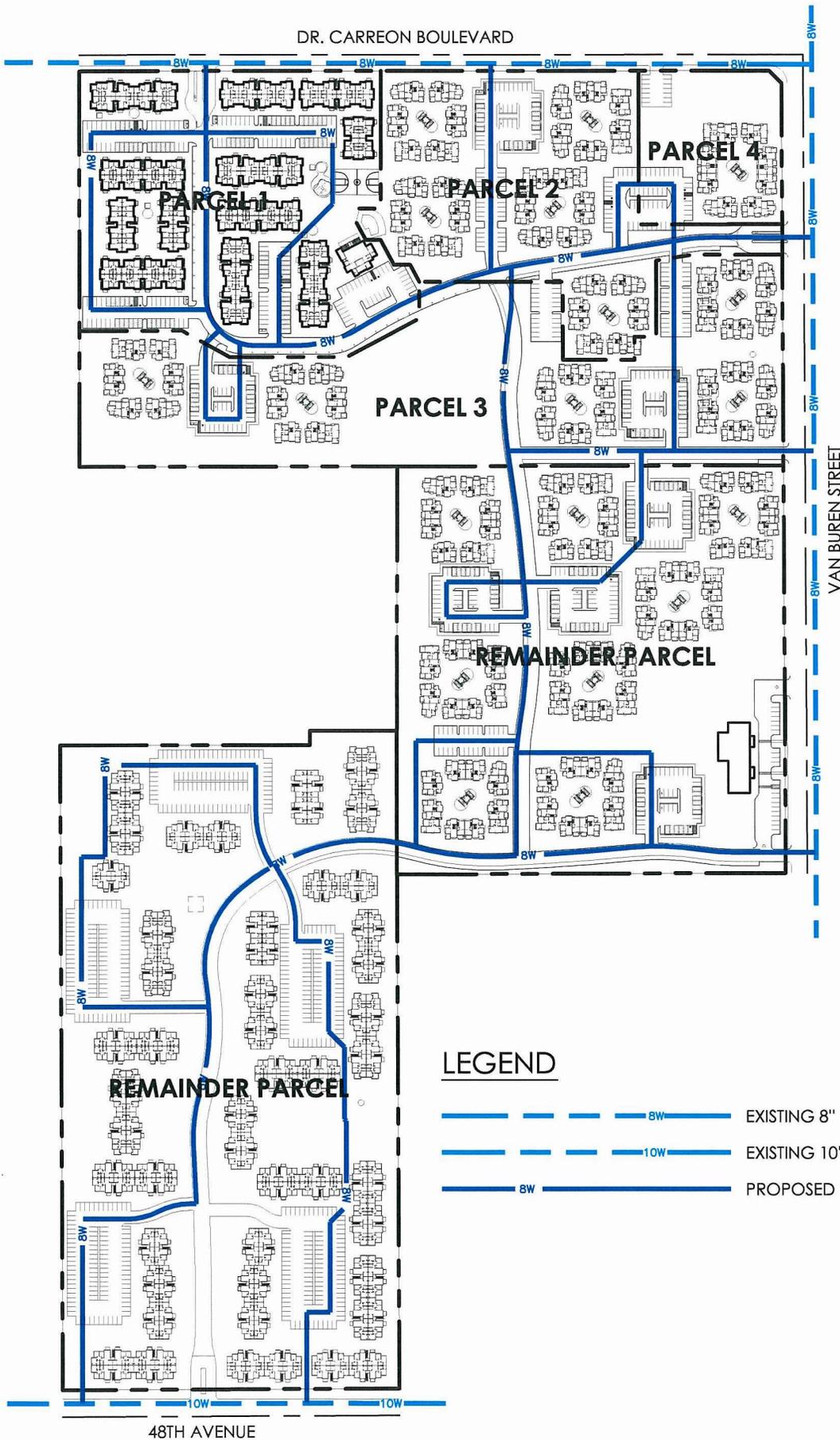


EXHIBIT 41

Preliminary Water Service Plan

Fred Young Specific Plan

LEGEND

-  EXISTING 8" WATER LINE
-  EXISTING 10" WATER LINE
-  PROPOSED 8" WATER LINE



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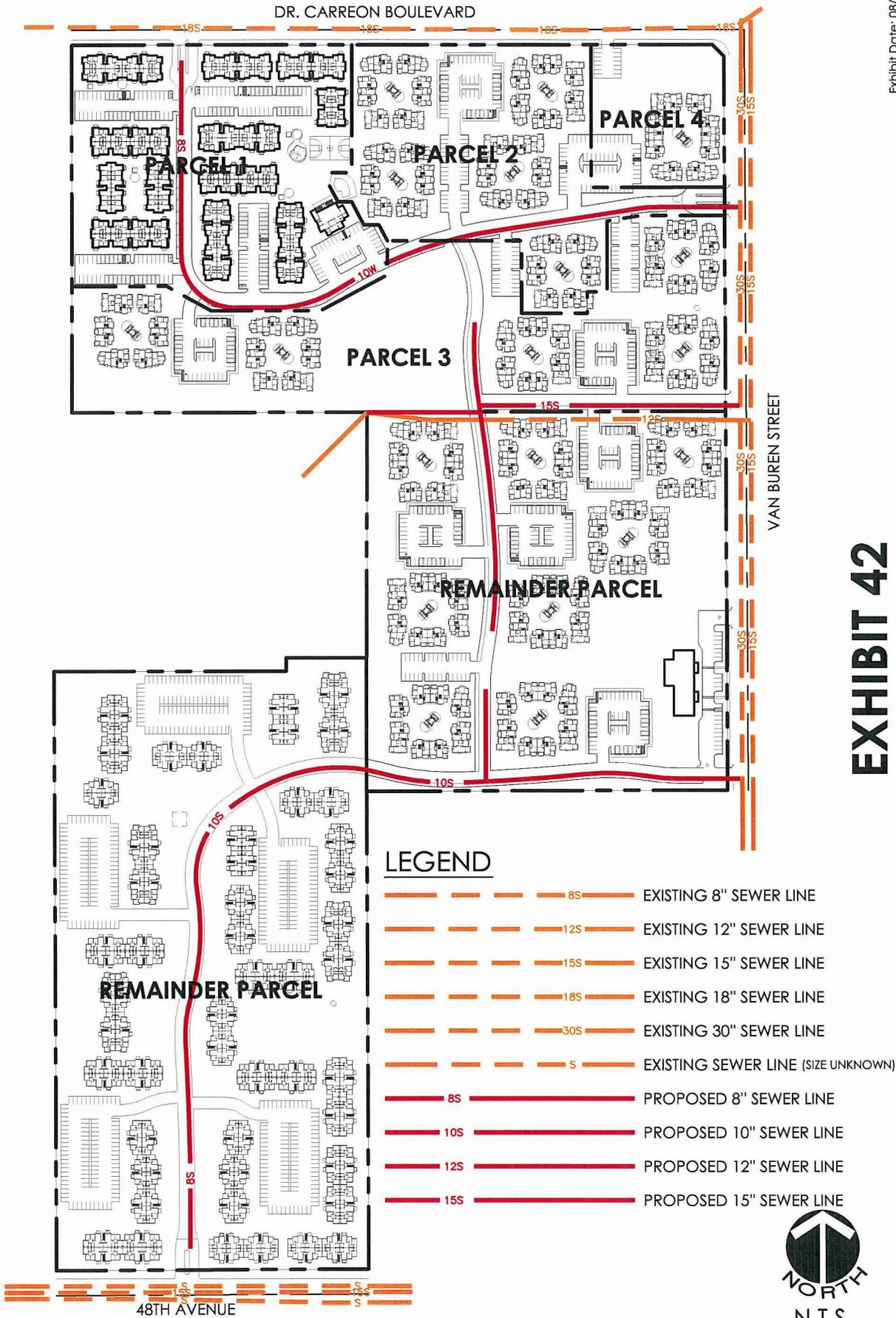
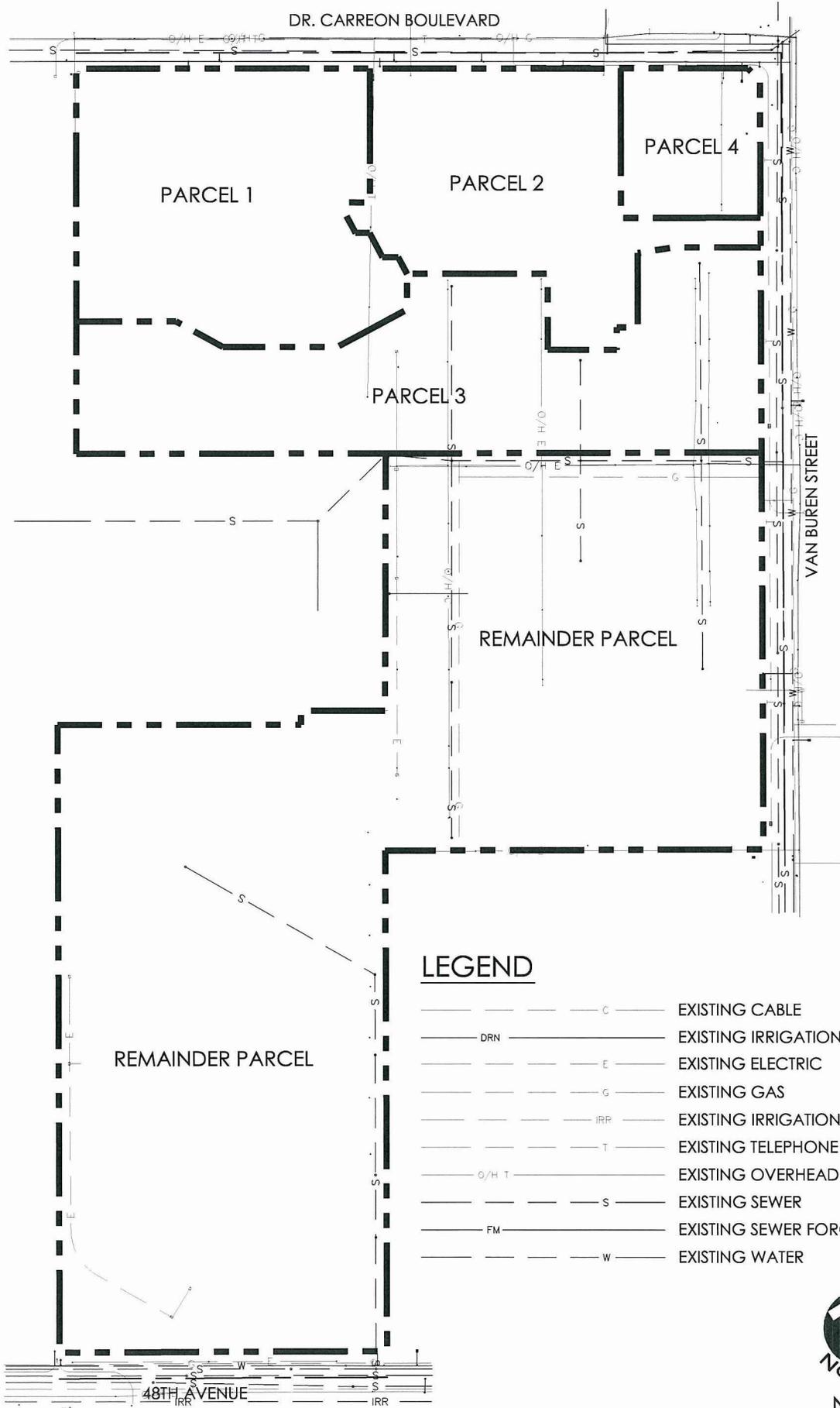


EXHIBIT 42

Preliminary Sewer Service Plan Fred Young Specific Plan

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LEGEND

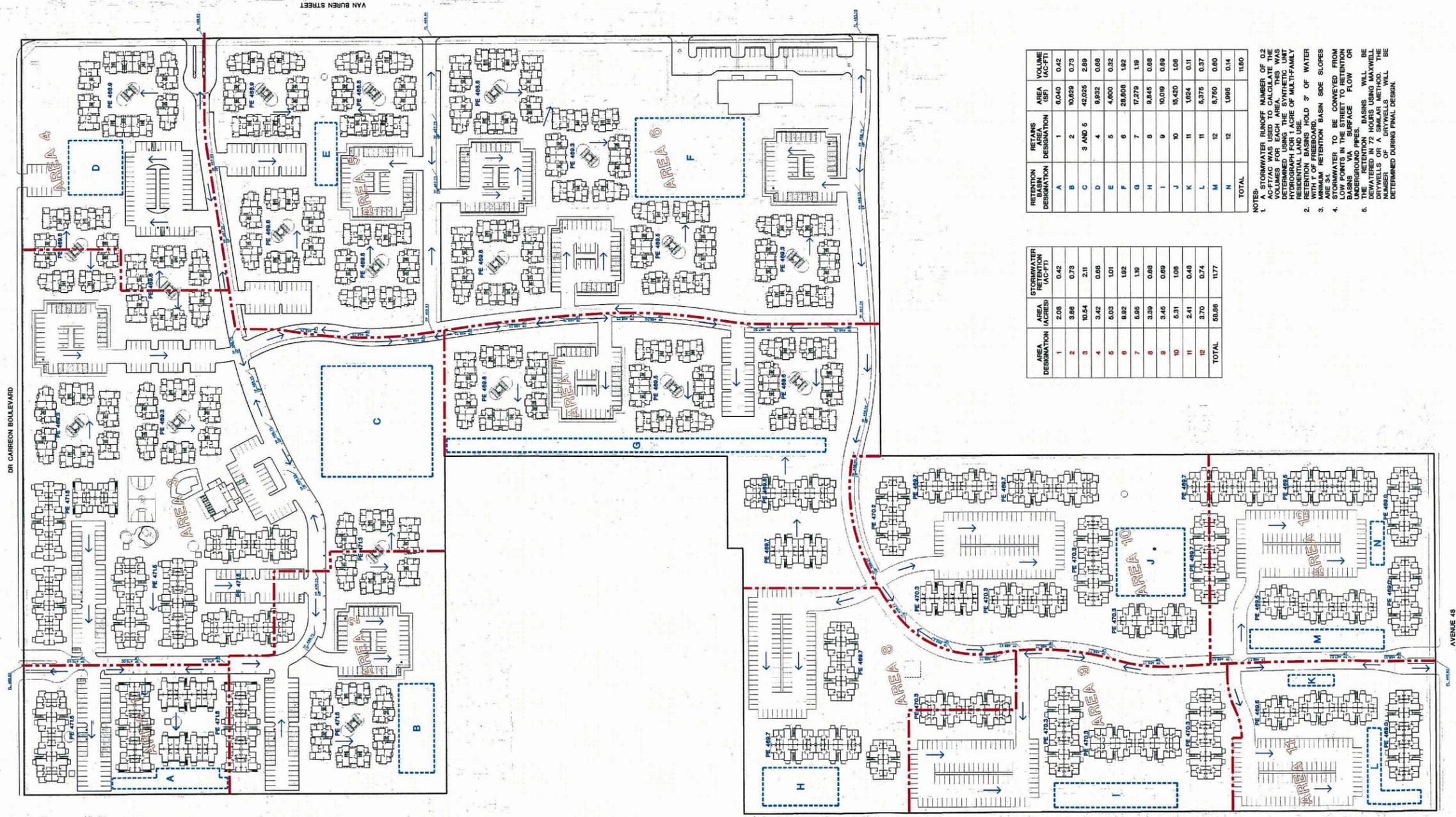
- | | |
|-----------|--------------------------------|
| — C — | EXISTING CABLE |
| — DRN — | EXISTING IRRIGATION DRAIN LINE |
| — E — | EXISTING ELECTRIC |
| — G — | EXISTING GAS |
| — IRP — | EXISTING IRRIGATION |
| — T — | EXISTING TELEPHONE |
| — O/H T — | EXISTING OVERHEAD TELEPHONE |
| — S — | EXISTING SEWER |
| — FM — | EXISTING SEWER FORCE MAIN |
| — W — | EXISTING WATER |

EXHIBIT 43

Existing Utility Plan
Fred Young Specific Plan

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AREA DESIGNATION	AREA (ACRES)	STORMWATER RUNOFF (AC-FIT)
1	2.08	0.42
2	3.66	0.73
3	10.54	2.11
4	3.42	0.69
5	0.03	0.01
6	8.82	1.82
7	5.95	1.19
8	3.39	0.68
9	3.45	0.69
10	5.31	1.06
11	2.41	0.48
12	3.70	0.74
TOTAL	56.86	11.77

RETENTION DESIGNATION	RETAINS (AC)	VOLUME (AC-FIT)
A	1	0.040
B	2	10.029
C	3 AND 6	42.025
D	4	9.832
E	5	4.000
F	6	28.608
G	7	17.279
H	8	9.845
I	9	10.019
J	10	15.420
K	11	1.024
L	11	5.375
M	12	6.750
N	12	1.995
TOTAL		118.0

NOTES:
 1. STORMWATER RUNOFF NUMBER OF 0.2 AC-FIT/AC WAS USED TO CALCULATE THE VOLUMES FOR EACH AREA. THIS WAS BASED ON THE 1980 SCS TYPE II HYDROGRAPH FOR AN ACRE OF MULTIFAMILY RESIDENTIAL LAND USE.
 2. RETENTION BASINS SHALL HOLD 3" OF WATER ARE 5'.
 3. MINIMUM RETENTION BASIN SIDE SLOPES ARE 3:1.
 4. LOW POINTS TO BE CONVEYED FROM BASINS VIA SURFACE FLOW OR THROUGH UNDERGROUND BASINS WILL BE DEWATERED IN 72 HOURS USING MAXWELL DRYWELLS OR A SIMILAR METHOD. THE DETERMINED DURING FINAL DESIGN.



FRED YOUNG FARM WORKER APARTMENTS
 CONCEPTUAL GRADING PLAN



N.T.S.
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EXHIBIT 44

Exhibit Date: 08/12/2010

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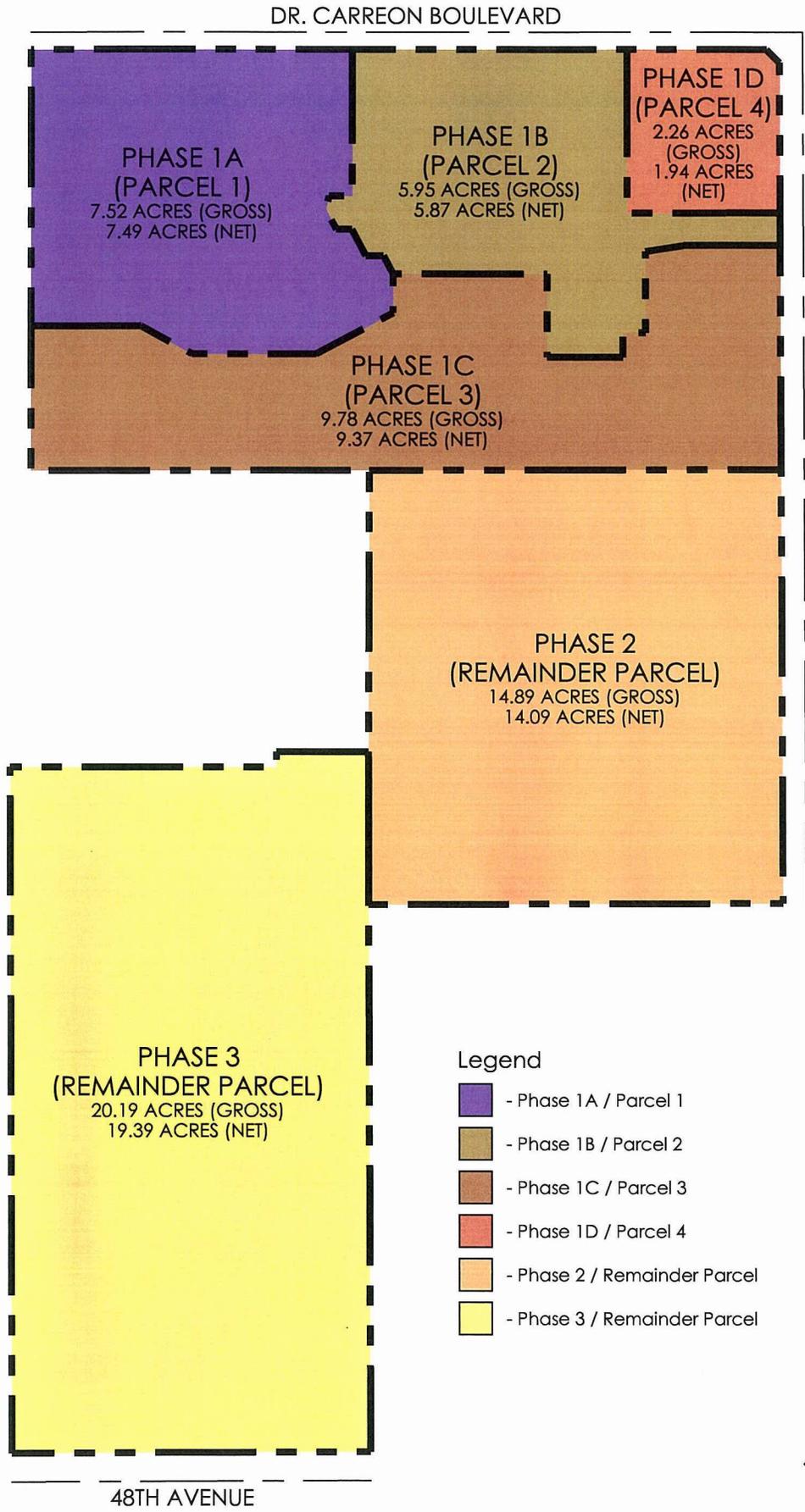


Preliminary Grading Plan
 Fred Young Specific Plan

VII. PHASING

The Fred Young Specific Plan parcel map will be recorded in one phase. The residential units will be built in phases. The exact number of units to be constructed in each phase will be determined upon the funding conditions at the time. All necessary right-of-way dedications will be completed with the recordation of the Final Parcel Map. The development of the street improvements to Dr. Carreon, Van Buren Street and Avenue 48 will occur at the same time as the construction of the abutting phase. The development schedule anticipates complete build out in 15 years.

The timing of razing the existing residential units will be coordinated with the completion of new housing units; i.e., new units will be completed and available to house existing residents of Fred Young prior to razing the existing apartments. This will be the subject of an agreement with the applicant and the City.



Legend

-  - Phase 1A / Parcel 1
-  - Phase 1B / Parcel 2
-  - Phase 1C / Parcel 3
-  - Phase 1D / Parcel 4
-  - Phase 2 / Remainder Parcel
-  - Phase 3 / Remainder Parcel



EXHIBIT 45

Exhibit Date: 08/12/2010

Phasing Plan
Fred Young Specific Plan

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APPENDIX ONE

GENERAL PLAN POLICIES

Introduction

The discussion that follows is an examination of the Indio General Plan goals and implementation policies that are affected by the proposed development.

Land Use

Goal LU-1 "To plan for a city with a diversity of residential opportunities and life styles to fit the current and future needs of the City."

- The SP will allow for the development of an affordable residential subdivision with internal recreational amenities.

Policy LU 1.8 "The Residential High designation allows multi-family developments of apartments, condominiums and single family attached units."

- The SP will comply with this policy by providing the opportunity to develop alternative housing products within the current density ranges of the General Plan.

Circulation Element

Goal CIR-1 "Provide a circulation system to serve the internal circulation needs of the City, while also addressing the intercommunity or through travel needs."

- The SP will provide for the continuation of the major roadways in the Area.

Policy 1.1 "Maintain a minimum Level of Service "C" at all intersections during non-peak hours and Level of Service "D" at all intersections during peak hours to ensure that traffic delays are kept to a minimum."

The roadways will be widened as development occurs in accordance with the General Plan Circulation Figure 2.3-1. A traffic analysis was prepared to address the project impacts. The surrounding roadways will continue to operate at an acceptable level of service upon project buildout.

Policy 1.2 "Establish roadway cross sections and standards that are adequate to ensure traffic safety."

- The General Plan has already established roadway sections (Figure 3.2-2) these sections will be implemented as development occurs.

Policy 1.5 "Establish street sections in residential neighborhoods and certain commercial areas that, while accommodating vehicular traffic, give preference to pedestrian users."

- The General Plan has already established roadway sections and the adopted sections will be implemented as development occurs.

Goal Cir-2 *“Accommodate alternatives to private and automobile transportation that meet the needs of all City residents”.*

- There is currently public transportation service along Dr. Carreon Boulevard. Improvements to the bus stop are anticipated.

Policy 2.1 *“Require dedication and/or construction of appropriate facilities in support of public transportation system.”*

- There is currently public transportation service along Dr. Carreon Boulevard. Improvements to the bus stop are anticipated.

Policy 2.3 *“Provide a system of sidewalks or pathways in residential and commercial areas that provide a safe environment for pedestrian”.*

- The City adopted street cross sections provide for sidewalks on the perimeter of the site. There will also be internal sidewalks.

Goal Cir-4 *“Provide an adequate supply of private off street and public parking to meet the needs of residents and visitor’s to the City”.*

- The proposed project will provide adequate guest and resident parking. The project is gated and will be staffed with a security guard at the main entrance.

Parks and Recreation

Goal PR-1 *“Provide a variety of recreational opportunities to serve the needs of all segments of the population”.*

- The Specific Plan proposes a community area in the project, landscaped and supplied with equipment for the residents. There is also a 1,549 square foot clubhouse for the residents.

Economic Development

Goal ED –1 *“Provide the city with the tools needed to promote a balanced economic growth with sufficient fiscal resources to provide for the necessary infrastructure, public and community services.”*

- The SP anticipates the development of affordable residential units. The development will provide much needed housing and private recreational land benefiting the area and the City in general.

Soils

Goal SO-1 *“Ensure the protection of soils from erosion by wind and water, and from the buildup of salts on productive agricultural lands.”*

- Construction within the SP will adhere to adopted city policies and programs regarding erosion, PM10 and storm drain discharges.

Biology

Goal BIO –1 “Preserve and protect sensitive plant and wildlife resources within the Planning Area.”

- There are no identified sensitive plant or wildlife species located on the site according to the Biological assessment that was performed. The development will participate (by payment of fees) into the Multi Species Habitat Conservation Plan (CVMSHCP) mitigation program.

Cultural Resources

Goal CR-1

“Preserve historic, archaeological and paleontological resources for their scientific, educational, aesthetic, and cultural values.”

- The area within the SP has no significant potential for cultural resources according to the cultural resources investigation.

Noise

Goal NOI-1 “Protect those living, working and visiting the community from exposure to excessive noise.”

- The SP is expected to be in compliance with the City’s Noise standards. The prepared assessment includes an analysis of the potential off-site and on-site related noise impacts during construction activities and the predicted future noise environment that can be expected within the noise sensitive residential community.

Air Quality

Goal AQ-1 “Support air quality measures designed to reduce harmful levels of pollutants, including airborne dust.”

- The SP anticipates compliance with the City’s adopted provisions regarding airborne pollutants. The development application will be required to comply with PM–10 plans and watering during grading operations.

Police and Fire

Goal PF-1 “Provide police services in a manner and number to ensure a safe and secure environment for those living, working or visiting the community.”

- City law enforcement officials shall address any safety concerns during the review of individual development applications.

Goal PF –2 *“Provide fire services in a manner and number to ensure a safe and secure environment for those living, working or visiting the community.”*

- City fire safety officials shall address any safety concerns during the review of individual development applications. The site is within the service area of Indio Station #2 at 43715 Jackson Street (760) 342-2774.

APPENDIX TWO
RESOLUTIONS AND ORDINANCES

ORDINANCE NO. 1584

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, ADOPTING ZONE CHANGE 10-4-668, FRED YOUNG SPECIFIC PLAN, COACHELLA VALLEY HOUSING COALITION, ASSESSOR PARCELS 612-170-005 thru 006 AND 612-210-005 thru 006

WHEREAS, Coachella Valley Housing Coalition has filed with the City of Indio an application for a Change of Zone from RH (Residential High) and BP (Business Park) to SP (Specific Plan) of property generally located on the southwest corner of Dr. Carreon Boulevard and Van Buren Street; and,

WHEREAS, a Mitigated Negative Declaration (MND) and Mitigation Monitoring and Reporting Program has been prepared pursuant to the environmental review guidelines of the California Environmental Quality Act and environmental impacts were examined in the MND; and,

WHEREAS, on September 22, 2010 and October 13, 2010, the Planning Commission conducted a duly advertised public hearing, reviewed staff reports, considered the MND, considered testimony both for and against the proposed Change of Zone, and concluded its proceedings; and,

WHEREAS, on December 1, 2010 and December 15, 2010, the City Council conducted a duly advertised public hearing, reviewed staff reports, considered testimony both for and against the proposed Change of Zone, considered the Mitigated Negative Declaration, and concluded its proceedings.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, HEREBY RESOLVES, AS FOLLOWS:

SECTION 1. The City Council has adopted a Mitigated Negative Declaration pursuant to the environmental review guidelines of the California Environmental Quality Act, and environmental impacts were examined in the environmental assessment submitted by the applicant, along with a phase I environmental site assessment, hydrology study, geotechnical study, water quality management plan, and traffic impact report.

SECTION 2. The City Council ADOPTS Zone Change 10-4-668 based on the following findings:

1. The proposed Change of Zone is consistent with the goals and policies of the Indio General Plan 2020. The proposed Specific Plan designates the property for affordable attached and detached residential and potential neighborhood commercial development.
2. The proposed Change of Zone is consistent with the Indio Code of Ordinances. The

proposed project shall conform to the requirements of the Zoning Ordinance.

3. The proposed Change of Zone will not result in substantial environmental impacts because any potential significant impacts would be mitigated to less than significant levels with incorporation of mitigation measures included in the Mitigated Negative Declaration (Environmental Assessment 10-4-494).

PASSED, APPROVED AND ADOPTED this 25th day of January, 2011 by the following vote:

AYES: Holmes, Miller, Torres, Wilson, Ramos Watson

NOES: None



LUPE RAMOS WATSON, MAYOR

ATTEST:



CYNTHIA HERNANDEZ, CMC
CITY CLERK

ORDINANCE NO. 1585

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, APPROVING THE FRED YOUNG SPECIFIC PLAN (10-4-25); COACHELLA VALLEY HOUSING COALITION, ASSESSOR PARCELS 612-170-005 thru 006, AND 612-210-005 thru 006

WHEREAS, Coachella Valley Housing Coalition has filed an application for the consideration of the Fred Young Specific Plan; and to establish the land use and development regulations for the Fred Young Community; and,

WHEREAS, the Fred Young Specific Plan establishes the land use densities, intensities, development policies and land use regulations for development of the Fred Young Community; and,

WHEREAS, pursuant to the California Environmental Quality Act ("CEQA"), the City conducted an environmental assessment of the Project and determined that the Project would not have a significant effect on the environment; therefore, a Mitigated Negative Declaration (MND) has been prepared; and,

WHEREAS, the MND concluded that the environmental impacts of the Project could be mitigated to a less than significant level; and,

WHEREAS, on September 22, 2010 and October 13, 2010, the Planning Commission of the City of Indio, as an advisory body to the City Council, conducted a duly advertised public hearing, reviewed staff reports, reviewed and considered the Mitigated Negative Declaration pursuant to CEQA Guidelines Section 15025 Subsection (c), considered testimony related to the proposed Specific Plan, and concluded its proceedings; and,

WHEREAS, on December 1, 2010 and December 15, 2010, the City Council conducted a duly advertised public hearing, reviewed staff reports, considered testimony both for and against the proposed Change of Zone, considered the Mitigated Negative Declaration, and concluded its proceedings.

NOW, THEREFORE, CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, HEREBY ORDAINS AS FOLLOWS:

SECTION 1. The City Council has adopted a Mitigated Negative Declaration pursuant to the environmental review guidelines of the California Environmental Quality Act, and environmental impacts were examined in the environmental assessment submitted by the applicant, along with a historical/archaeological resources report, paleontological resources report, geotechnical feasibility report, phase I environmental site assessment, hydrology, geotechnical study, water quality management plan, and traffic impact report.

SECTION 2. To APPROVE the Fred Young Specific Plan (SP 10-4-25) subject to the following findings:

1. That the proposed Fred Young Specific Plan is consistent with the goals and policies of the Indio General Plan 2020. The proposed Specific Plan will facilitate the orderly development of a multi-family and potential single family residential affordable housing development with associated amenities.
2. That the proposed Fred Young Specific Plan is consistent with the Indio Code of Ordinances.
3. The proposed Change of Zone will not result in substantial environmental impacts because any potential significant impacts would be mitigated to less than significant levels with incorporation of mitigation measures included in the Mitigated Negative Declaration (Environmental Assessment 10-4-494).

SECTION 3. To APPROVE of Fred Young Specific Plan (SP 06-4-20) subject to the following conditions:

1. Approval of this project shall be based on the adoption of the Mitigated Negative Declaration (EA 10-4-494) and Mitigation Monitoring and Reporting Program by the City Council for the Project.
2. Approval of this project shall be based on the approval of the General Plan Amendment 10-4-105 and Change of Zone 10-4-668, for the Project.
3. The applicant shall enter into an Affordable Housing Agreement with the City of Indio.
4. The building construction plans shall include a blue-line sheet(s) showing all conditions of approval contained herein.
5. The applicant/owner shall cause to be recorded against the subject property these and all related conditions of approval with the Riverside County Recorder.
6. Phase I (first 85 dwelling units) shall be parked at a ratio of 1.8 spaces per unit. Parking ratio for each subsequent phase shall require the applicant to submit a parking study to the City Traffic Engineer for review and approval.
7. The property owner or successor in interest shall annex to CFD 2004-1 or its successor Community Facilities District or any future City-initiated Community Facilities Districts for public facilities or public services. The subdivider shall cause a covenant to be recorded on all lots within Tentative Parcel Map 36273 advising of the owner's obligation to participate in any future Community Facilities District for such public facilities or public services.

SECTION 4. That the above recitations are true and correct and constitute the findings of the City Council regarding the Specific Plan and this project.

SECTION 5. That the proposed Fred Young Specific Plan (SP 10-4-25) is on file in the City Clerk and is available for review by the public.

PASSED, APPROVED AND ADOPTED this 25th day of January, 2011 by the following vote:

AYES: Holmes, Miller, Torres, Wilson, Ramos Watson

NOES: None



LUPE RAMOS WATSON, MAYOR

ATTEST:



**CYNTHIA HERNANDEZ, CMC
CITY CLERK**

RESOLUTION NO. 9445

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, ADOPTING MITIGATED NEGATIVE DECLARATION WITH MITIGATION MONITORING AND REPORTING PROGRAM OF ENVIRONMENTAL ASSESSMENT 10-4-494, COACHELLA VALLEY HOUSING COALITION, ASSESSOR PARCELS 612-170-005 thru 006 and 612-210-005 thru 006 (FRED YOUNG LABOR CAMP)

WHEREAS, Coachella Valley Housing Coalition has filed with the City of Indio an application for a General Plan Amendment, Change of Zone, Specific Plan, Design Review and Tentative Parcel Map for mixed use development consisting of an affordable housing component and associated amenities to be developed in phases with a potential two (2) acre commercial component, located on the southwest corner of Dr. Carreon Boulevard and Van Buren Street, Assessor's Parcel Numbers 612-170-005 thru 006 and 612-210-005 thru 006; and,

WHEREAS, a Mitigated Negative Declaration (MND) with Mitigation Monitoring and Reporting Program has been prepared pursuant to the environmental review guidelines of the California Environmental Quality Act and environmental impacts were examined in the Mitigated Negative Declaration; and,

WHEREAS, the Environmental Analysis (Initial Study) concluded that all of the environmental impacts of the Project could be mitigated to a less than significant level with mitigation measures as contained in the Mitigated Negative Declaration; and,

WHEREAS, on September 22, 2010 and October 13, 2010, the Planning Commission conducted a duly advertised public hearing, reviewed staff reports, considered testimony both for and against the proposed Fred Young Specific Plan project, considered the Mitigated Negative Declaration with Mitigation Monitoring and Reporting Program, and concluded its proceedings; and,

WHEREAS, on December 1, 2010 and December 15, 2010, the City Council conducted a duly advertised public hearing, reviewed staff reports, considered testimony both for and against the proposed project, considered the Mitigated Negative Declaration, and concluded its proceedings.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, HEREBY RESOLVES, AS FOLLOWS:

SECTION 1. The City Council has determined in its independent judgment that the proposed project will have a less than significant effect on the environment, and that environmental impacts were examined in the environmental assessment submitted by the applicant, along with a Preliminary Water Quality Management Plan, Traffic Impact Study, Historical/Archeological Resources Study Report, Hydrology Report, Noise Analysis, Geotechnical Investigation, and Phase I Environmental Site Assessment.

SECTION 2. The City Council hereby approves Environmental Assessment 10-4-494 based on the following finding:

1. The potential environmental impacts of the proposed Fred Young Labor Camp General Plan Amendment, Specific Plan and related entitlements have been mitigated to a level of less than significant with the incorporation of the mitigation measures contained in the Mitigated Negative Declaration.

PASSED, APPROVED AND ADOPTED this 15th day of December, 2010 by the following vote:

AYES: Holmes, Miller, Torres, Wilson, Ramos Watson

NOES: None



LUPE RAMOS WATSON, MAYOR

ATTEST:



CYNTHIA HERNANDEZ, CMC
CITY CLERK

RESOLUTION NO. 9446

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, APPROVAL OF GENERAL PLAN AMENDMENT 10-4-105, COACHELLA VALLEY HOUSING COALITION, ASSESSOR PARCELS 612-170-005 thru 006 and 612-210-005 thru 006 (FRED YOUNG LABOR CAMP)

WHEREAS, Coachella Valley Housing Coalition has filed with the City of Indio an application for a General Plan Amendment to change the land use designation from RH and BP to SP to an approximately 60 acre site for mixed use development consisting of an affordable housing component and associated amenities to be developed in phases with a potential two (2) acre commercial component, located on the southwest corner of Dr. Carreon Boulevard and Van Buren Street, Assessor's Parcel Numbers 612-170-005 thru 006 and 612-210-005 thru 006; and,

WHEREAS, a Mitigated Negative Declaration (MND) with Mitigation Monitoring and Reporting Program has been prepared pursuant to the environmental review guidelines of the California Environmental Quality Act and environmental impacts were examined in the Mitigated Negative Declaration; and,

WHEREAS, the Environmental Analysis (Initial Study) concluded that all of the environmental impacts of the Project could be mitigated to a less than significant level with mitigation measures as contained in the Mitigated Negative Declaration; and,

WHEREAS, on September 22, 2010 and October 13, 2010, the Planning Commission conducted a duly advertised public hearing, reviewed staff reports, considered testimony both for and against the proposed General Plan amendment, considered the Mitigated Negative Declaration with Mitigation Monitoring and Reporting Program, and concluded its proceedings; and,

WHEREAS, on December 1, 2010 and December 15, 2010 the City Council conducted a duly advertised public hearing, reviewed staff reports, considered testimony both for and against the proposed General Plan Amendment, considered the Mitigated Negative Declaration, and concluded its proceedings.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, HEREBY RESOLVES, AS FOLLOWS:

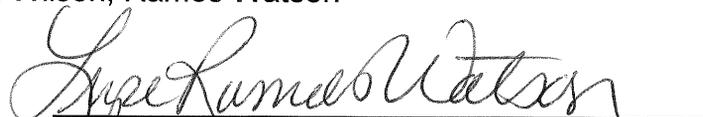
SECTION 1. The City Council has adopted a Mitigated Negative Declaration pursuant to the environmental review guidelines of the California Environmental Quality Act, and environmental impacts were examined in the environmental assessment submitted by the applicant, along with a preliminary Water Quality Management Plan, Traffic Impact Study, Historical/Archeological Resources Study Report, Hydrology Report, Noise Analysis, Geotechnical Investigation, and Phase I Environmental Site Assessment.

SECTION 2. The City Council hereby approves General Plan Amendment 10-4-105 based on the following findings:

1. The proposed General Plan Amendment from RH (Residential High) and Business Park (BP) to Specific Plan (SP) will promote the public health, safety, welfare, and be a community benefit of the City of Indio because it will provide for affordable housing units to meet the needs of farm workers and other individuals in need of affordable housing, consistent with the General Plan goals and policies.
2. The proposed General Plan Amendment will be compatible with and in character with the General Plan designation of RL (Residential Low) and BP (Business Park) in the immediate area of the site.
3. The proposed General Plan Amendment will not conflict with the goals and policies of the General Plan, or the provisions of the Zoning Code, or any applicable specific plan.
4. The proposed General Plan Amendment will not result in substantial environmental impacts because any potential significant impacts would be mitigated to a level of less than significant levels with incorporation of mitigation measures included in the Mitigated Negative Declaration.

PASSED, APPROVED AND ADOPTED this 15th day of December, 2010 by the following vote:

AYES: Holmes, Miller, Torres, Wilson, Ramos Watson
NOES: None


LUPE RAMOS WATSON, MAYOR

ATTEST:


CYNTHIA HERNANDEZ, CMC
CITY CLERK

RESOLUTION NO. 9447

**RESOLUTION OF THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA,
SUSTAINING THE APPEAL OF COACHELLA VALLEY HOUSING COALITION,
THEREBY APPROVING DESIGN REVIEW 10-4-334, ASSESSOR PARCELS 612-
170-005 thru 006 AND 612-210-005 thru 006 (FRED YOUNG LABOR CAMP)**

WHEREAS, Coachella Valley Housing Coalition filed with the City of Indio, an application for Design Review to develop a portion of a 60 acre site (Phase 1a) for a maximum of 85 attached residential units and commensurate amenities located at the southwest corner of Dr. Carreon Boulevard and Van Buren Street; and,

WHEREAS, a Mitigated Negative Declaration with Mitigation Monitoring and Reporting Program has been prepared pursuant to the environmental review guidelines of the California Environmental Quality Act and environmental impacts were examined in the Mitigated Negative Declaration; and,

WHEREAS, on September 22, 2010 and October 13, 2010, the Planning Commission conducted a duly advertised continued public hearing, reviewed staff reports, considered testimony both for and against the proposed Design Review, and concluded its proceedings; and,

WHEREAS, on December 1, 2010 and December 15, 2010, the City Council conducted a duly advertised public hearing, reviewed staff reports, considered testimony both for and against appeal of the proposed Design Review, considered the Mitigated Negative Declaration, and concluded its proceedings.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, HEREBY RESOLVES, AS FOLLOWS:

SECTION 1. The City Council has adopted a Mitigated Negative Declaration pursuant to the environmental review guidelines of the California Environmental Quality Act, and environmental impacts were examined in the environmental assessment submitted by the applicant, along with an air quality analysis, biological assessment, historical/archaeological resources report, paleontological resources report, geotechnical feasibility report, phase I environmental site assessment, hydrology, geotechnical study, water quality management plan, and traffic impact report.

SECTION 2. To SUSTAIN UPHOLD THE APPEAL THEREBY APPROVE Design Review 10-4-334 based on the following findings:

1. The proposed location of the use and design is in accord with the objectives of Title 15 of the Zoning Ordinance, the Fred Young Specific Plan, and the purpose of the district in which the site is located. The proposed development will consist of multi-family residences, single-family residences of various sizes and of

quality architectural design, consistent with the purposes and permitted land uses of the specific plan and zoning district.

2. The proposed location of the use, design and conditions under which it would be operated or maintained will not be detrimental to the public health, safety, or welfare, or be materially injurious to properties or improvements in the vicinity. The proposed circulation or street pattern of the residential community and potential commercial site will provide safe access into and out of the development. The residential development will be developed as a gated community, which is enclosed by a combination block/decorative wrought iron fencing.
3. The proposed use and design will comply with each of the applicable provisions of Title 15, except for approved conditional use permits, variances or adjustments including a reduction in unit size, parking requirements, and private open space. The proposed residences will comply with the minimum front, side, maximum height, and rear yard setbacks as established in the approved Fred Young Specific Plan.
4. The proposed use and design complies with the goals, objectives, and policies of the City's General Plan. The proposed development is consistent with the goals for the General Plan land use designation by providing multi-family and single-family residences.

SECTION 3. To SUSTAIN THE APPEAL THEREBY APPROVE Design Review 10-4-334 subject to the following conditions:

Planning Requirements

1. That Design Review 10-4-334 shall be for Phase 1a of the Fred Young Specific Plan consisting of 85 attached residential units and commensurate amenities.
2. This entitlement shall expire two (2) years from the date of approval, unless otherwise extended.
3. Development shall occur substantially as shown on the site plan, elevations, floor plan, landscape plan, and irrigation plan, and as modified herein. Detailed construction plans showing compliance with this approval shall be submitted to the Building and Safety Division for review and approval prior to the issuance of any building permits.
4. This Design Review shall be null and void if Environmental Assessment 10-4-494 is not adopted by the Indio City Council and Mitigated Negative Declaration is not filed.
5. The applicant shall prepare and submit to the City a restrictive covenant to be recorded against the property which outlines the terms and conditions of the 25%

density bonus to allow a maximum of 950 dwelling units per the requirements of Section 154.06 of the City of Indio Code and California Government Code Section 65715. The restrictive covenant shall be approved by the City Attorney prior to the issuance of building permits. The development concessions would modify the parking requirements of the Indio City Code to allow covered parking spaces instead of enclosed garages, would modify minimum unit sizes from 800 square feet to 450 square feet for studio/single room occupancy, 800 square feet to 500 square feet for one bedroom units, from 900 to 750 for two bedroom, from 1200 square feet to 1000 square feet for three bedroom and from 1400 square feet to 1200 square feet for four bedroom residential units and would reduce private outdoor space for each residential unit.

6. The issuance of residential permits shall require compliance with the City's Park and Recreation Land Dedication and Fee requirements.
7. Prior to occupancy of the first unit in Phase 1 the developer shall submit evidence to the Community Development Department that this phase is pursuing a minimum Silver LEED certification. All remaining phases shall obtain a LEED certification if feasible, or other similar standard. Prior to the issuance of occupancy permits for each subsequent phase the developer shall provide proof of either LEED registration or other similar standard.
8. The applicant or successor in interest shall submit CC&R's in a form acceptable to the City Attorney, for the affordable housing multiple and single family complex. The CC&R's shall include provisions for creation of affordable housing occupancy guidelines and maintenance of:
 - All interior and exterior common areas including landscaping, recreational facilities, parking areas, pedestrian access ways, etc.
 - The maintenance of the community center and day care facilities (if so constructed)

The CC&R's shall be submitted for review by the Community Development Director prior to the issuance of building permits. The applicant or successor in interest shall submit a deposit of \$3,500 to cover legal costs incurred by the City in its review of CC&R's and related documents prior to their recordation. The applicant/owner shall cause to be recorded against the subject property these and all related conditions of approval with the Riverside County Recorder.

The CC&R's shall indicate that the project shall maintain the affordability restrictions outlined in the approved CC&R's in perpetuity and such restrictions shall be recorded along side the Title of the property.

9. Number of apartment accessible spaces shall meet CBC 1118A.1.

10. Phase I (first 85 dwelling units) shall be parked at a ratio of 1.8 spaces per unit. Parking ratio for each subsequent phase shall require the applicant to submit a parking study to the City Traffic Engineer for review and approval.
11. Carport Parking structures shall have required height of 8 feet two-inches per CBC 1118A.2.
12. Pool area must have all features outlined in CBC Chapter 31.
13. All buildings to be accessible and adaptable per CBC 1103A.
14. The building construction plans shall include a blue-line sheet(s) showing all conditions of approval contained herein.
15. The applicant/owner shall cause to be recorded against the subject property these and all related conditions of approval with the Riverside County Recorder.
16. The applicant shall satisfy all Building and Safety Division, Public Works Division, Engineering Services Division, Police Department, and Fire Department requirements. It is the responsibility of the entitled entity to review this project with the noted departments.
17. The applicant/developer shall pay school fees as required by law and/ or local school district. Applicant shall pay all City of Indio Capital Impact fees at the time set by City Ordinance.
18. The applicant shall provide a detailed landscape plan with a variety of plant materials and irrigation system separately from the building permit plans as a part of the plan check process. Said landscape plan shall incorporate the conditions of approval imposed herein.
19. The applicant/developer shall install landscaping and automatic irrigation system for each phase prior to Final Occupancy Permit of said phase. The irrigation system shall be an automatic system with an irrigation timer and two drip or bubbler heads per tree to produce deep root irrigation. Any changes or modification of the landscaping plan during the Design Review process shall be addressed during the plan check process. All structures, landscaping, sidewalks, parking lot surfacing, and all other improvements within the project shall be continually maintained in good condition and repair. Dead or dying landscape material shall be replaced with new landscape material.
20. Roof mounted equipment shall be fully screened from view and shall be incorporated within the overall design of the project.
21. The proposed trash enclosures shall have the same architectural style (may incorporate trellis structure), color(s), materials, and finishes to match the subject building, subject to Planning Division's approval.

22. A photometric plan (light plan) shall be submitted by the applicant to the Planning Division for approval prior to the building permit issuance. Light standards shall not exceed 16 feet in height.
23. Any outdoor lighting shall be hooded or shielded to prevent either spillage of lumens or reflections into the sky.
24. All construction activities for the project shall be conducted between the hours of 7:00 A.M. to 7:00 P.M. Monday through Saturday and all construction activities without a special permit on Sundays or national holidays is prohibited.
25. Any above grade utility boxes located in public view shall be fully screened by hedge landscaping.
26. All proposed mail box areas on the site shall be architecturally enhanced consisting of the same materials as the proposed buildings in a manner that does not conflict with the requirements of the Post Master.
27. Hydro-seeding for proposed turf areas shall be prohibited, only sod shall be permitted to be installed.
28. This entitlement shall expire two (2) years from the date of approval, unless extended.
29. Two-story or greater buildings shall not be located closer than 150 feet to any single-story home on properties located outside the Fred Young Specific Plan unless a Conditional Use Permit is approved by the Planning Commission.
30. All mitigation measures as contained in the approved Mitigation Monitoring and Reporting Program are incorporated herein by reference as conditions of approval.

Police Department Conditions

31. A lighting plan of the project shall be submitted to the Chief of Police and Community Development Department. The plans shall cover the interior streets, parks, retention basins, common areas, entrance gates and the meandering sidewalks. No low level lighting.
32. The retention basins shall have adequate lighting to cover the open area so it can be seen clearly at night from the street by vehicles or on foot. Refer to the Planning Department for standards. No low level lighting.
33. If approved and reviewed by the Indio Fire Department the entrances and exits shall be designated FIRE LANE NO PARKING at the curbs to keep the area clear for emergency vehicles.

34. This project will require the approval of a Security Plan to the satisfaction of the City of Indio Chief of Police and/ or his/her designee. The plan must address as to how it will maintain the quality of life for this residentially planned community in its CC&R's.
35. The property owner(s) property management and residents shall participate in the Indio Police Department Crime Free Multi-Housing Program and adhere to the program guidelines. Contact the Indio Police Department for further information of the Crime Free Multi-Housing Program.
36. Trash bin areas shall be cleaned at least weekly and secured from public access.
37. Addresses or building numbers shall be installed on all roof tops to the satisfaction of the Chief of Police and/or his/her designee.

Valley Sanitary District Conditions

38. The project is subject to all Valley Sanitation District standard conditions.
39. The existing sewer capacity in the existing Van Buren Street sewers is limited until such time that offsite sewer improvements are constructed near the intersection of Dr. Carreon and Van Buren Street. The applicant/developer shall submit to VSD for review and approval a plan and schedule for construction of these improvements.
 - The applicant/developer shall relocate and replace the existing sewer between Van Buren Street west to the sewer easement located near the east of Cardinal Street and shall provide a new easement for this alignment.

Engineering Requirements

40. Applicant shall comply with National Pollution Discharge Elimination System (NPDES) requirements per state regulations.

Colorado River Basin Region,
73-720 Fred Waring Drive #100
Palm Desert, CA 92260
(760) 346-7491
www.waterboards.ca.gov/coloradoriver

***Please note:** Prior to the issuance of the any grading permit, a copy of the NOI (Notice of Intent) and the WDID# (Waste Discharge Identification No.), must be filed with the City of Indio's Engineering department.

41. Applicant shall submit PM10 implementation plans for City approval. Also to South Coast Air Quality Management District (SCAQMD) for grading plans greater than 10 acres in size. For further information contact the

South Coast Air Quality Management District (SCAQMD)
21865 Copley Drive
Diamond Bar, CA 91765
(800) CUT-SMOG (288-7664)
www.aqmd.gov

42. Applicant shall submit a Water Quality Management Plan for City approval prior to issuance of grading permit.

Mapping Requirements

41. Applicant/Developer shall submit a copy of the Final Map to Valley Sanitation District (VSD) and Indio Water Authority (IWA) for their approval and shall obtain a clearance from VSD and IWA prior to recordation of the Final Map.

42. Tentative tract map or parcel map shall be submitted along with the following items:

- a) Soils report
- b) Title Report
- c) Preliminary grading plan (Topo/contour on map)
- d) Hydrology report

43. Applicant shall submit for City approval the following items:

- a) Final tract map
- b) Title report (updated within at least 60 days)
- c) Final map closure calculations
- d) DWG file for final tract map/parcel map

44. Final tract/parcel map shall include:

- a) Street names
- b) Improvement agreements
- c) Improvement bonds.

45. Applicant shall provide a public utility easement over the entire interior and exterior streets and also a 10-foot public utility easement over in addition to the street width within all proposed streets.

Grading Requirements

46. Applicant shall submit for City approval the following items:

- a) Precise grading plans – shall include the street address for each lot and building foot prints
- b) Rough grading plans
- c) Soils report.

47. Retaining walls shall be required at elevational differences greater than 12-inches between residential lots throughout the project; and, in relation to adjacent boundary properties unless otherwise approved by the City Engineer.

Curb/Grubbing and Demolition Requirements

48. Developer shall:

- a) Dispose of all concrete and asphalt removals within proposed project to an approved recyclable site.
- b) Developer shall provide City of Indio Public Works Department with a copy of receipt showing tonnage for the disposal of recyclable concrete and asphalt.
- c) Dispose of all material removals within proposed project to an approved disposal site.

Street Requirements

49. Applicant shall submit for City approval the following items:

- a) Street improvement plans
- b) Streetlight plans

50. Applicant shall construct full off-site street improvements on the following streets:

- a) Dr. Carreon Boulevard, one-half street improvements along the south side.

51. The improvements for Dr. Carreon Boulevard shall include construction of asphalt concrete pavement, curb/gutter, sidewalk, streetlights, catch basins, storm drains, and streetlights along the property frontage.

52. The improvements for Van Buren Street shall include removal of existing sidewalk and construction of a 6 foot concrete sidewalk from Dr. Carreon Boulevard to the existing northern driveway.

53. Dr. Carreon Boulevard shall be constructed as a "Collector".

54. All off-site street improvements including energizing of street lights and installation of irrigation and landscaping.

- a) Dr. Carreon Boulevard and Van Buren Street shall be constructed and accepted by the City prior to the issuance of a temporary or permanent certificate of occupancy.

55. Dedicate the required right-of-way along:

- a) Dr. Carreon Boulevard to City of Indio, per general plan for a "Collector".
- b) Van Buren Street to City of Indio, per general plan for a "Secondary".

56. Applicant shall obtain encroachment permit prior to starting any street improvements within public streets.

57. The minimum grade of all proposed streets shall be 0.50% unless approved by the City Engineer.

58. The proposed driveways shall be a radius driveway per City of Indio standard drawing no. 130.

59. Existing asphalt pavement along:

- a) The south side of Dr. Carreon Boulevard shall be pulverized and used as part of the base material and new pavement shall be placed from center line to curb/gutter.

60. The proposed project shall comply with American with Disabilities Act (ADA) requirements.

61. All improvements shall comply with City standards, requirements and policies. Developer is required to construct all transition and missing links between existing and proposed improvements.

Drainage Requirements

62. Applicant shall use Riverside County Flood Control District standards and submit local on-site and regional hydrology, hydraulic storm calculations for City review and approval.

63. The applicant shall provide an on-site retention system designed to the standards approved by the City Engineer. Each retention basin shall include a sufficient number of underground vertical drywells designed to eliminate standing water in the basin. The retention basin shall be sized to retain all post-development storm water runoff within the limits of the project based on a 100-year storm event of 24-hour duration and shall completely drain/percolate any storm event within 72 hours. All upstream runoff from adjacent properties that has historically been directed through the project with the exception of historical retention that occurred on-site. The retention basin shall be designed with a maximum depth of 5' and maximum side slopes of 3:1 and shall not be used for

purposes other than for the collection of storm water, nuisance water and well blow-off water.

64. The design of the lot pads, street improvements and the storm drainage improvements project shall be design coordinated with all adjacent projects to the satisfaction of the City Engineer.

Traffic Requirements

65. Developer shall be responsible for installing traffic signals at proposed entrances if required by the traffic study.
66. All proposed access off of Dr. Carreon Boulevard shall be per approved traffic study.
67. Turning movements off of Dr. Carreon Boulevard and Van Buren Street shall be per approved traffic study.

Specialty Requirements

68. All grading and pad elevations will be subject to approval of the Director of Development Services/Building and Safety and the Director of Public Works/City Engineer based on grading plans and additional information to be submitted during plan check. Pad elevations shown on the tentative map are for reference only and may be required to be changed.
69. All overhead utilities less than 92kv, located within the project boundaries, bordering the project and/or fronting the project shall be undergrounded.
70. Developer shall contact Sunline Transit Agency for any facilities being required.

Fire Department Requirements

71. Provide or show there exists a water system capable of delivering a fire flow 4,000 gallons per minute for a two hours duration at 20 psi residual operating pressure. Fire flow requirements are based on all buildings constructed with CBC Type V-B construction and protected with an approved fire sprinkler system. Fire flow verification shall be obtained from Indio Water Authority in the proximity the project. Verification shall be provided to the Indio Fire Department prior to the issuance of construction permits. CFC, 2007.
72. Approved accessible fire hydrants shall be located not to exceed 450 feet apart in any direction as measured by an approved route around the exterior of the facility or building, and a maximum distance 225 feet from any point on the street or road frontage to a hydrant. Fire hydrants shall provide the required fire flow. Ref CFC, section 508.5.1 and appendix C.

73. Prior to building construction, applicant/developer shall furnish three copies of the water system fire hydrant plans to Indio Fire Department for review and approval. Plans shall be signed by a registered civil engineer, and shall conform to hydrant type, location, spacing, and minimum fire flows required. Once plans are signed and approved by the local water authority, the originals shall be presented to the Fire Department for review and approval. Ref CFC, Section 501.3.
74. Blue retro reflective pavement markers shall be mounted on private streets, public streets and driveways to indicate location of fire hydrants. Markers shall be shown on water improvement and precise grading plans. Prior to installation, the Indio Fire Department must approve placement of markers. Ref CFC, 2007.
75. When buildings are three story, or when an exterior wall of a building exceeds 30 feet in height, the access roads shall be minimum 30 feet unobstructed width to facilitate fire truck aerial operation setup. Ref CEC, 2007.
76. Access gates must be 15' in width for apparatus to safely drive through. Ref CFC, 2007.
77. All exterior walls for two story or higher building shall provide access walkways to all required egress doors from a building and the area beneath each rescue window in R-2 occupancies. Access walkways will typically be required around the perimeter of a structure to facilitate control of a fire through any other available openings.
78. Vegetation, certain types of ground cover and low-growing plants present an impediment to fire-fighting and rescue operations and are prohibited from being planted in the areas below rescue windows. In addition, taller vegetation such as shrubs and trees may not be located where they will either when planted or upon maturation, present an obstruction to accessing rescue windows in R-2 occupancy. Landscape plans shall be submitted prior to construction to Indio Fire Department for review and approval.
79. Provision shall be made in the final landscape plans to ensure fire lanes are not obstructed per the California Fire Code. Additional measures shall be taken to ensure fire protection equipment such as fire hydrants; above ground fire department valves shall not be obstructed by plants/trees if locations are required to be in planters. Final landscape plans shall be reviewed and approved by the Indio Fire Department.
80. Access lanes will not have an up, or downgrade of more than 12%. Access will not be less than 20' in width and will have an unobstructed vertical clearance not less than 13'6". Access lanes will be designed to withstand the weight of 80,000 pounds over 2 axles. Access will have a turning radius capable of accommodating fire apparatus. Access lane shall be constructed with a surface

so as to provide all weather driving capabilities. Streets shall be constructed in accordance with Indio City Street Standards. Ref CFC, 2007.

81. Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with approved provision for turn around capabilities of fire apparatus. Ref CFC, 2007.
82. Comply with Title 19 of the California Administrative Code.
83. Based on the fire flow requirements for this project, the installation of a complete commercial fire sprinkler system in buildings is required. Fire sprinkler system(s) with pipe sizes in excess of 2 1/2" diameter will require the Project Structural Engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and Fire Department connection shall be located to the front, within 50 feet of hydrant, and a minimum of 25 feet from the building(s). Sprinkler riser room must have indicating exterior and/or interior door signs. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation. (Contact Fire Department for guideline handout). Ref Indio City Code, Chapter 93, Section 93.07 (D) (3).
84. Applicant/developer shall be responsible to install a U. L. Central Station Monitored Fire Alarm System, per NFPA 72. Monitoring system shall monitor the fire sprinkler system(s) water flow, post indicator valves and all other control valves. Plans must be submitted with current permit fee to the Fire Department for review and approval prior to installation. Ref CFC, 2007.
85. Electrical room doors if applicable shall be posted "ELECTRICAL ROOM" on outside of door. Ref CFC, 2007.
86. Display street numbers in a prominent location on the address side of building(s) and/or rear access if applicable. Numbers and letters shall be a minimum of 12" in height for building(s) up to 25' in height. In complexes with alpha designations, letter size must match numbers. All addressing must be legible, of a contrasting color, and adequately illuminated to be visible from street at all hours. Ref CFC, 2007.
87. An approved Fire Department access key lock box (Minimum Knox Box 3200 series model) shall be installed next to the approved Fire Department access door to the building. If the buildings are protected with an alarm system, the lock box shall be required to have tampered monitoring. Required order forms and installation standards may be obtain at the Fire Department. Ref CFC, 2007.
88. Exit designs, exit signs, door locks, exit markers, exit doors, panic hardware and exit path marking shall be installed per the California Building Code.

89. During the construction of this project, the site address shall be clearly posted at the job site entrance. This will enable incoming emergency equipment and inspectors to locate the job site from the assigned street location. Numbers shall be minimum 24" in height. Fire safety during construction shall be in accordance with Ref CFC, 2007. Contact Fire Department for fire prevention handout.

90. Final fire conditions will be addressed when more detailed building plans are reviewed.

PASSED, APPROVED AND ADOPTED this 15th day of December 2010 by the following vote:

AYES: Holmes, Miller, Torres, Wilson, Ramos Watson

NOES: None



LUPE RAMOS WATSON, MAYOR

ATTEST:



**CYNTHIA HERNANDEZ, CMC
CITY CLERK**

RESOLUTION NO. 9448

RESOLUTION OF THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, SUSTAINING THE APPEAL OF COACHELLA VALLEY HOUSING COALITION, THEREBY APPROVING TENTATIVE PARCEL MAP 36273 (PM 10-4-380), ASSESSOR PARCELS 612-170-005 thru 006 AND 612-210-005 thru 006 (FRED YOUNG FARM LABOR CAMP)

WHEREAS, Coachella Valley Housing Coalition filed with the City of Indio, an application for a four plus remainder lot for a Tentative Parcel Map to facilitate development of a 60 acre site into mixed uses containing the following: a maximum of 950 attached and detached residential units, a community center, day care center, active and passive recreational uses and a potential two acre neighborhood commercial center on the approximate 60 acre site located at the southwest corner of Dr. Carreon Boulevard and Van Buren Street; and,

WHEREAS, pursuant to the California Environmental Quality Act ("CEQA") and the environmental guidelines, the City conducted an environmental assessment of the Project and determined that the project would not have a significant effect on the environment; therefore a Mitigated Negative Declaration (MND) with a Mitigation Monitoring and Reporting Program has been prepared); and,

WHEREAS, on September 22, 2010 and October 13, 2010, the Planning Commission conducted a duly advertised public hearing, reviewed staff reports, reviewed and considered the Mitigated Negative Declaration pursuant to CEQA Guidelines Section 15025 Subsection (c) considered testimony related to the proposed Tentative Parcel Map, and concluded its proceedings; and,

WHEREAS, on December 1, 2010 and December 15, 2010, the City Council conducted a duly advertised public hearing, reviewed staff reports, considered testimony both for and against the proposed Tentative Parcel Map, considered the Mitigated Negative Declaration, and concluded its proceedings.

NOW, THEREFORE, THE CITY COUNCIL OF THE CITY OF INDIO, CALIFORNIA, HEREBY RESOLVES, FINDS AND DETERMINES AS FOLLOWS:

SECTION 1. The City Council has adopted a Mitigated Negative Declaration pursuant to the environmental review guidelines of the California Environmental Quality Act, and environmental impacts were examined in the environmental assessment submitted by the applicant, along with an air quality analysis, biological assessment, historical/archaeological resources report, paleontological resources report, geotechnical feasibility report, phase I environmental site assessment, hydrology, geotechnical study, water quality management plan, and traffic impact report

SECTION 2. To SUSTAIN THE APPEAL, THEREBY APPROVE Tentative Parcel Map 10-4-380 based on the following findings:

1. The proposed tentative parcel map is consistent with the goals and objectives of the Indio General Plan 2020 and the Fred Young Specific Plan. The project is conditioned for a maximum of four and one remainder parcel.
2. The design and improvements of the affordable housing development is consistent with the Zoning Ordinance. The proposed subdivision has met the minimum lot width, density regulations, and lot sizes are adequately sized to comply with building setback regulations as would be required in Specific Plan 10-4-25.
3. The site is physically suitable for the type of development in that the site was formerly used as a sod farm and will be graded to accommodate future development and provide for adequate drainage and flood control systems. The property will be developed for multiple and future single-family residences, common area lots, institutional and private/common open space and common recreational uses as proposed for the subdivision.
4. The design of the affordable housing development and the proposed improvements are not likely to cause substantial environmental impacts or substantially and avoidably injure fish, wildlife, or their habitats.
5. The design of the development and the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property in that the site has been approved by the city for single family residential development. All existing public utility easements on the property, if any, would be reserved. There are no known public easements traversing the subject site that would be affected by the proposed project.
6. The design of the subdivision shall provide, to the extent feasible, for future passive or natural heating or cooling opportunities in the subdivision. The project has ample opportunities to maximize southern exposure for future residences and homes would be constructed to meet current building codes and Title 24 energy requirements. There are no issues regarding efficient energy usage for the proposed development.
7. That the City Council has independently reviewed and considered the Mitigated Negative Declaration and Mitigation Monitoring and Report Program.

SECTION 3. To UPHOLD THE APPEAL, THEREBY APPROVING Tentative Parcel Map 10-4-380 subject to the following conditions:

Planning Requirements

1. This Tentative Parcel Map shall be null and void if Environmental Assessment 10-4-494 is not adopted by the Indio City Council and Mitigated Negative Declaration is not filed.

2. This entitlement shall expire two (2) years from the date of approval, unless otherwise extended.
3. The applicant shall prepare and submit to the City a restrictive covenant to be recorded against the property which outlines the terms and conditions of the 25% density bonus to allow a maximum of 950 dwelling units per the requirements of Section 154.06 of the City of Indio Code and California Government Code Section 65715. The restrictive covenant shall be approved by the City Attorney prior to the issuance of building permits. The development concessions would modify the parking requirements of the Indio City Code to allow covered parking spaces instead of enclosed garages, would modify minimum unit sizes from 800 square feet to 450 square feet for studio/single room occupancy, 800 square feet to 500 square feet for one bedroom units, from 900 to 750 for two bedroom, from 1200 square feet to 1000 square feet for three bedroom and from 1400 square feet to 1200 square feet for four bedroom residential units and would reduce private outdoor space for each residential unit.
4. The issuance of residential permits shall require compliance with the City's Park and Recreation Land Dedication and Fee requirements.
5. Prior to occupancy of the first unit in Phase 1 the developer shall submit evidence to the Community Development Department that this phase is pursuing a minimum Silver LEED certification. All remaining phases shall obtain a LEED certification if feasible, or other similar standard. Prior to the issuance of occupancy permits for each subsequent phase the developer shall provide proof of either LEED registration or other similar standard.
6. The applicant or successor in interest shall submit CC&R's in a form acceptable to the City Attorney, for the affordable housing multiple and single family complex. The CC&R's shall include provisions for creation of affordable housing occupancy guidelines and maintenance of:
 - All interior and exterior common areas including landscaping, recreational facilities, parking areas, pedestrian access ways, etc.
 - The maintenance of the community center and day care facilities (if so constructed)

The CC&R's shall be submitted for review by the Community Development Director prior to the issuance of building permits. The applicant or successor in interest shall submit a deposit of \$3,500 to cover legal costs incurred by the City in its review of CC&R's and related documents prior to their recordation. The applicant/owner shall cause to be recorded against the subject property these and all related conditions of approval with the Riverside County Recorder.

The CC&R's shall indicate that the project shall maintain the affordability restrictions outlined in the approved CC&R's in perpetuity and such restrictions shall be recorded along side the Title of the property.

7. Number of apartment accessible spaces shall meet CBC 1118A.1.
8. Phase I (first 85 dwelling units) shall be parked at a ratio of 1.8 spaces per unit. Parking ratio for each subsequent phase shall require the applicant to submit a parking study to the City Traffic Engineer for review and approval.
9. Carport Parking structures shall have required height of 8 feet two-inches per CBC 1118A.2.
10. Pool area must have all features outlined in CBC Chapter 31.
11. All buildings to be accessible and adaptable per CBC 1103A.
12. The building construction plans shall include a blue-line sheet(s) showing all conditions of approval contained herein.
13. The applicant/owner shall cause to be recorded against the subject property these and all related conditions of approval with the Riverside County Recorder.
14. The applicant shall satisfy all Building and Safety Division, Public Works Division, Engineering Services Division, Police Department, and Fire Department requirements. It is the responsibility of the entitled entity to review this project with the noted departments.
15. The applicant/developer shall pay school fees as required by law and/ or local school district. Applicant shall pay all City of Indio Capital Impact fees at the time set by City Ordinance.
16. The applicant shall provide a detailed landscape plan with a variety of plant materials and irrigation system separately from the building permit plans as a part of the plan check process. Said landscape plan shall incorporate the conditions of approval imposed herein.
17. The applicant/developer shall install landscaping and automatic irrigation system for each phase prior to Final Occupancy Permit of said phase. The irrigation system shall be an automatic system with an irrigation timer and two drip or bubbler heads per tree to produce deep root irrigation. Any changes or modification of the landscaping plan during the Design Review process shall be addressed during the plan check process. All structures, landscaping, sidewalks, parking lot surfacing, and all other improvements within the project shall be continually maintained in good condition and repair. Dead or dying landscape material shall be replaced with new landscape material.
18. Roof mounted equipment shall be fully screened from view and shall be incorporated within the overall design of the project.

19. The proposed trash enclosures shall have the same architectural style (may incorporate trellis structure), color(s), materials, and finishes to match the subject building, subject to Planning Division's approval.
20. A photometric plan (light plan) shall be submitted by the applicant to the Planning Division for approval prior to the building permit issuance. Light standards shall not exceed 16 feet in height.
21. Any outdoor lighting shall be hooded or shielded to prevent either spillage of lumens or reflections into the sky.
22. All construction activities for the project shall be conducted between the hours of 7:00 A.M. to 7:00 P.M. Monday through Saturday and all construction activities without a special permit on Sundays or national holidays is prohibited.
23. Any above grade utility boxes located in public view shall be fully screened by hedge landscaping.
24. All proposed mail box areas on the site shall be architecturally enhanced consisting of the same materials as the proposed buildings in a manner that does not conflict with the requirements of the Post Master.
25. Hydro-seeding for proposed turf areas shall be prohibited, only sod shall be permitted to be installed.
26. This entitlement shall expire two (2) years from the date of approval, unless extended.
27. Two-story or greater buildings shall not be located closer than 150 feet to any single-story home on properties located outside the Fred Young Specific Plan unless a Conditional Use Permit is approved by the Planning Commission.
28. All mitigation measures as contained in the approved Mitigation Monitoring and Reporting Program are incorporated herein by reference as conditions of approval.
29. The property owner or successor in interest shall annex to CFD 2004-1 or its successor Community Facilities District or in any future City-initiated Community Facilities Districts for public facilities or public services. The subdivider shall cause a covenant to be recorded on all lots within Tentative Parcel Map 36273 advising of the owner's obligation to participate in any future Community Facilities District for such public facilities or public services.

Police Department Requirements

30. A lighting plan of the project shall be submitted to the Chief of Police and Community Development Department. The plans shall cover the interior streets,

parks, retention basins, common areas, entrance gates and the meandering sidewalks. No low level lighting.

31. The retention basins shall have adequate lighting to cover the open area so it can be seen clearly at night from the street by vehicles or on foot. Refer to the Planning Department for standards. No low level lighting.
32. If approved and reviewed by the Indio Fire Department the entrances and exits shall be designated FIRE LANE NO PARKING at the curbs to keep the area clear for emergency vehicles.
33. This project will require the approval of a Security Plan to the satisfaction of the City of Indio Chief of Police and/ or his/her designee. The plan must address as to how it will maintain the quality of life for this residentially planned community in its CC&R's.
34. The property owner(s) property management and residents shall participate in the Indio Police Department Crime Free Multi-Housing Program and adhere to the program guidelines. Contact the Indio Police Department for further information of the Crime Free Multi-Housing Program.
35. Trash bin areas shall be cleaned at least weekly and secured from public access.
36. Addresses or building numbers shall be installed on all roof tops to the satisfaction of the Chief of Police and/or his/her designee.

Valley Sanitary District Requirements

37. The project is subject to all Valley Sanitation District standard conditions.
38. The existing sewer capacity in the existing Van Buren Street sewers is limited until such time that offsite sewer improvements are constructed near the intersection of Dr Carreon and Van Buren Street. The applicant/developer shall submit to VSD for review and approval a plan and schedule for construction of these improvements.
 - The applicant/developer shall relocate and replace the existing sewer between Van Buren Street west to the sewer easement located near the east of Cardinal Street and shall provide a new easement for this alignment.

Engineering Requirements

39. Applicant shall comply with National Pollution Discharge Elimination System (NPDES) requirements per state regulations.

Colorado River Basin Region,
73-720 Fred Waring Drive #100
Palm Desert, CA 92260
(760) 346-7491
www.waterboards.ca.gov/coloradoriver

***Please note:** Prior to the issuance of the any grading permit, a copy of the NOI (Notice of Intent) and the WDID# (Waste Discharge Identification No.), must be filed with the City of Indio's Engineering department.

40. Applicant shall submit PM10 implementation plans for City approval. Also to South Coast Air Quality Management District (SCAQMD) for grading plans greater than 10 acres in size. For further information contact the

South Coast Air Quality Management District (SCAQMD)
21865 Copley Drive
Diamond Bar, CA 91765
(800) CUT-SMOG (288-7664)
www.aqmd.gov

41. Applicant shall submit a Water Quality Management Plan for City approval prior to issuance of grading permit.

Mapping Requirements

40. Applicant/Developer shall submit a copy of the Final Map to Valley Sanitation District (VSD) and Indio Water Authority (IWA) for their approval and shall obtain a clearance from VSD and IWA prior to recordation of the Final Map.

41. Tentative tract map or parcel map shall be submitted along with the following items:

- a) Soils report
- b) Title Report
- c) Preliminary grading plan (Topo/contour on map)
- d) Hydrology report

42. Applicant shall submit for City approval the following items:

- a) Final tract map
- b) Title report (updated within at least 60 days)
- c) Final map closure calculations
- d) DWG file for final tract map/parcel map

43. Final tract/parcel map shall include:

- a) Street names

- b) Improvement agreements
- c) Improvement bonds.

44. Applicant shall provide a public utility easement over the entire interior and exterior streets and also a 10-foot public utility easement over in addition to the street width within all proposed streets.

Grading Requirements

45. Applicant shall submit for City approval the following items:

- a) Precise grading plans – shall include the street address for each lot and building foot prints
- b) Rough grading plans
- c) Soils report.

46. Retaining walls shall be required at elevational differences greater than 12-inches between residential lots throughout the project; and, in relation to adjacent boundary properties unless otherwise approved by the City Engineer.

Curb/Grubbing and Demolition Requirements

47. Developer shall:

- a) Dispose of all concrete and asphalt removals within proposed project to an approved recyclable site.
- b) Developer shall provide City of Indio Public Works Department with a copy of receipt showing tonnage for the disposal of recyclable concrete and asphalt.
- c) Dispose of all material removals within proposed project to an approved disposal site.

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sufficient number of underground vertical drywells designed to eliminate standing water in the basin. The retention basin shall be sized to retain all post-development storm water runoff within the limits of the project based on a 100-year storm event of 24-hour duration and shall completely drain/percolate any storm event within 72 hours. All upstream runoff from adjacent properties that has historically been directed through the project with the exception of historical retention that occurred on-site. The retention basin shall be designed with a maximum depth of 5 feet and maximum side slopes of 3:1 and shall not be used for purposes other than for the collection of storm water, nuisance water and well blow-off water.

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66. Turning movements off of Dr. Carreon Boulevard and Van Buren Street shall be per approved traffic study.

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68. All overhead utilities less than 92kv, located within the project boundaries, bordering the project and/or fronting the project shall be undergrounded.
69. Developer shall contact Sunline Transit Agency for any facilities being required.

Fire Department Requirements

70. Provide or show there exists a water system capable of delivering a fire flow 4,000 gallons per minute for a two hours duration at 20 psi residual operating pressure. Fire flow requirements are based on all buildings constructed with CBC Type V-B construction and protected with an approved fire sprinkler system. Fire flow verification shall be obtained from Indio Water Authority in the proximity the project. Verification shall be provided to the Indio Fire Department prior to the issuance of construction permits. CFC, 2007.

71. Approved accessible fire hydrants shall be located not to exceed 450 feet apart in any direction as measured by an approved route around the exterior of the facility or building, and a maximum distance 225 feet from any point on the street or road frontage to a hydrant. Fire hydrants shall provide the required fire flow. Ref CFC, section 508.5.1 and appendix C.
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74. When buildings are three story, or when an exterior wall of a building exceeds 30 feet in height, the access roads shall be minimum 30 feet unobstructed width to facilitate fire truck aerial operation setup. Ref CEC, 2007.
75. Access gates must be 15 feet width for apparatus to safely drive through. Ref CFC, 2007.
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77. Vegetation, certain types of ground cover and low-growing plants present an impediment to fire-fighting and rescue operations and are prohibited from being planted in the areas below rescue windows. In addition, taller vegetation such as shrubs and trees may not be located where they will either when planted or upon maturation, present an obstruction to accessing rescue windows in R-2 occupancy. Landscape plans shall be submitted prior to construction to Indio Fire Department for review and approval.
78. Provision shall be made in the final landscape plans to ensure fire lanes are not obstructed per the California Fire Code. Additional measures shall be taken to ensure fire protection equipment such as fire hydrants; above ground fire department valves shall not be obstructed by plants/trees if locations are required to be in planters. Final landscape plans shall be reviewed and approved by the Indio Fire Department.

79. Access lanes will not have an up, or downgrade of more than 12%. Access will not be less than 20' in width and will have an unobstructed vertical clearance not less than 13'6". Access lanes will be designed to withstand the weight of 80,000 pounds over 2 axles. Access will have a turning radius capable of accommodating fire apparatus. Access lane shall be constructed with a surface so as to provide all weather driving capabilities. Streets shall be constructed in accordance with Indio City Street Standards. Ref CFC, 2007.
80. Dead-end fire apparatus access roads in excess of 150 feet in length shall be provided with approved provision for turn around capabilities of fire apparatus. Ref CFC, 2007.
81. Comply with Title 19 of the California Administrative Code.
82. Based on the fire flow requirements for this project, the installation of a complete commercial fire sprinkler system in buildings is required. Fire sprinkler system(s) with pipe sizes in excess of 2 1/2" diameter will require the Project Structural Engineer to certify (wet signature) the stability of the building system for seismic and gravity loads to support the sprinkler system. All fire sprinkler risers shall be protected from any physical damage. The post indicator valve and Fire Department connection shall be located to the front, within 50 feet of hydrant, and a minimum of 25 feet from the building(s). Sprinkler riser room must have indicating exterior and/or interior door signs. Plans must be submitted with current fee to the Fire Department for review and approval prior to installation. (Contact Fire Department for guideline handout). Ref Indio City Code, Chapter 93, Section 93.07 (D) (3).
83. Applicant/developer shall be responsible to install a U. L. Central Station Monitored Fire Alarm System, per NFPA 72. Monitoring system shall monitor the fire sprinkler system(s) water flow, post indicator valves and all other control valves. Plans must be submitted with current permit fee to the Fire Department for review and approval prior to installation. Ref CFC, 2007.
84. Electrical room doors if applicable shall be posted "ELECTRICAL ROOM" on outside of door. Ref CFC, 2007.
85. Display street numbers in a prominent location on the address side of building(s) and/or rear access if applicable. Numbers and letters shall be a minimum of 12" in height for building(s) up to 25' in height. In complexes with alpha designations, letter size must match numbers. All addressing must be legible, of a contrasting color, and adequately illuminated to be visible from street at all hours. Ref CFC, 2007.
86. An approved Fire Department access key lock box (Minimum Knox Box 3200 series model) shall be installed next to the approved Fire Department access door to the building. If the buildings are protected with an alarm system, the lock

box shall be required to have tampered monitoring. Required order forms and installation standards may be obtain at the Fire Department. Ref CFC, 2007.

87. Exit designs, exit signs, door locks, exit markers, exit doors, panic hardware and exit path marking shall be installed per the California Building Code.

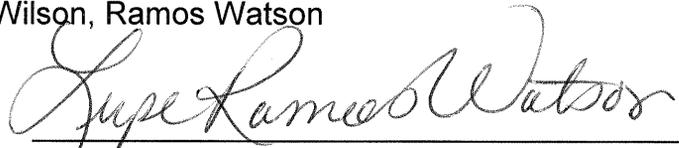
88. During the construction of this project, the site address shall be clearly posted at the job site entrance. This will enable incoming emergency equipment and inspectors to locate the job site from the assigned street location. Numbers shall be minimum 24 inches in height. Fire safety during construction shall be in accordance with Ref CFC, 2007. Contact Fire Department for fire prevention handout.

89. Final fire conditions will be addressed when more detailed building plans are reviewed.

PASSED, APPROVED AND ADOPTED this 15th day of December 2010 by the following vote:

AYES: Holmes, Miller, Torres, Wilson, Ramos Watson

NOES: None



LUPE RAMOS WATSON, MAYOR

ATTEST:



CYNTHIA HERNANDEZ, CMC
CITY CLERK